

**Specific Plan Notes**

**Purpose and Intent**

The purpose of this specific plan is to permit a mixed-use development with up to ten thousand (10,000) square feet of low-rise commercial space to include restaurant, medical offices, real estate office, title company, insurance office, cell phone services, nail and/or hair salons, general office, general retail, personal care services, and up to four (4) residential townhouse units.

**Development Plan**

The developer of this project intends to develop two commercial buildings, totaling 10,000 square feet, and 4 multi-family residential units (townhomes).

**Existing Conditions**

The property currently includes residential, commercial & office buildings, gravel driveways & parking lots, trees, and low grass.

**Applicability to the General Plan**

This property is within the Donelson - Hermitage - Old Hickory Community Planning area adopted June 22, 2015. The structure plan for this property identifies this area as T4 Urban Neighborhood Center.

**Permitted Uses**

Uses permitted in this development shall be limited to restaurant, medical offices, real estate office, title company, insurance office, cell phone services, nail and/or hair salons, general office, general retail, personal care services & multi-family residential.

**Development Standards**

- Minor modifications to the SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- The required fire flow, emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.
- Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- Individual water and sewer service lines are required for each unit.
- The developer of this project shall comply with the requirements of the SP adopted tree ordinance 2008-328 (Metro Code Chapter 17.24)
- All surface parking areas must meet the "parking area screening and landscaping" requirements specified in the Metro Zoning Code.
- According to FEMA's current flood maps (47037C0263H, dated April 05, 2017), as well as Metro's GIS information, there is no 100-year floodplain within the SP boundary.
- According to the NRCS Soils Map, the soils on the property are SVD (Sylversville-Urban Land Complex, 3-25% slopes). These soils are not "problem soils" as noted in section 17.28.050 of the Metro Zoning Code.
- Site slopes range from 1-5%.
- There are no known existing wetlands within the SP boundary.
- Signage shall meet Metro design standards. A detailed signage plan will be submitted with the Final SP documents, if required.
- All development with the boundaries of this plan shall be based on the requirements of the Americans with Disabilities Act and the Fair Housing Act.
- All proposed public utilities and services shall be installed underground.
- For development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the CS zoning district as of the date of the applicable request or application.
- The owner/developer agrees to maintain private trash & recycling service for the units as long as the development remains in place. The responsibility shall be transferred to the homeowner association for the development upon its establishment.
- Building facades fronting a street shall provide a minimum of one principal entrance (doorway) and a minimum of 25% glazing.
- Windows shall be vertically oriented at a ratio of 2:1 or greater, except for dormers.
- EIFS, vinyl siding and untreated wood shall be prohibited.
- The final site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Landscape: The development of this project shall comply with and exceed the requirements of metro zoning code 17.24 tree protection and replacement and with chapter 17.40, article x. Tree protection and replacement procedures. Landscape ordinance plan to be submitted with the Final SP submittal.

**MWS Stormwater Notes**

- Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any Storm water facilities within the property.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance no.78-840 and approved by The Metropolitan Department of Water Service.
- Size driveway culverts per the design criteria set forth by the Metro Storm Water Management Manual (Minimum driveway culvert in Metro ROW is 15" CMP).
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Storm Water approval / comments only. The final lot count and details of the plan shall be governed by the appropriate Storm Water regulations at the time of final application.

**Metro Water & Sewer Notes**

All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.

- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services Inspection Section. All costs will be borne by the developer.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced Pressure Backflow Prevention Devices (RPBP) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Upon completion of construction of water and/or sewer, the engineer shall provide the department with a complete set of as-built plans on moist erasable Mylar in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable. All drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- All water mains must be located within the paved area including all blow-off assemblies.
- The contractor shall provide the record drawing information noted above to the engineer.

**Public Works Construction Notes**

- The developer's final construction drawings shall comply with the design regulations established by the Department of Public Works, in effect at the time of the approval of the preliminary development plan or final development plan or building permit, as applicable. Final design may vary based on field conditions.
- Proof rolling of all public street sub-grades is required in the presence of the Public Works' inspector. This request is to be made 24 hours in advance.
- Stop signs to be 30 inch x 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade.
- All signs to have 3M reflective coating.
- All utility boxes located in the right of way or in the sidewalk shall be approved by the MPW inspector prior to installation.
- All of the public sidewalk along the roadway shall follow the grade of the roadway and shall not be adjusted to meet private sidewalk connections. The adjustments shall be made out of the right of way.
- Drainage shall not flow over the sidewalk.
- Curb ramps shall have detectable warning strips.
- Driveway width can be sight adjusted at the discretion of the MPW inspector.
- Elevation of the curb and gutter is the responsibility of the contractor but once in place shall function as designed.
- Curb and gutter installed may be tested to verify flow to the storm drain system. Drainage shall not pool in roadways.
- Replace stormwater grates within public right of way with bike friendly grates

**MWS Standard Private Utility Plan Notes**

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- Vertical Double Check Valve Assemblies, that are located in interior rooms, can only be used for fire services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Irrigation line shall be copper from the meter to the backflow preventer.
- The minimum fees outlined in the capacity letter must be paid before commercial construction plans can be approved.
- All sewer services shall be 6 inches in diameter, from the connection at the main until the first clean out assembly.
- Backflow device to remain accessible at all times.
- Plan size shall be 24"x36", and shall show contours around meter boxes.

# PRELIMINARY SPECIFIC PLAN

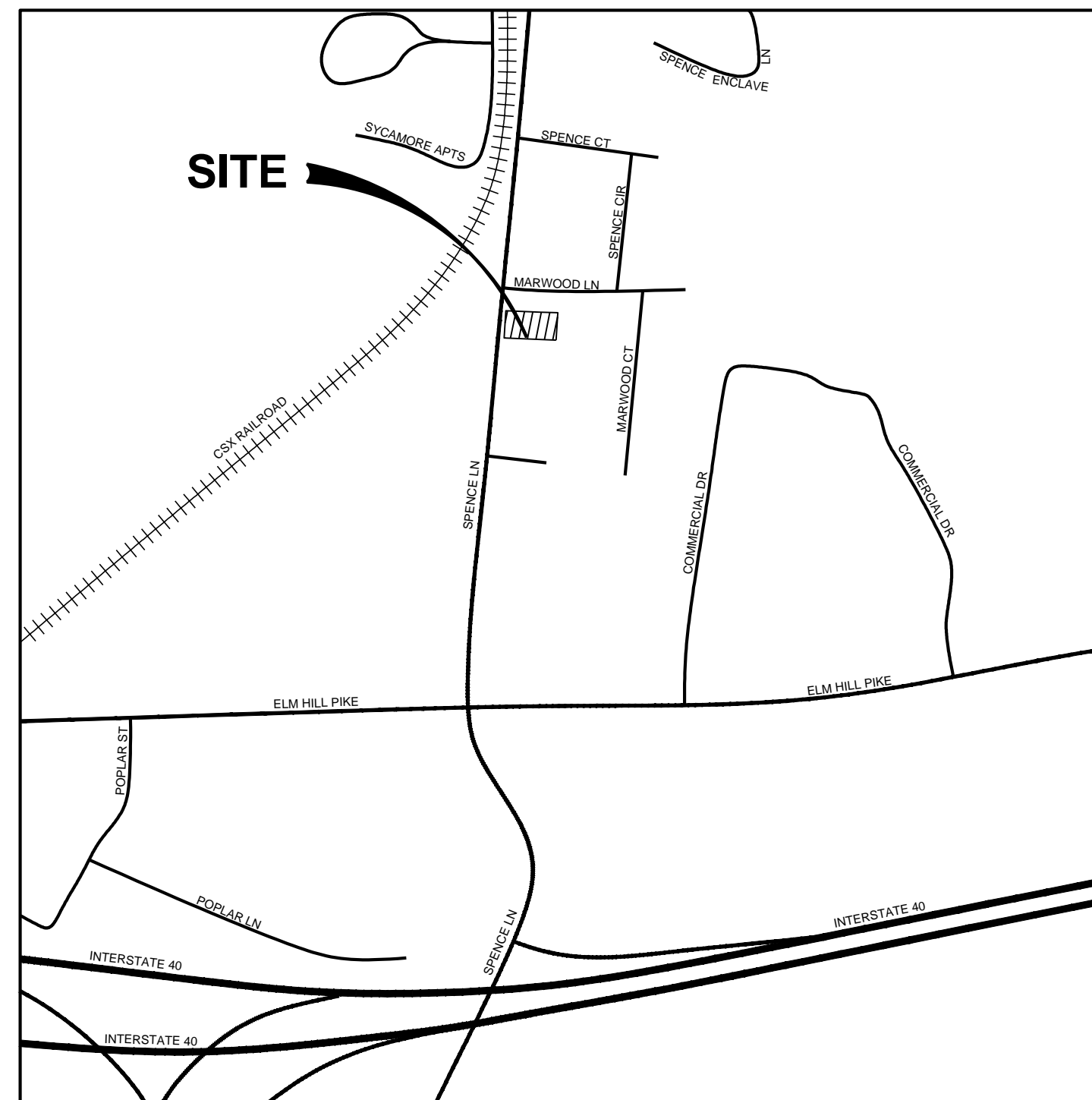
# CITY SIDE CENTRE

## 406-408 SPENCE LANE

## NASHVILLE, DAVIDSON COUNTY, TN

CASE NO. 2017SP-076-001  
ORDINANCE NO. BL2016-\_\_\_

MAP: 094.15 / PARCEL: 012.00  
MAP: 106.03 / PARCEL: 001.00



VICINITY MAP  
N.T.S.

**Survey**

Base information was taken from a surveys prepared by W.T. Smith - Land Surveying, dated, June 20, 2017. Civil Site Design Group, P.L.L.C. and any of their consultants shall not be held responsible for the accuracy and/or completeness of that information shown hereon or any errors or omissions resulting from such.

**Flood Plain**

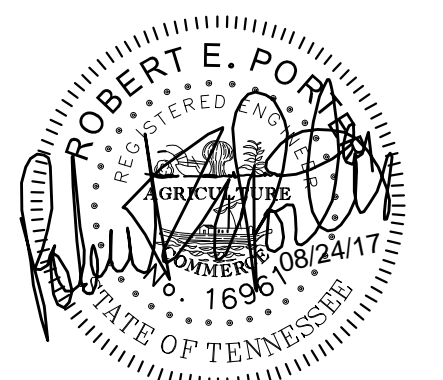
By graphic plotting, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 47037C0263H effective date of April 05, 2017. Zone X is defined as areas determined to be outside of the 500-year floodplain.



SWGR #2017\_\_\_\_\_

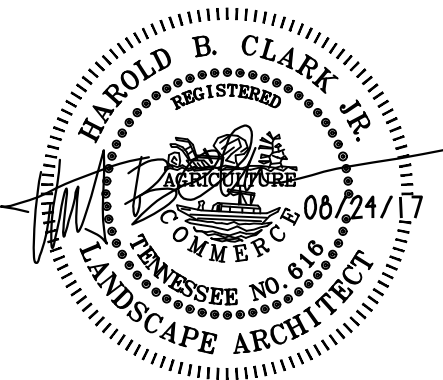
**PLANNER | ENGINEER**

CIVIL SITE DESIGN GROUP, PLLC  
630 SOUTHGATE AVE., SUITE A  
NASHVILLE, TENNESSEE 37203  
PHONE: 615-248-9999  
CONTACT: ROB PORTER  
HAL CLARK  
EMAIL: robp@civil-site.com  
halc@civil-site.com



**OWNER | DEVELOPER**

TODD GOODWIN  
P.O. BOX 1938  
MT. JULIET, TN 37121  
PHONE: 615-256-6921  
CONTACT: TODD GOODWIN  
EMAIL: todd@pressurewashonline.com



**DEVELOPMENT SUMMARY**

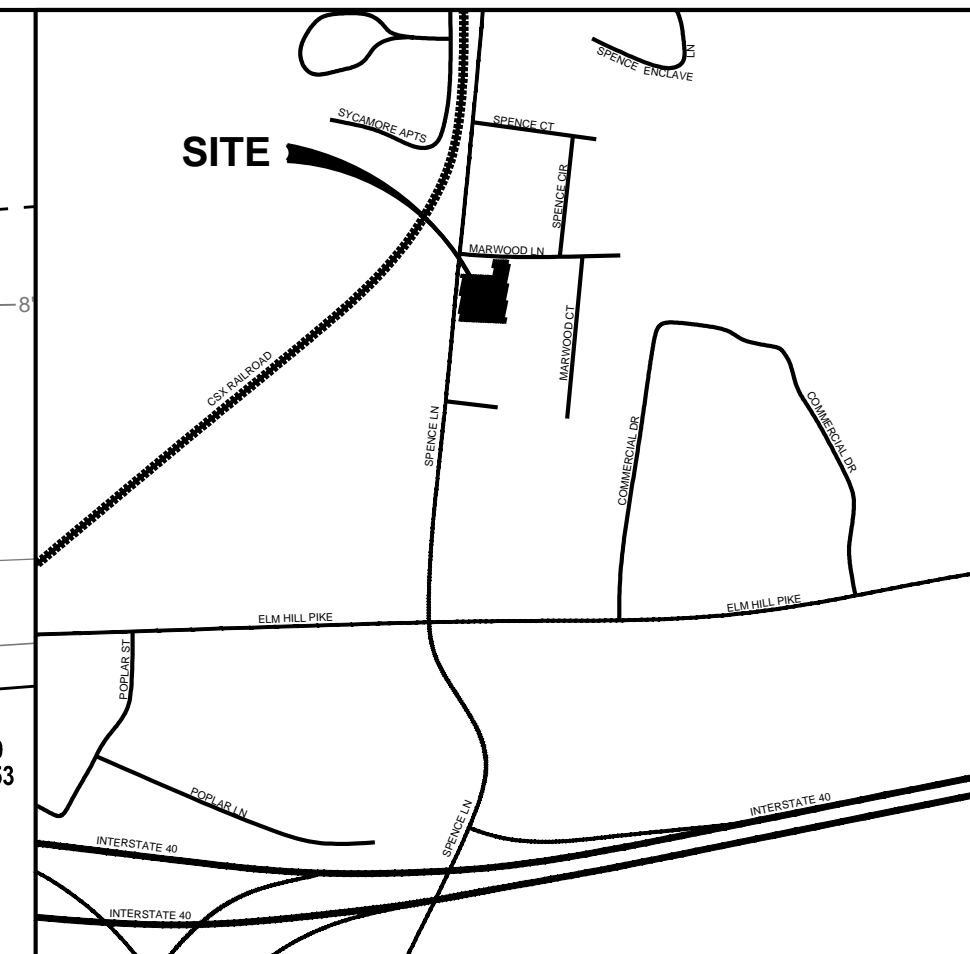
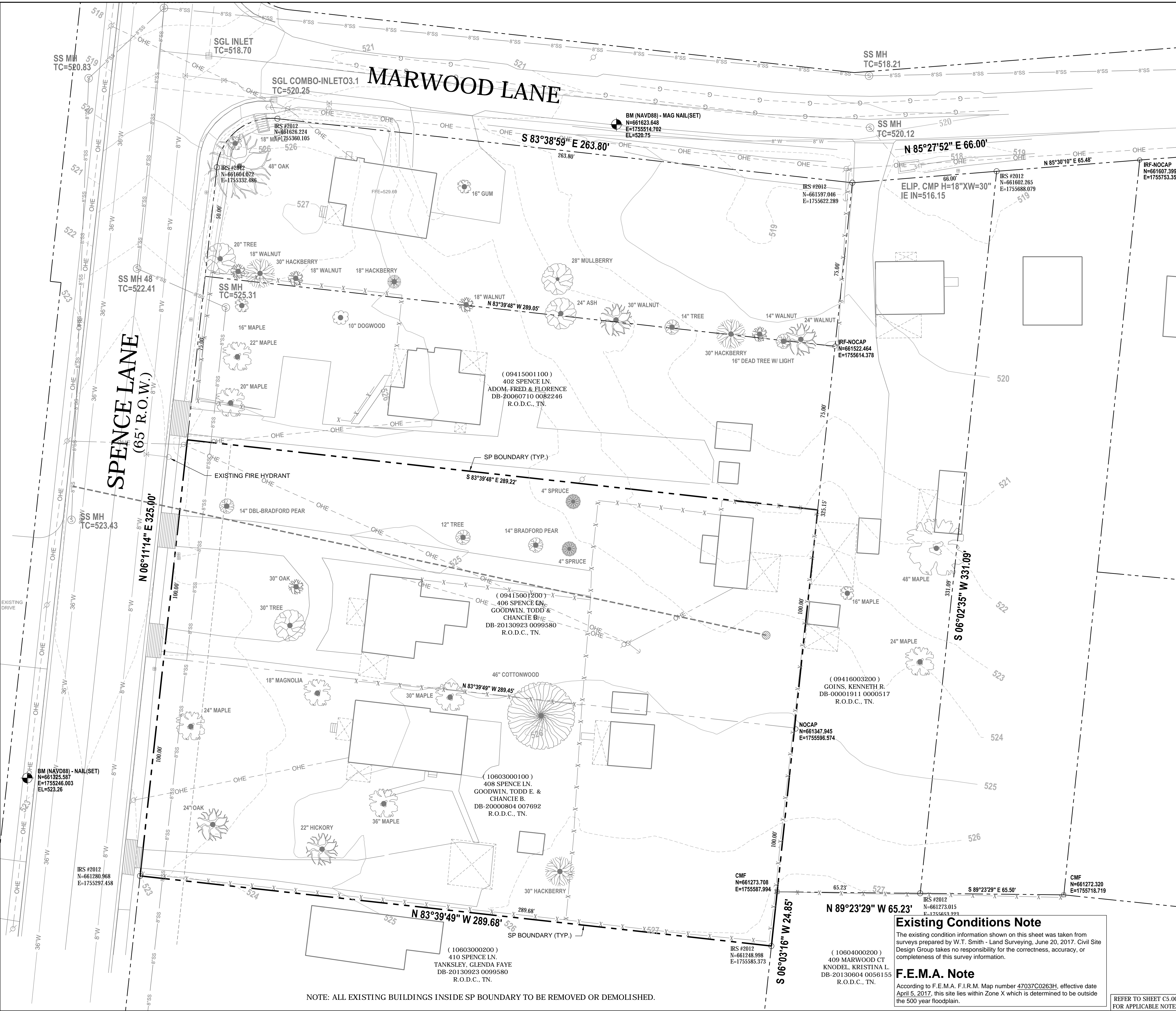
Council District Number: 15  
Council Member Name: Jeff Syracuse  
Owner of Record: Todd Goodwin  
PO Box 100765  
Nashville, TN 37224  
  
SP Name: City Side Centre  
SP Number: 2017SP-076-001  
Designer: Civil Site Design Group, PLLC  
630 Southgate Avenue, Suite A  
Nashville, TN 37203  
Phone: (615) 248-9999  
Contact: Rob Porter / Hal Clark  
robp@civil-site.com / halc@civil-site.com  
U.S. FEMA FIRM: 47037C0263H (dated April 05, 2017)

**SHEET INDEX**

- COVER
- C0.01 EXISTING CONDITIONS PLAN
- C1.00 SITE LAYOUT PLAN
- C2.00 UTILITY PLAN
- C3.00 GRADING AND DRAINAGE PLAN
- C3.01 SWPPP STAGE 1 PLAN
- C3.02 SWPPP STAGE 2 PLAN
- C4.00 CIVIL NOTES
- C4.01 CIVIL DETAILS
- L1.00 LANDSCAPE ORDINANCE PLAN
- L2.00 LANDSCAPE ORDINANCE NOTES & DETAILS
- A1.00 CONCEPT IMAGERY

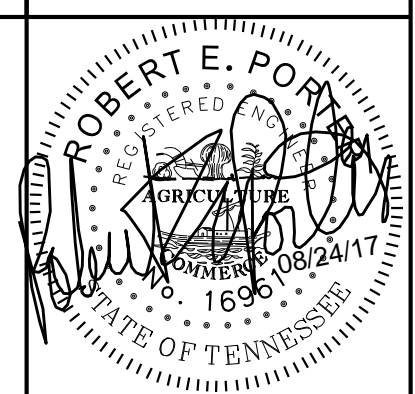
| DRWN BY: | CHKD BY: | DATE       | COMMENTS                 | REV. |
|----------|----------|------------|--------------------------|------|
| DDG      | JMH      | 07/13/2017 | PRELIMINARY SP SUBMITTAL |      |
| TG       | JMH      | 08/02/2017 | CITY COMMENTS            |      |
| DDG      | JMH      | 08/24/2017 | CITY COMMENTS            |      |
|          |          |            |                          |      |
|          |          |            |                          |      |
|          |          |            |                          |      |
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|          |          |            |                          |      |

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VICINITY MAP  
N.T.S.

**CIVIL SITE**  
DESIGN GROUP  
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
919 SOUTHWEST AVENUE, SUITE 400, NASHVILLE, TN 37203  
615.259.1234



**EXISTING CONDITIONS PLAN**  
PRELIMINARY SPECIFIC PLAN  
**CITY SIDE CENTRE**  
406-408 SPENCE LANE,  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO.



BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY W.T. SMITH LAND SURVEYING, DATED JUNE 20, 2017. CIVIL SITE DESIGN GROUP, P.L.L.C. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

**MAP 094.15 PARCEL 012.00**  
**MAP 106.03 PARCELS 001.00**

**PROJECT BENCHMARK:**  
DESCRIPTION: MAG NAIL (NAVD88)  
NORTHING: 661.623.648  
EASTING: 1,755,514.702  
ELEVATION: 520.75

**PROJECT BENCHMARK:**  
DESCRIPTION: NAIL(SET) (NAVD88)  
NORTHING: 661.325.587  
EASTING: 1,755,246.003  
ELEVATION: 523.26

**Existing Conditions Note**  
The existing condition information shown on this sheet was taken from surveys prepared by W.T. Smith - Land Surveying, June 20, 2017. Civil Site Design Group takes no responsibility for the correctness, accuracy, or completeness of this survey information.

**F.E.M.A. Note**  
According to F.E.M.A. F.I.R.M. Map number 47037C0263H, effective date April 5, 2017, this site lies within Zone X which is determined to be outside the 500 year floodplain.

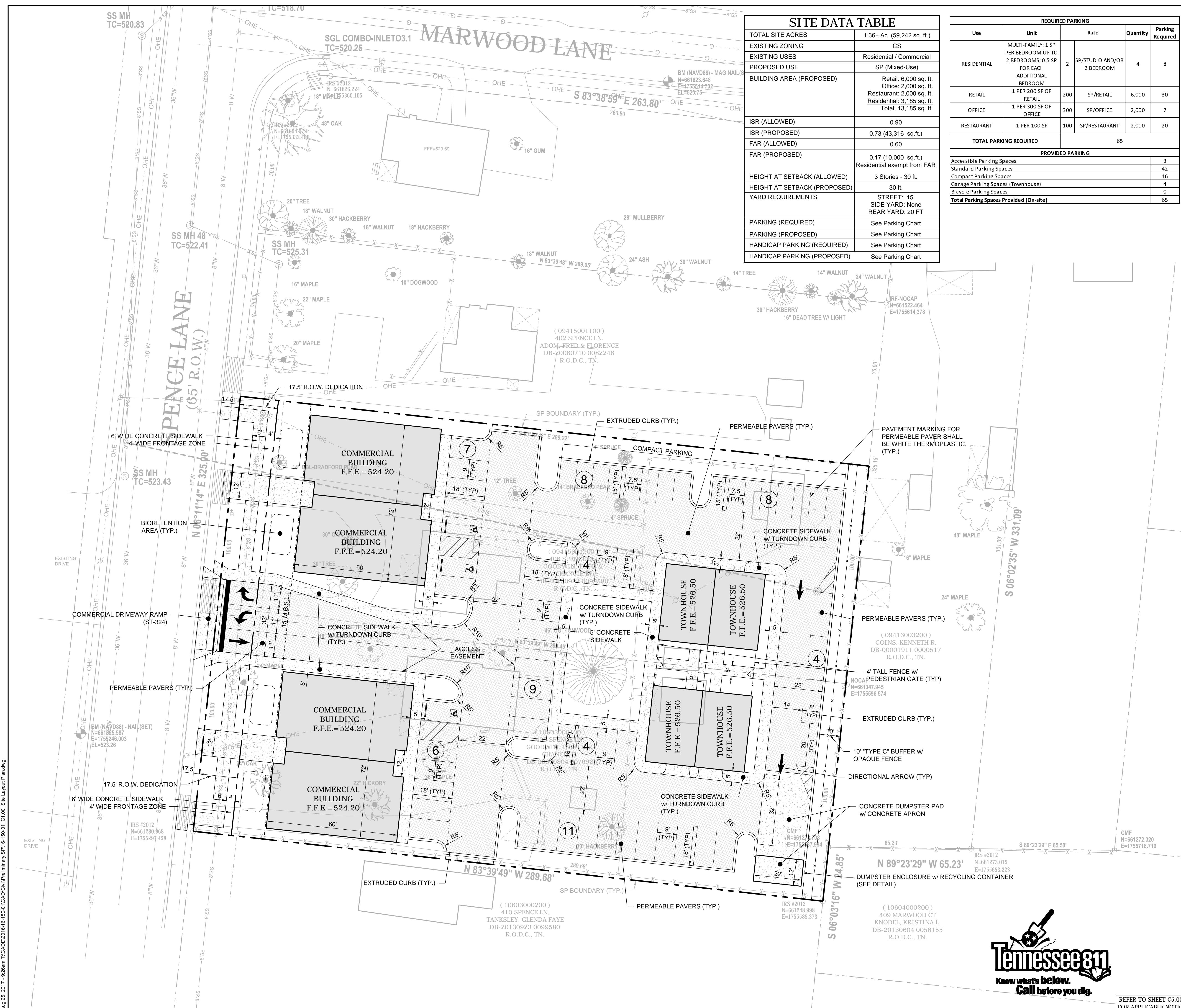
REFER TO SHEET C5.00 FOR APPLICABLE NOTES

**C0.01**

GRAPHIC SCALE: 1" = 20'

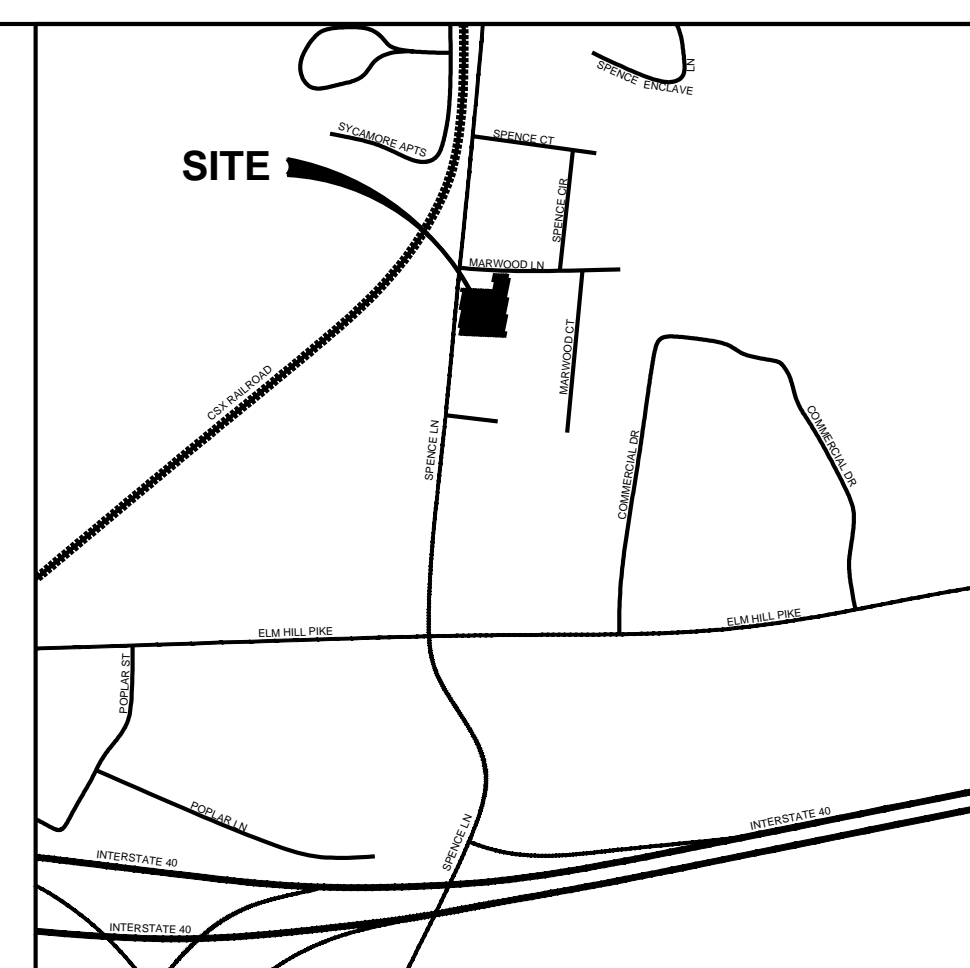
| REV. | DATE       | COMMENTS                 |
|------|------------|--------------------------|
| 1    | 07/13/2017 | PRELIMINARY SP SUBMITTAL |
| 2    | 08/02/2017 | CITY COMMENTS            |
| 3    | 08/24/2017 | CITY COMMENTS            |

DRAWN BY: JMH  
CHECKED BY: DDC

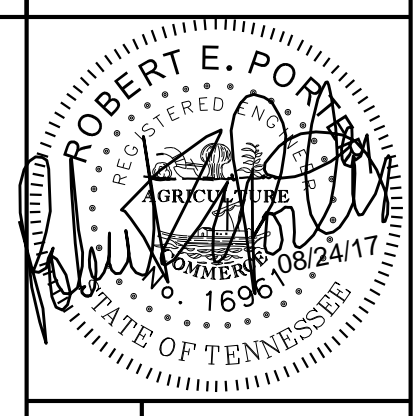


| SITE DATA TABLE              |  |
|------------------------------|--|
| TOTAL SITE ACRES             | 1.36± Ac. (59,242 sq. ft.)   |
| EXISTING ZONING              | CS   |
| EXISTING USES                | Residential / Commercial   |
| PROPOSED USE                 | SP (Mixed-Use)   |
| BUILDING AREA (PROPOSED)     | Retail: 6,000 sq. ft.<br>Office: 2,000 sq. ft.<br>Restaurant: 2,000 sq. ft.<br>Residential: 3,185 sq. ft.<br>Total: 13,185 sq. ft. |
| ISR (ALLOWED)                | 0.90   |
| ISR (PROPOSED)               | 0.73 (43,316 sq.ft.)   |
| FAR (ALLOWED)                | 0.60   |
| FAR (PROPOSED)               | 0.17 (10,000 sq.ft.)<br>Residential exempt from FAR  |
| HEIGHT AT SETBACK (ALLOWED)  | 3 Stories - 30 ft.   |
| HEIGHT AT SETBACK (PROPOSED) | 30 ft.   |
| YARD REQUIREMENTS            | STREET: 15'<br>SIDE YARD: None<br>REAR YARD: 20 FT   |
| PARKING (REQUIRED)           | See Parking Chart  |
| PARKING (PROPOSED)           | See Parking Chart  |
| HANDICAP PARKING (REQUIRED)  | See Parking Chart  |
| HANDICAP PARKING (PROPOSED)  | See Parking Chart  |

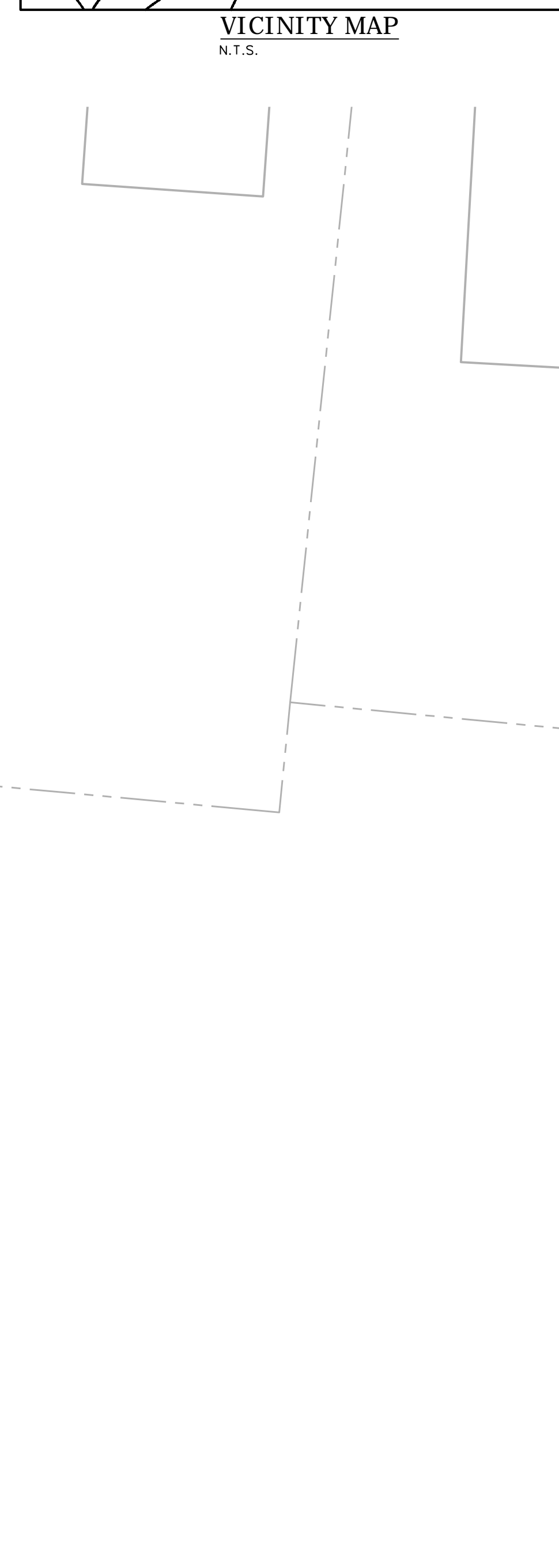
| REQUIRED PARKING                               |   |      |                            |                  |    |
|--|---|------|----------------------------|------------------|----|
| Use  | Unit  | Rate | Quantity                   | Parking Required |    |
| RESIDENTIAL                                    | MULTI-FAMILY: 1 SP PER BEDROOM UP TO 2 BEDROOMS; 0.5 SP FOR EACH ADDITIONAL BEDROOM | 2    | SP/STUDIO AND/OR 2 BEDROOM | 4                | 8  |
| RETAIL   | 1 PER 200 SF OF RETAIL  | 200  | SP/RETAIL                  | 6,000            | 30 |
| OFFICE   | 1 PER 300 SF OF OFFICE  | 300  | SP/OFFICE                  | 2,000            | 7  |
| RESTAURANT                                     | 1 PER 100 SF  | 100  | SP/RESTAURANT              | 2,000            | 20 |
| <b>TOTAL PARKING REQUIRED</b>                  |   |      | <b>65</b>                  |                  |    |
| PROVIDED PARKING                               |   |      |                            |                  |    |
| Accessible Parking Spaces                      |   |      |                            | 3                |    |
| Standard Parking Spaces                        |   |      |                            | 42               |    |
| Compact Parking Spaces                         |   |      |                            | 16               |    |
| Garage Parking Spaces (Townhouse)              |   |      |                            | 4                |    |
| Bicycle Parking Spaces                         |   |      |                            | 0                |    |
| <b>Total Parking Spaces Provided (On-site)</b> |   |      |                            | <b>65</b>        |    |



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**SITE LAYOUT PLAN**  
PRELIMINARY SPECIFIC PLAN  
**CITY SIDE CENTRE**  
406-408 SPENCE LANE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO.



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**MAP 106.03 PARCELS 001.00**

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**Tennessee 811**  
Know what's below.  
Call before you dig.

REFER TO SHEET C5.00 FOR APPLICABLE NOTES

**C1.00**

GRAPHIC SCALE: 1" = 20'

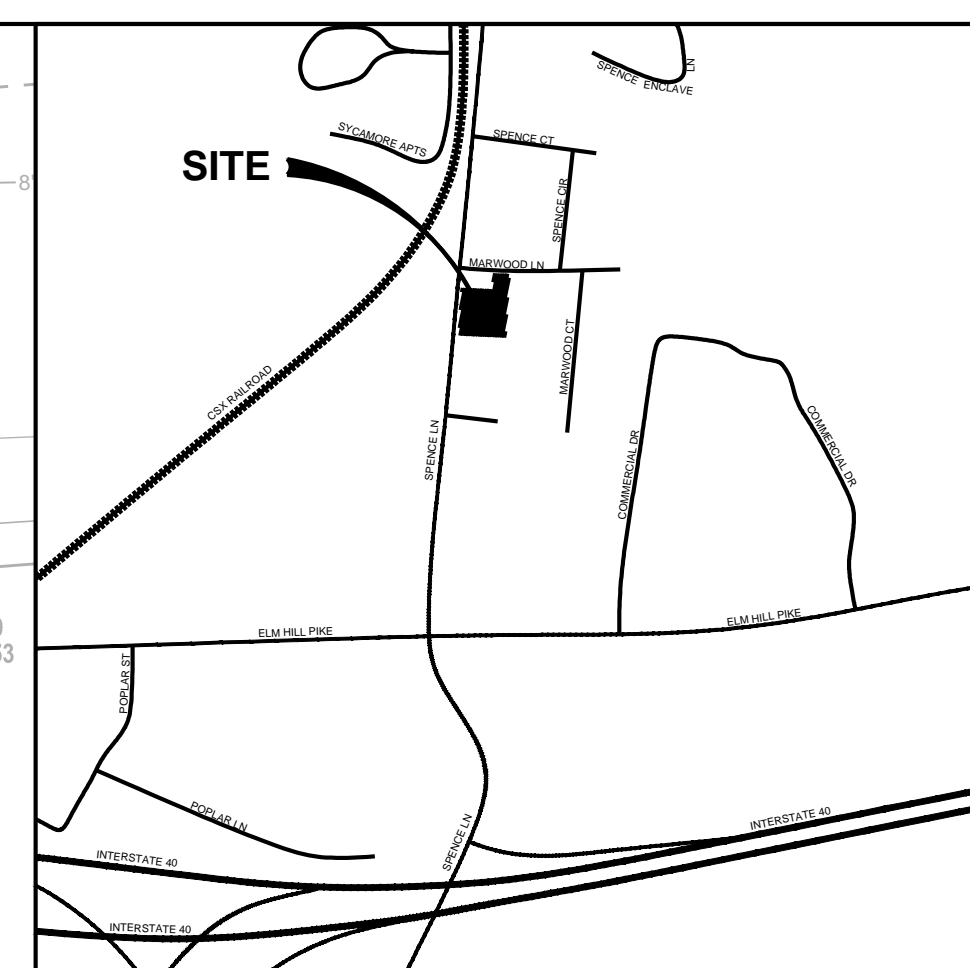
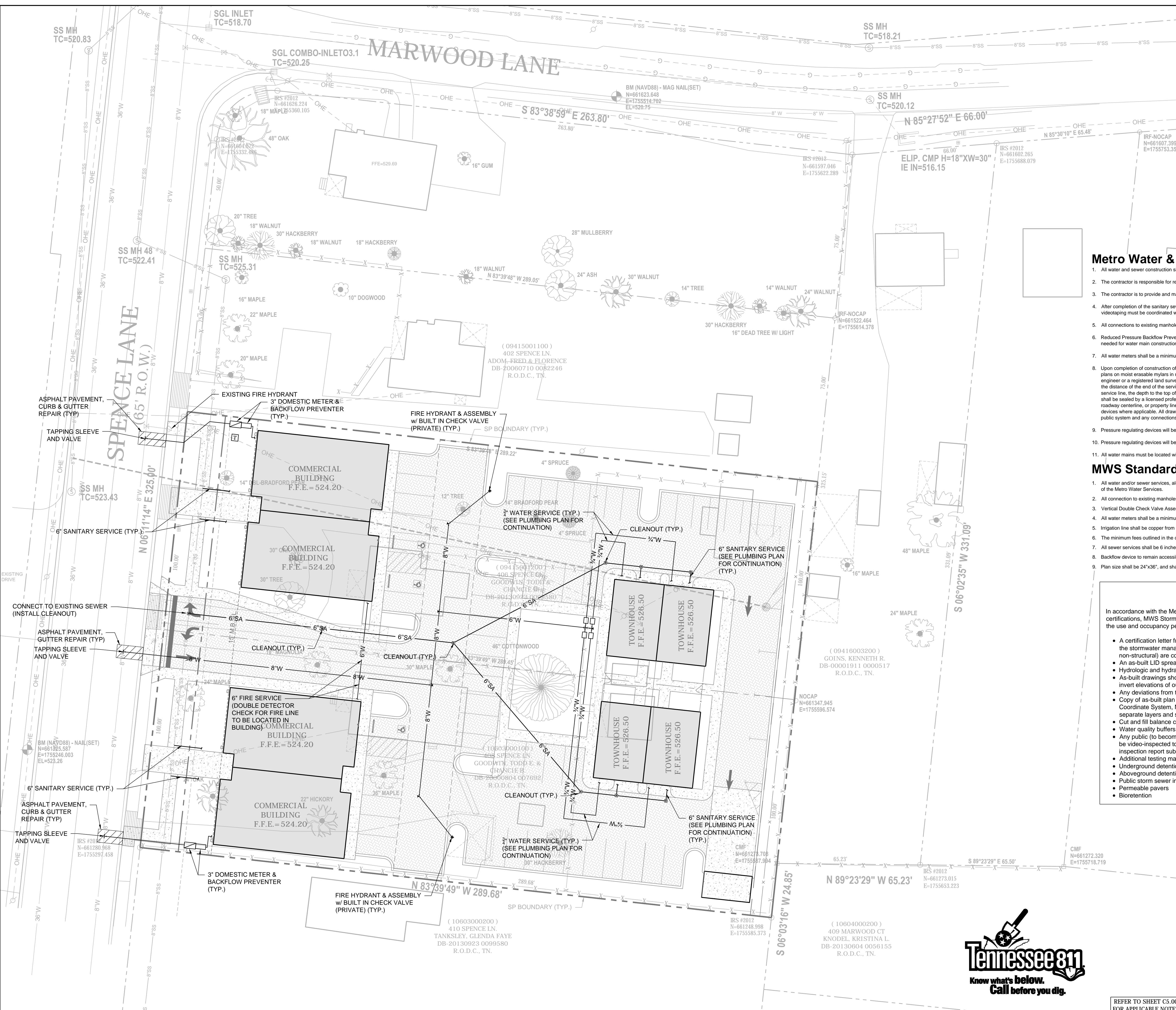
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| 1    | 07/13/2017 | PRELIMINARY SP SUBMITTAL |
| 2    | 08/02/2017 | CITY COMMENTS            |
| 3    | 08/24/2017 | CITY COMMENTS            |

DRAWN: JMH, DGC  
BY: JMH, JMH, DGC

NO. 16-150-01

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Aug 25, 2017 - 9:28am T:\CADD\2016\16-150-01\CADD\DWG\Preliminary\SP16-150-01\_C2.00\_UTILITY PLAN.dwg



**Metro Water & Sewer Notes**

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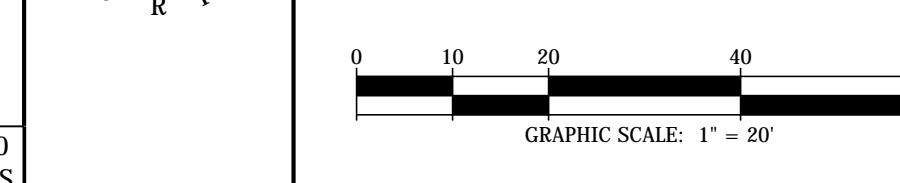
**Metro As-Built Note:**

- In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, as-built certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:
- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
  - An as-built LID spreadsheet.
  - Hydrologic and hydraulic calculations for as-built conditions, as required.
  - As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
  - Any deviations from the approved plans shall be noted on as-built drawings submitted.
  - Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
  - Cut and fill balance certification for floodplain and sinkhole alterations.
  - Water quality buffers shall be surveyed and included with the as-built submittal.
  - Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
  - Additional testing may be required as/if warranted by video inspection.
  - Underground detention & water quality infrastructure
  - Aboveground detention & water quality infrastructure
  - Public storm sewer infrastructure
  - Permeable pavers
  - Bioretention

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MAP 106.03 PARCELS 001.00

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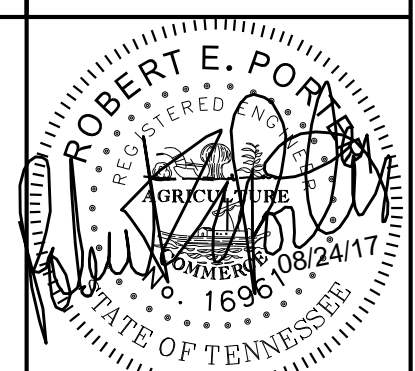
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REFER TO SHEET C5.00 FOR APPLICABLE NOTES



**CIVIL SITE DESIGN GROUP**  
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615.259.8888 WWW.CIVILSITEDESIGN.COM

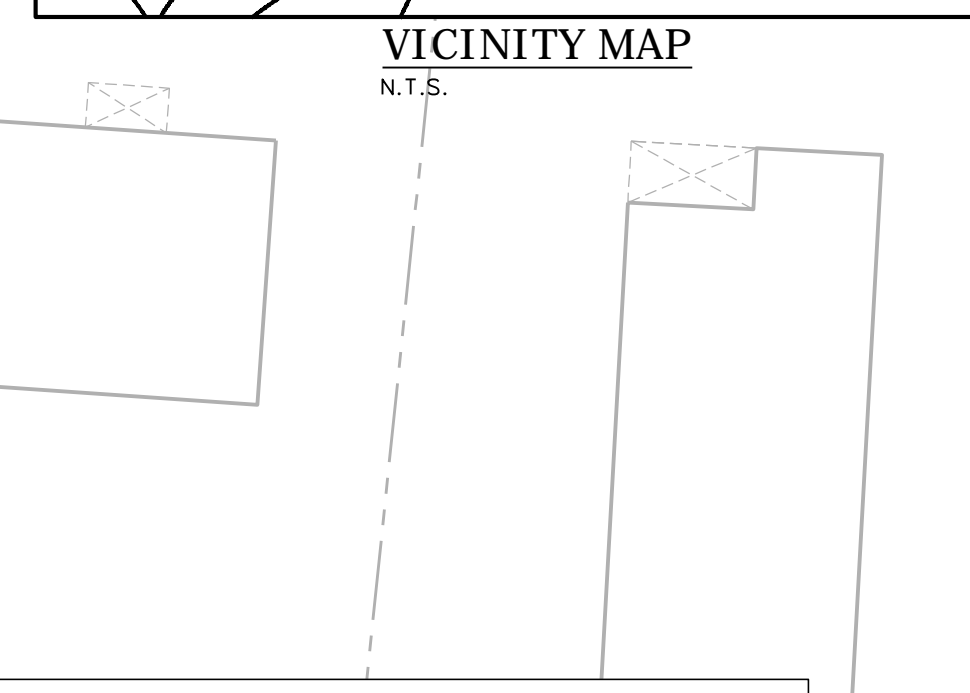
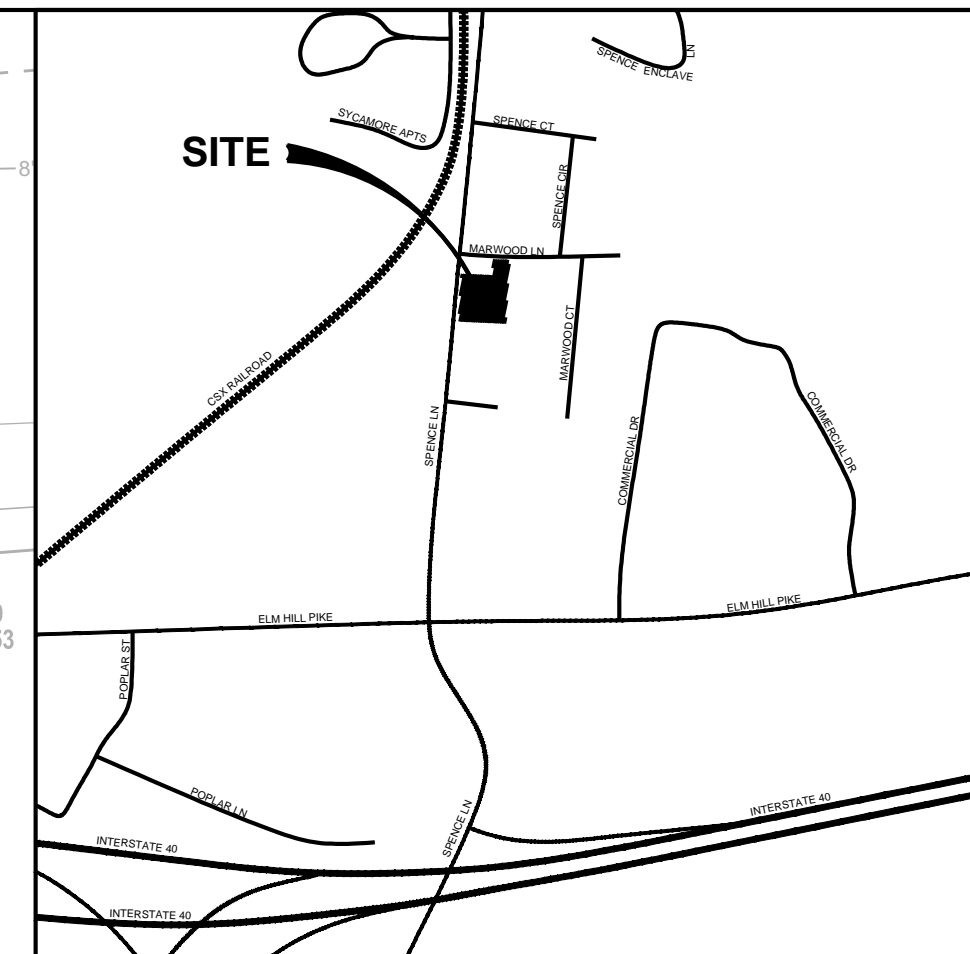
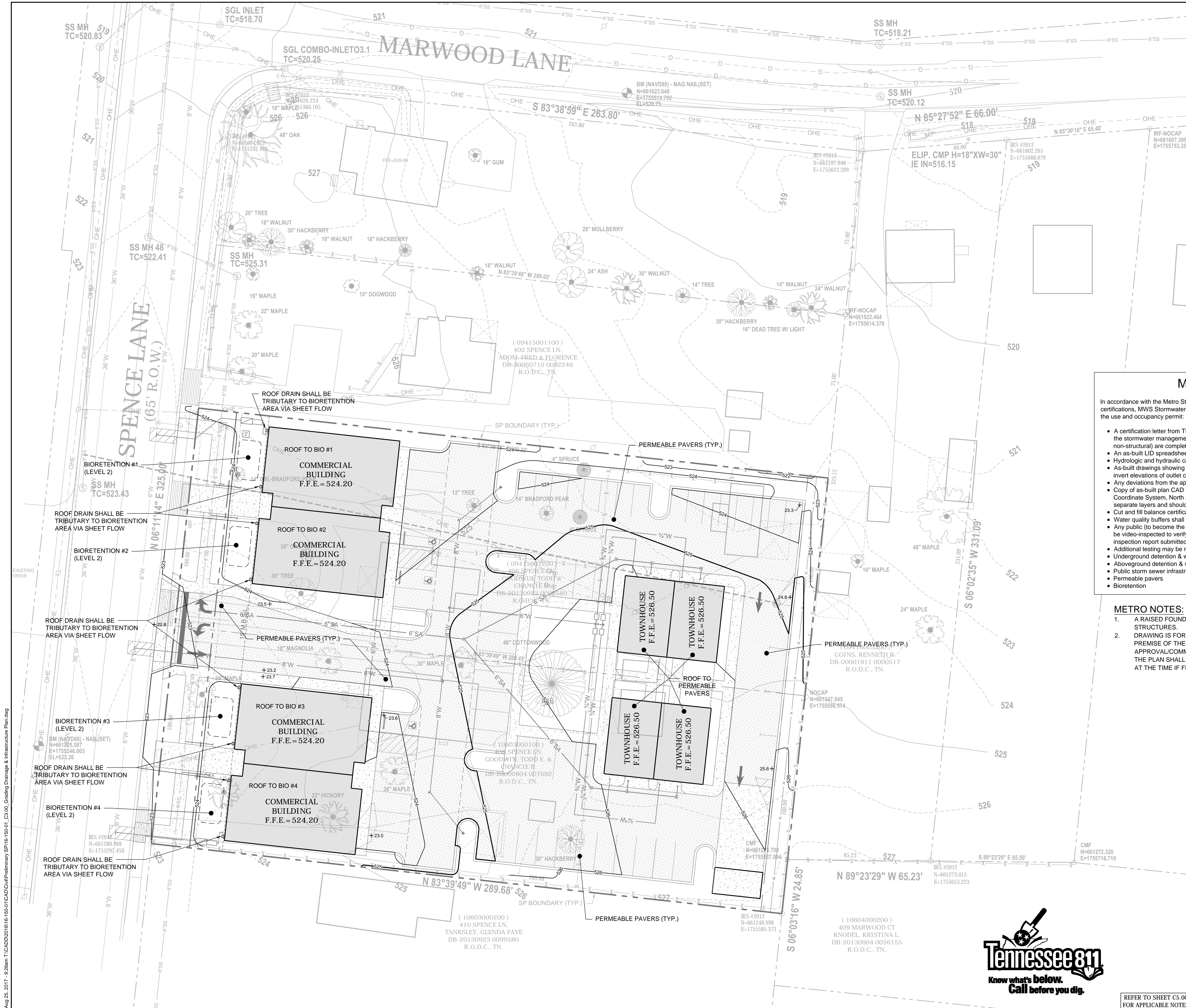


**UTILITY PLAN**  
PRELIMINARY SPECIFIC PLAN  
**CITY SIDE CENTRE**  
406-408 SPENCE LANE,  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO.

| REV. | COMMENTS                 | DATE       |
|------|--------------------------|------------|
| 1    | PRELIMINARY SP SUBMITTAL | 07/13/2017 |
| 2    | CITY COMMENTS            | 08/02/2017 |
| 3    | CITY COMMENTS            | 08/24/2017 |

**C2.00**  
JOB NO.: 16-150-01

Aug 25, 2017 - 9:28am T:\CADD\2016\150-01\CAD\DWG\Preliminary\SP16-150-01\_C3.00\_Grading Drainage & Infrastructure Plan.dwg



**Metro As-Built Note:**

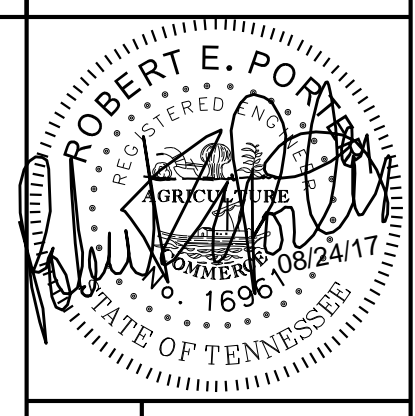
In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, as-built certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
- An as-built LID spreadsheet.
- Hydrologic and hydraulic calculations for as-built conditions, as required.
- As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
- Any deviations from the approved plans shall be noted on as-built drawings submitted.
- Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
- Cut and fill balance certification for floodplain and sinkhole alterations.
- Water quality buffers shall be surveyed and included with the as-built submittal.
- Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
- Additional testing may be required as/it warranted by video inspection.
- Underground detention & water quality infrastructure
- Aboveground detention & water quality infrastructure
- Public storm sewer infrastructure
- Permeable pavers
- Bioretention

**METRO NOTES:**

1. A RAISED FOUNDATION OF 18"-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.
2. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PRELIMINARY OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER AT THE TIME IF FINAL APPLICATION.

**CIVIL SITE DESIGN GROUP**  
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
 919 SOUTHWEST AVENUE SUITE 400 NASHVILLE, TN 37203  
 615.259.8888 WWW.CIVILSITEDESIGN.COM



**GRADING, DRAINAGE AND INFRASTRUCTURE PLAN**  
 PRELIMINARY SPECIFIC PLAN  
**CITY SIDE CENTRE**  
 406-408 SPENCE LANE  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO.

| REV. | COMMENTS                 | DATE       |
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**MAP 094.15 PARCEL 012.00**  
**MAP 106.03 PARCELS 001.00**

**PROJECT BENCHMARK:**  
 DESCRIPTION: MAG NAIL (NAVD88)  
 NORTHING: 661,623.648  
 EASTING: 1,755,514.702  
 ELEVATION: 520.75

**PROJECT BENCHMARK:**  
 DESCRIPTION: NAIL(SET) (NAVD88)  
 NORTHING: 661,325.587  
 EASTING: 1,755,246.003  
 ELEVATION: 523.26

**Tennessee 811**  
 Know what's below. Call before you dig.

**REFER TO SHEET C5.00 FOR APPLICABLE NOTES**

**C3.00**

GRAPHIC SCALE: 1" = 20'

JOB NO.: 16-150-01

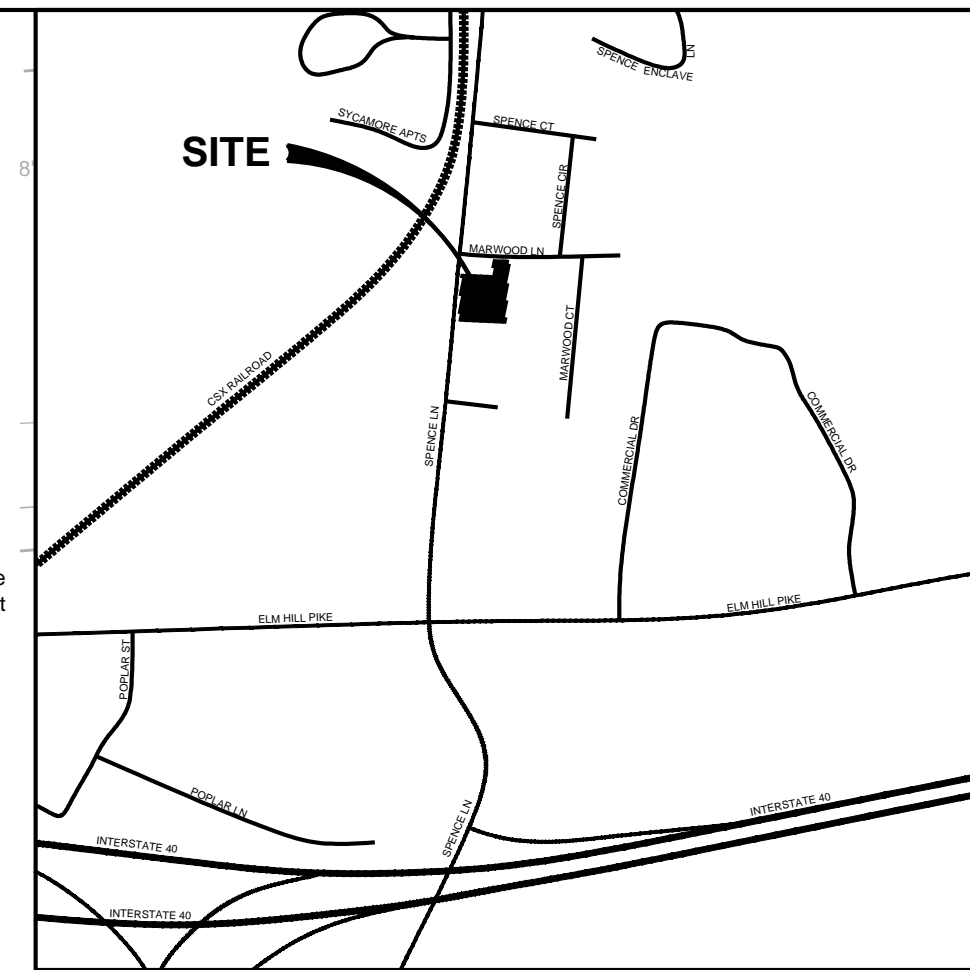
# Stormwater Pollution Prevention Plan Notes

- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure):
  - A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number
  - Name, company name, email address, telephone number and address of the project site owner or a local contact person
  - A brief description of the project
  - The location of the SWPPP if an on-site location for storing the plan is not available.
- The owner of this project site will provide erosion control measures as shown on this SWPPP. Once the owner sells this property, the new property owner will be required to obtain coverage under this permit from the governing federal, state and local agencies and the new property owner shall assume operational control and responsibility for the portion of the site that he/she purchases.
- Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins when indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacturer's specifications and recommendations. It is the purpose of all control measures to slow runoff so that fill and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rye during the fall and winter months. Sow at a rate of 6 lbs. per 1000 sq. ft. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/restoration can begin.
- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 50%.
- Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- There are no streams or wetlands on or near this project site, therefore no additional permits associated with these features are required.

- All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from being washed from the site by storm water runoff.
- Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- Construction must be phased for projects in which over 50 acres of soil will be disturbed. Areas of the completed phase must be stabilized within 15 days. No more than 50 acres of active soil disturbance is allowed at any time during the construction project.
- For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
- The contractor shall maintain a rain gauge and daily rainfall records at the site.
- The contractor shall initiate stabilization measures in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 15 days after the construction activity on that portion of the site has temporarily or permanently ceased.
- The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner, which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.
- Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- After construction is complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed areas.
- Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bampus fences or rock check dams shall be used to slow the velocity and allow settling of sediment.
- All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.
- All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibited from being removed. The contractor shall ensure that these areas remain undisturbed during construction. Contractor shall erect construction barriers or take other means necessary to insure that the areas remain protected.

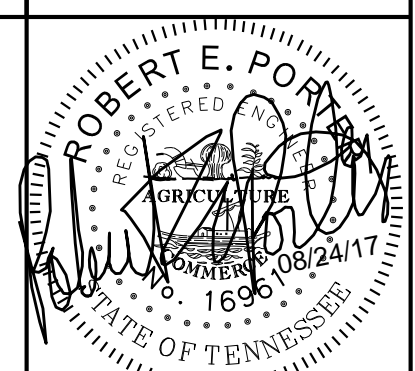
- The contractor shall employ a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the "Fundamentals of Erosion Prevention and Sediment Control" course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.
- Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.
- Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.5 inches or greater.
- Any inadequate control measures or control measures in disrepair shall be replaced or modified or repaired as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional erosion control measures where necessary to insure adequate control so that no soil exits the project site.
- Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate for a particular location), and actions taken in accordance with the General Permit. Inspection documentation will be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.
- Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "water" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.
- The contractor shall seed and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. The contractor shall take whatever means necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days shall be temporarily covered with straw to help prevent erosion.
- Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.
- Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.
- During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR10000) for storm water discharges associated with construction activity (TNOCGP), and is prepared using sound engineering practices. Civil Site Design Group P.L.L.C. personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

As instructed by Part III.F of the TNOCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC).



VICINITY MAP  
N.T.S.

**CIVIL SITE**  
DESIGN GROUP  
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
610 SOUTH GULF AVENUE, SUITE 201, NASHVILLE, TN 37203  
615.259.8888 WWW.CIVILSITEGROUP.COM



## Metro As-Built Note:

In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, as-built certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
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- Permeable pavers
- Bioretention

## N.O.C. Certification

Tennessee Construction General Permit Notice of Coverage (N.O.C.)  
Certification:

Please fill out and sign/date one of the following statements:

1. The project associated with these submitted plans is covered under Tennessee Construction General Permit, TNR \_\_\_\_\_

*James J. Hamrick, Jr.* \_\_\_\_\_ 07/13/17  
Signature Date

Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction general Permit N.O.C. letter is submitted.

2. I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The total Disturbed Area is: \_\_\_\_\_ acres

Signature \_\_\_\_\_ Date \_\_\_\_\_

Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acre do not require State permit coverage. Also, projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.

**DISTURBED AREA: 1.32 ACRES**

## Concrete Washdown Note

Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 & CP-13, respectively. Contractor to coordinate exact location with N.P.D.E.S. department during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.



## SWPPP LEGEND

- CE CONSTRUCTION ENTRANCE
- CW CONCRETE WASHOUT
- SF SILT FENCE
- TP TREE PROTECTION FENCE

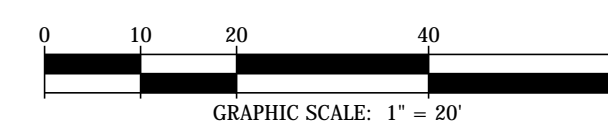
**NOTE:** WEIGHTED SEDIMENT TUBES OR EQUIVALENT MEASURES SHOULD BE USED AT LOCATIONS WHERE SILT FENCE CANNOT BE TRENCHED IN (ASPHALT, CONCRETE, ETC.) (REFER TO DETAIL)

REFER TO SHEET C5.00 FOR APPLICABLE NOTES

MAP 094.15 PARCEL 012.00  
MAP 106.03 PARCELS 001.00



- PROJECT BENCHMARK:**  
DESCRIPTION: MAG NAIL (NAVD88)  
NORTHING: 661,623.648  
EASTING: 1,755,514.702  
ELEVATION: 520.75
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DESCRIPTION: NAIL(SET) (NAVD88)  
NORTHING: 661,325.587  
EASTING: 1,755,246.003  
ELEVATION: 523.26



**SWPPP STAGE 1 PLAN (INITIAL)**  
**PRELIMINARY SPECIFIC PLAN**  
**CITY SIDE CENTRE**  
 406-408 SPENCE LANE,  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO. \_\_\_\_\_

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**C3.01**  
JOB NO.: 16-150-01

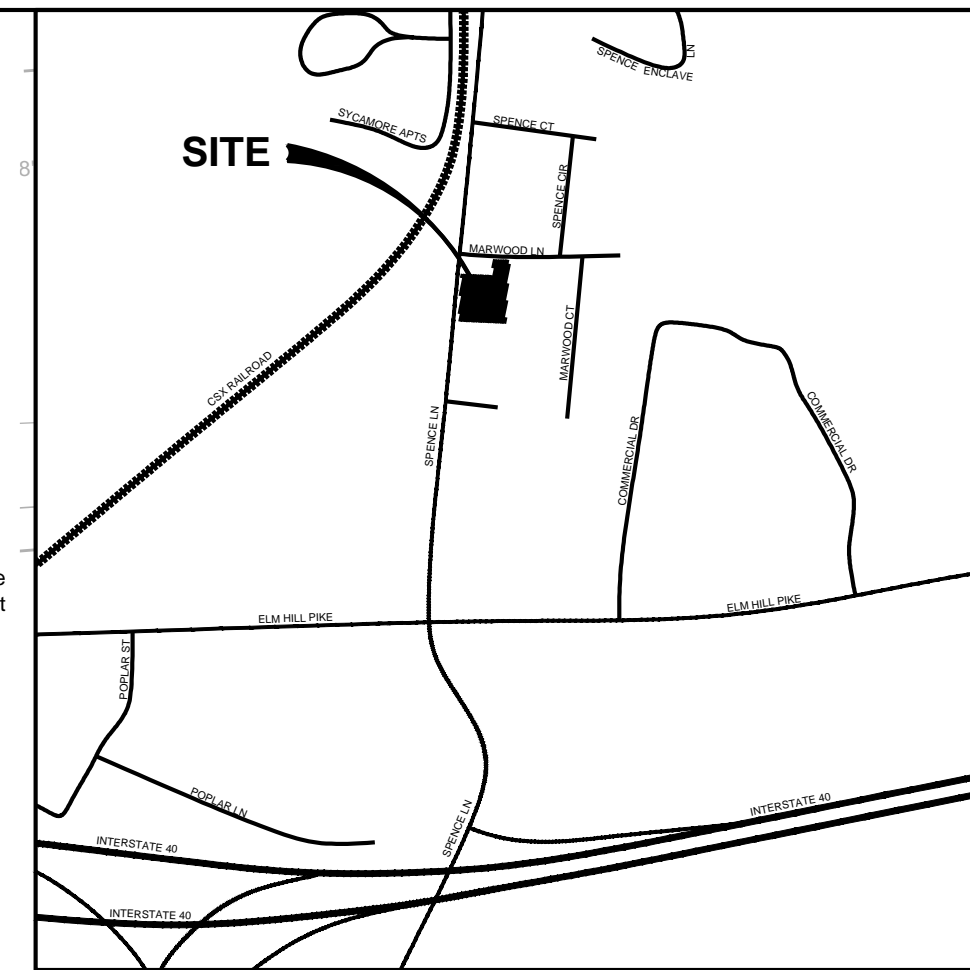
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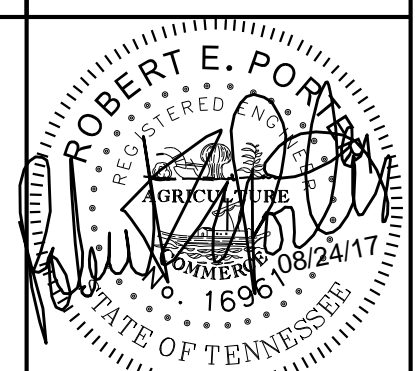
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- During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR10000) for storm water discharges associated with construction activity (TNOCGP), and is prepared using sound engineering practices. Civil Site Design Group P.L.L.C. personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

As instructed by Part III.F of the TNOCGP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC).



VICINITY MAP  
N.T.S.

**CIVIL SITE**  
DESIGN GROUP  
ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
610 SOUTHGATE AVENUE SUITE 201 NASHVILLE, TN 37203  
615.259.8888 WWW.CIVILSITEGROUP.COM



## Metro As-Built Note:

In accordance with the Metro Stormwater Management Manual, Volume 1, Section 3.9, as-built certifications, MWS Stormwater Division must approve the following as-builts prior to issuance of the use and occupancy permit:

- A certification letter from TN registered P.E. stating that the site has been inspected and that the stormwater management system and stormwater control measures (both structural and non-structural) are complete and functional in accordance with the plans approved by MWS.
- An as-built LID spreadsheet.
- Hydrologic and hydraulic calculations for as-built conditions, as required.
- As-built drawings showing final topographic features of all these facilities. This shall include invert elevations of outlet control structures.
- Any deviations from the approved plans shall be noted on as-built drawings submitted.
- Copy of as-built plan CAD file on a CD and should be registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83). Data should be placed in separate layers and should be labeled/named for easy identification.
- Cut and fill balance certification for floodplain and sinkhole alterations.
- Water quality buffers shall be surveyed and included with the as-built submittal.
- Any public (to become the responsibility of Metro to maintain) stormwater infrastructure shall be video-inspected to verify proper installation with the video recording and any associated inspection report submitted as part of as-built record.
- Additional testing may be required as/warranted by video inspection.
- Underground detention & water quality infrastructure
- Aboveground detention & water quality infrastructure
- Public storm sewer infrastructure
- Permeable pavers
- Bioretention

## N.O.C. Certification

Tennessee Construction General Permit Notice of Coverage (N.O.C.) Certification:

Please fill out and sign/date one of the following statements:

1. The project associated with these submitted plans is covered under Tennessee Construction General Permit, TNR \_\_\_\_\_

*James J. Hamrick, Jr.* \_\_\_\_\_ 07/13/17  
Signature Date

Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction general Permit N.O.C. letter is submitted.

2. I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The total Disturbed Area is: \_\_\_\_\_ acres

Signature \_\_\_\_\_ Date \_\_\_\_\_

Circle one: Developer  Project Engineer  Other \_\_\_\_\_

Please attach a copy of the Notice of Coverage under the Construction General Permit.

NOTE: Projects of one (1) or more acres require State permit coverage, while projects of less than one (1) acre do not require State permit coverage. Also, projects less than one (1) acre that are part of a total development of one (1) or more acres require State permit coverage.

**DISTURBED AREA: 1.32 ACRES**

## Concrete Washdown Note

Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 & CP-13, respectively. Contractor to coordinate exact location with N.P.D.E.S. department during pre-construction meeting. Grading Permittee to include BMP's designed to control site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality. The location of and / or notes referring to said BMP's shall be shown on the EPSC Plan.



## SWPPP LEGEND

- CE** CONSTRUCTION ENTRANCE
- CW** CONCRETE WASHOUT
- SF** SILT FENCE
- TP** TREE PROTECTION FENCE

**NOTE:** WEIGHTED SEDIMENT TUBES OR EQUIVALENT MEASURES SHOULD BE USED AT LOCATIONS WHERE SILT FENCE CANNOT BE TRENCHED IN (ASPHALT, CONCRETE, ETC.) (REFER TO DETAIL)

REFER TO SHEET C5.00 FOR APPLICABLE NOTES

MAP 094.15 PARCEL 012.00  
MAP 106.03 PARCELS 001.00

**PROJECT BENCHMARK:**  
DESCRIPTION: MAG NAIL (NAVD88)  
NORTHING: 661,623.648  
EASTING: 1,755,514.702  
ELEVATION: 520.75

**PROJECT BENCHMARK:**  
DESCRIPTION: NAIL/SET (NAVD88)  
NORTHING: 661,325.587  
EASTING: 1,755,246.003  
ELEVATION: 523.26



SWPPP STAGE 2 PLAN (INTERMEDIATE)  
PRELIMINARY SPECIFIC PLAN  
CITY SIDE CENTRE  
406-408 SPENCE LANE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO.

| REV. | COMMENTS                 | DATE       |
|------|--------------------------|------------|
| 1    | PRELIMINARY SP SUBMITTAL | 07/13/2017 |
| 2    | CITY COMMENTS            | 08/02/2017 |
| 3    | CITY COMMENTS            | 08/24/2017 |

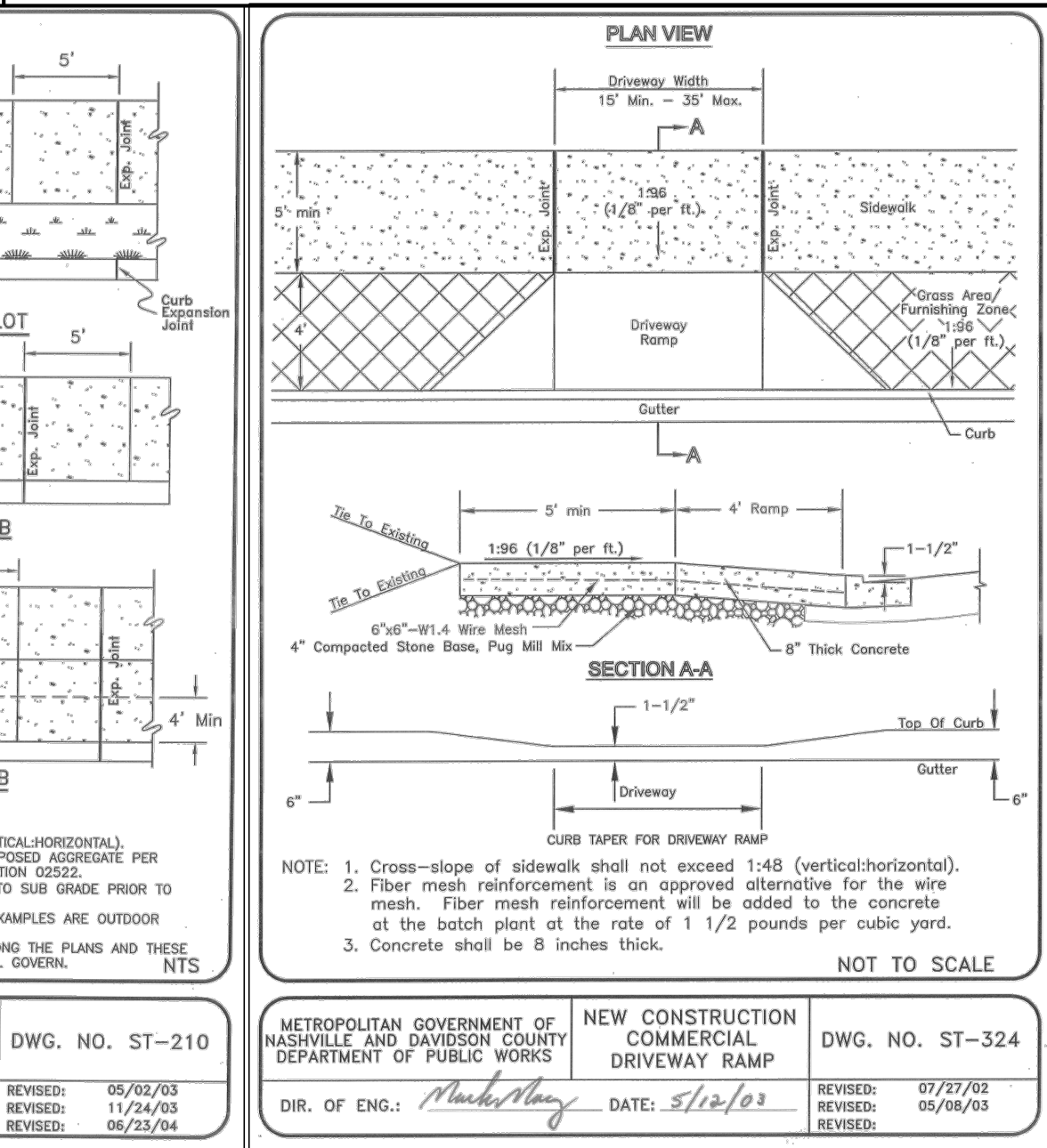
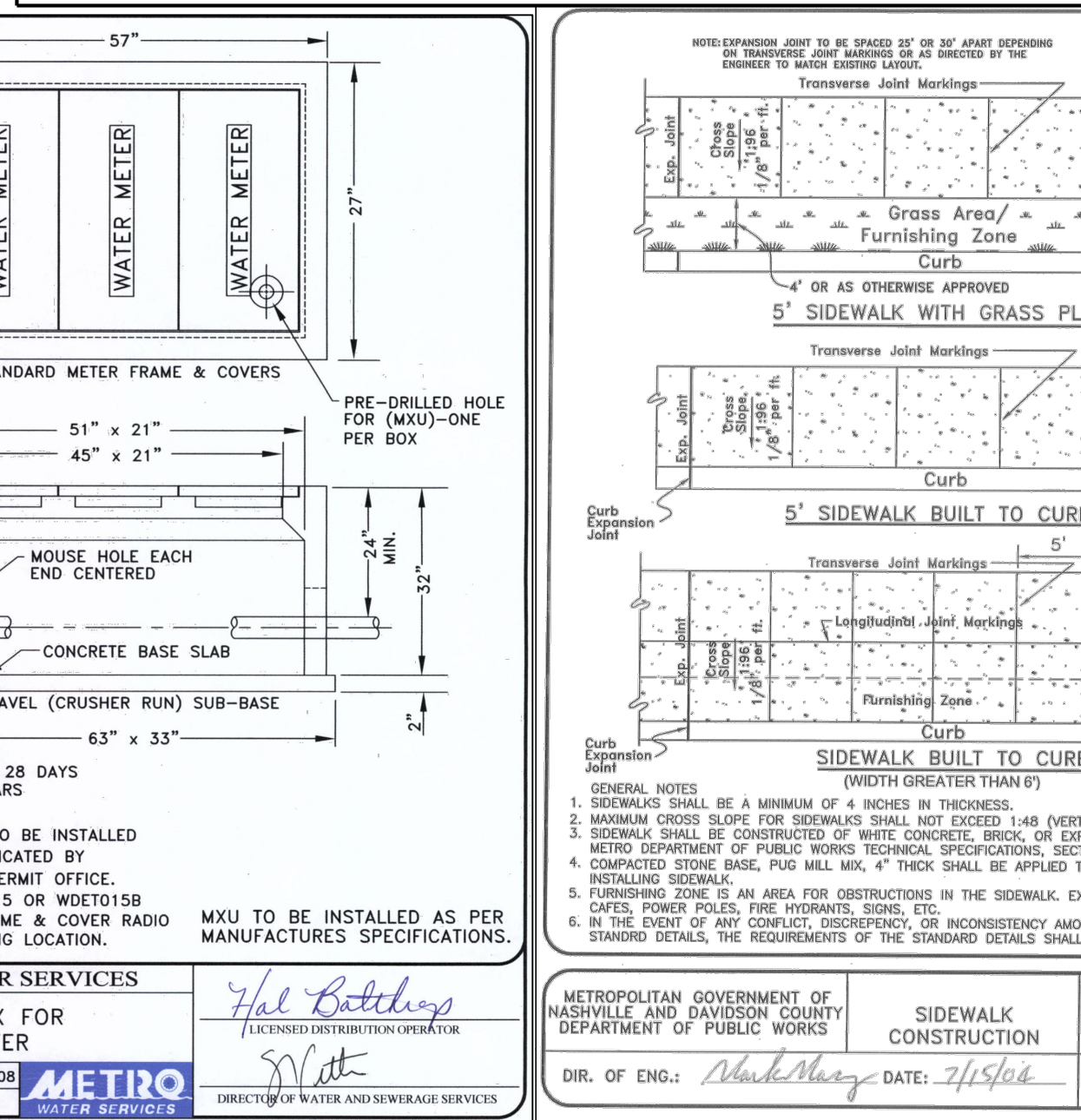
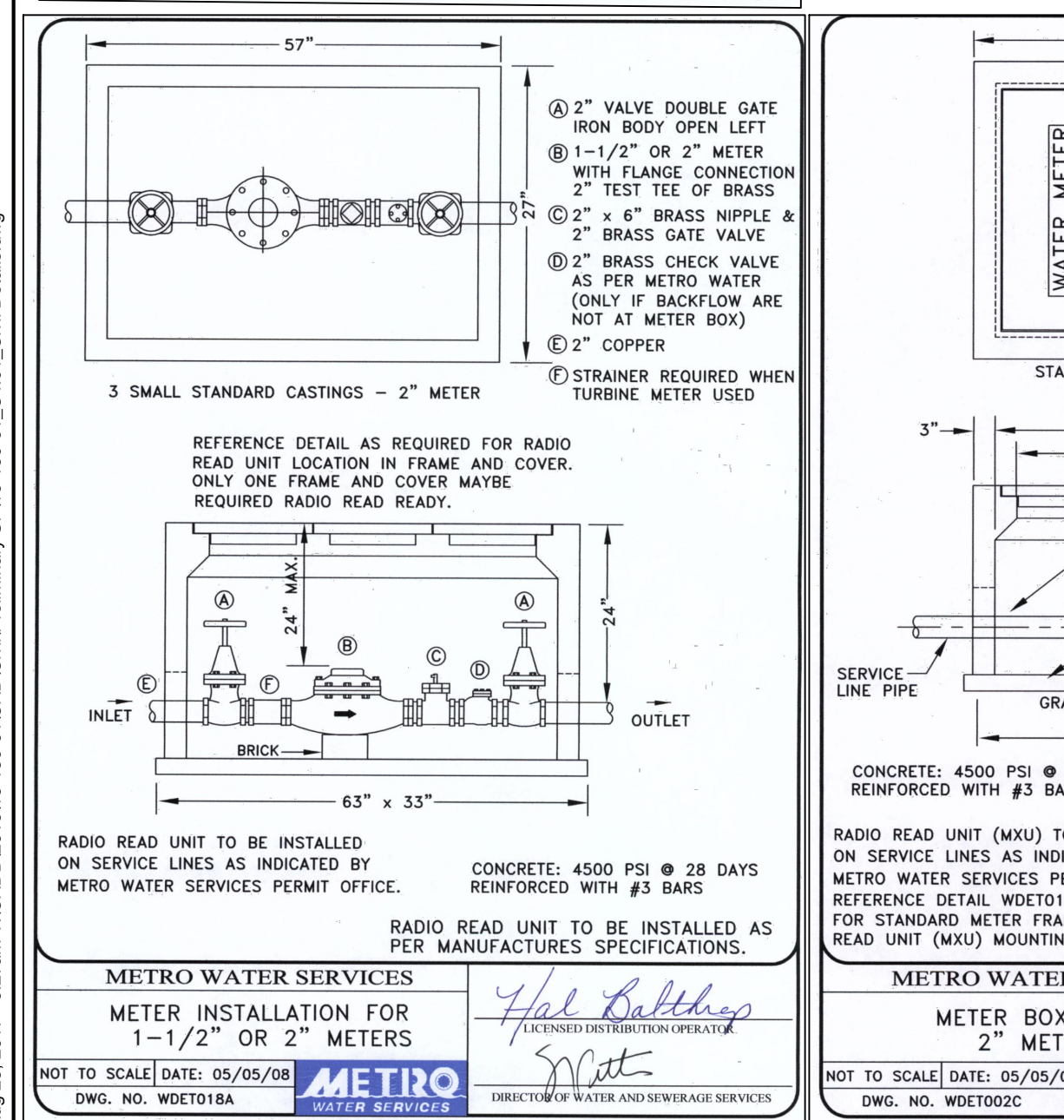
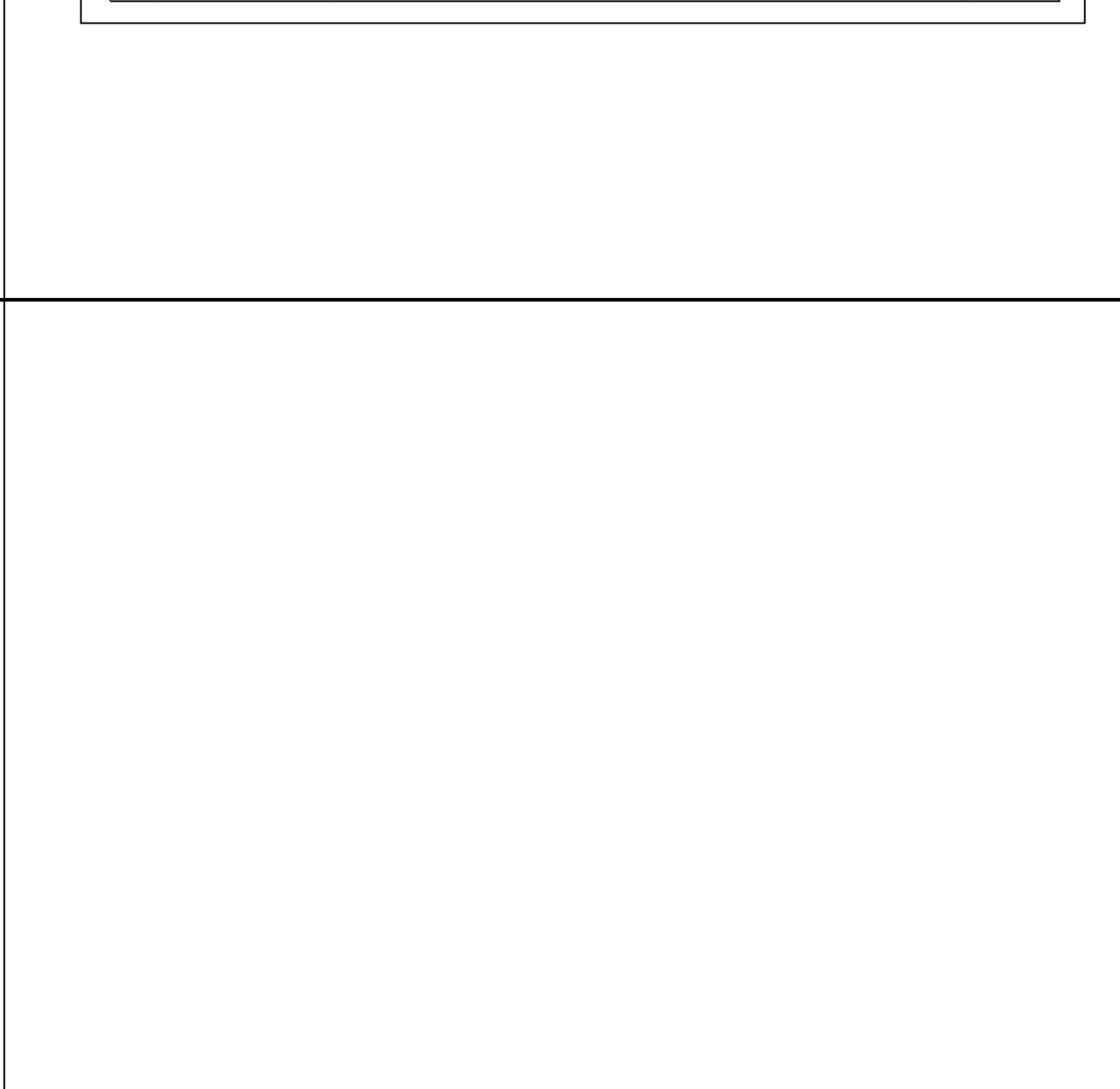
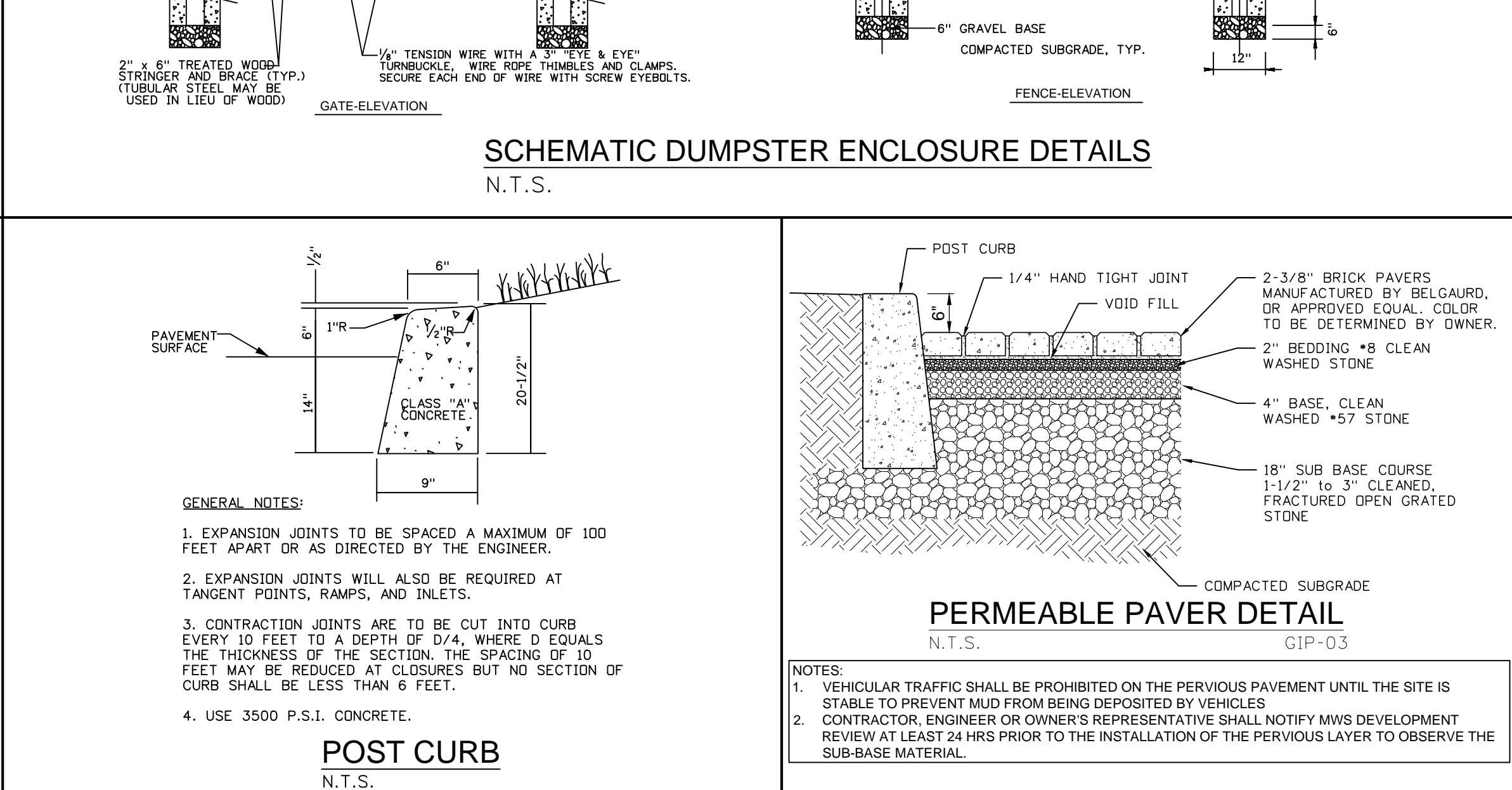
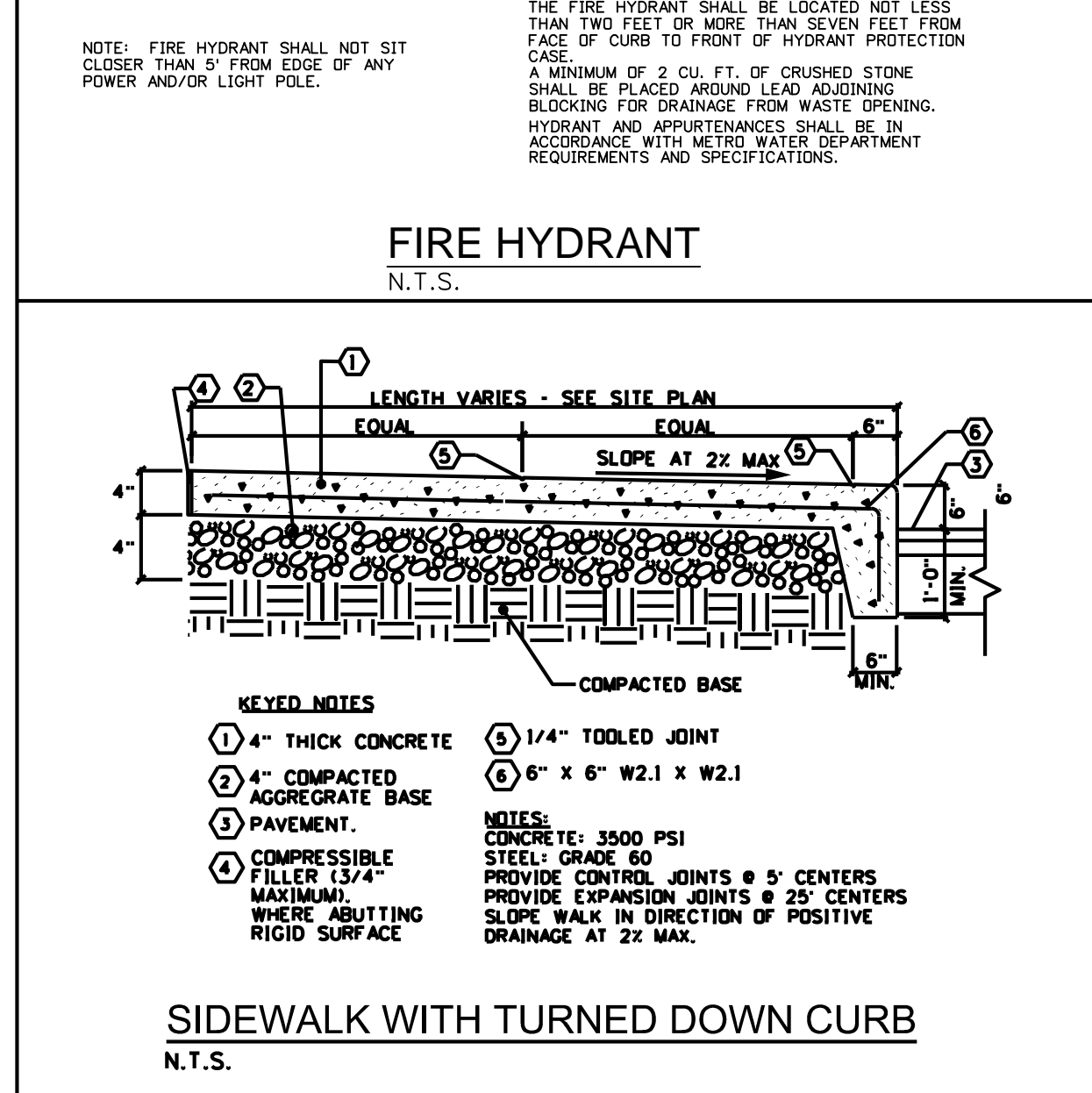
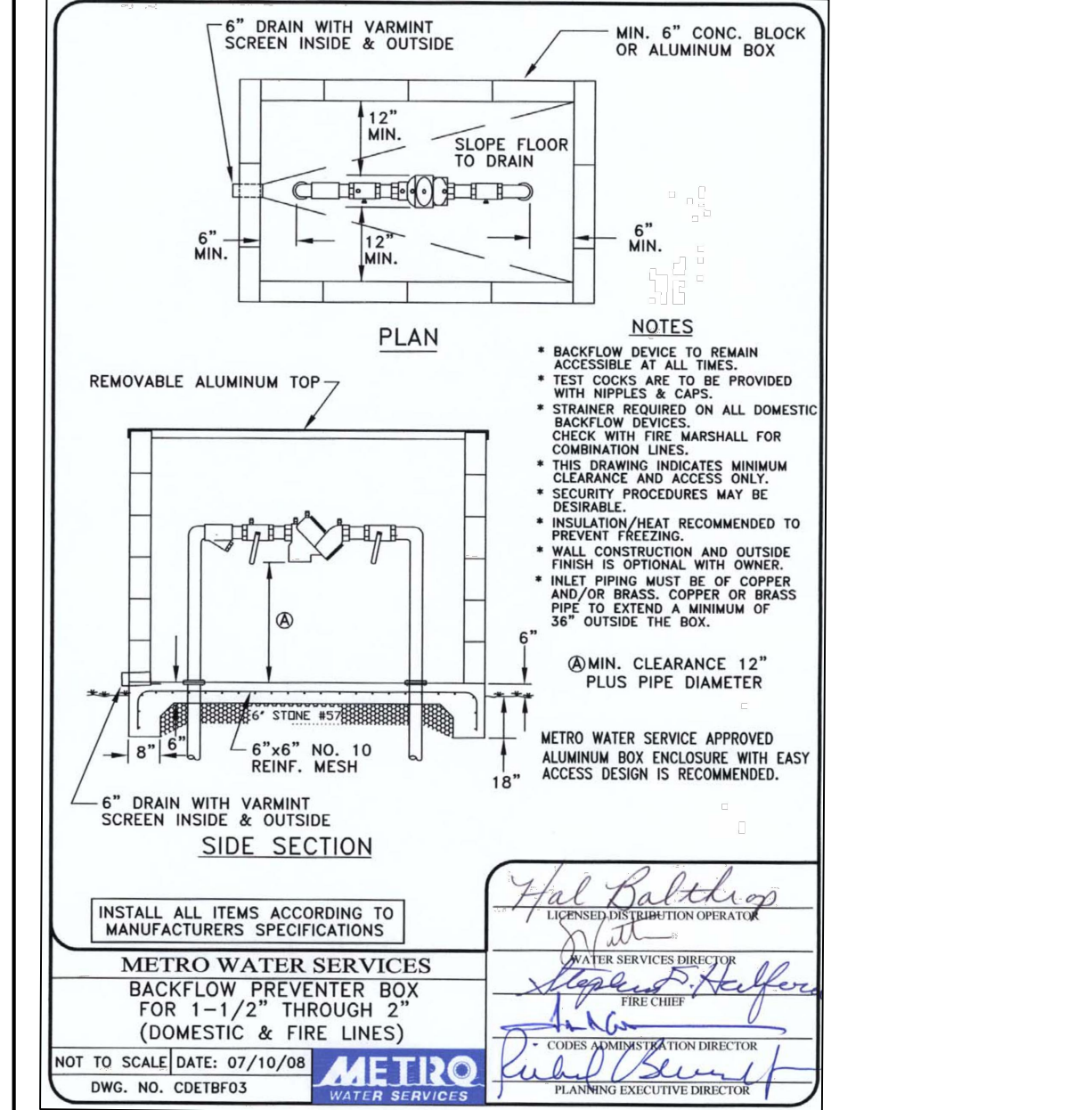
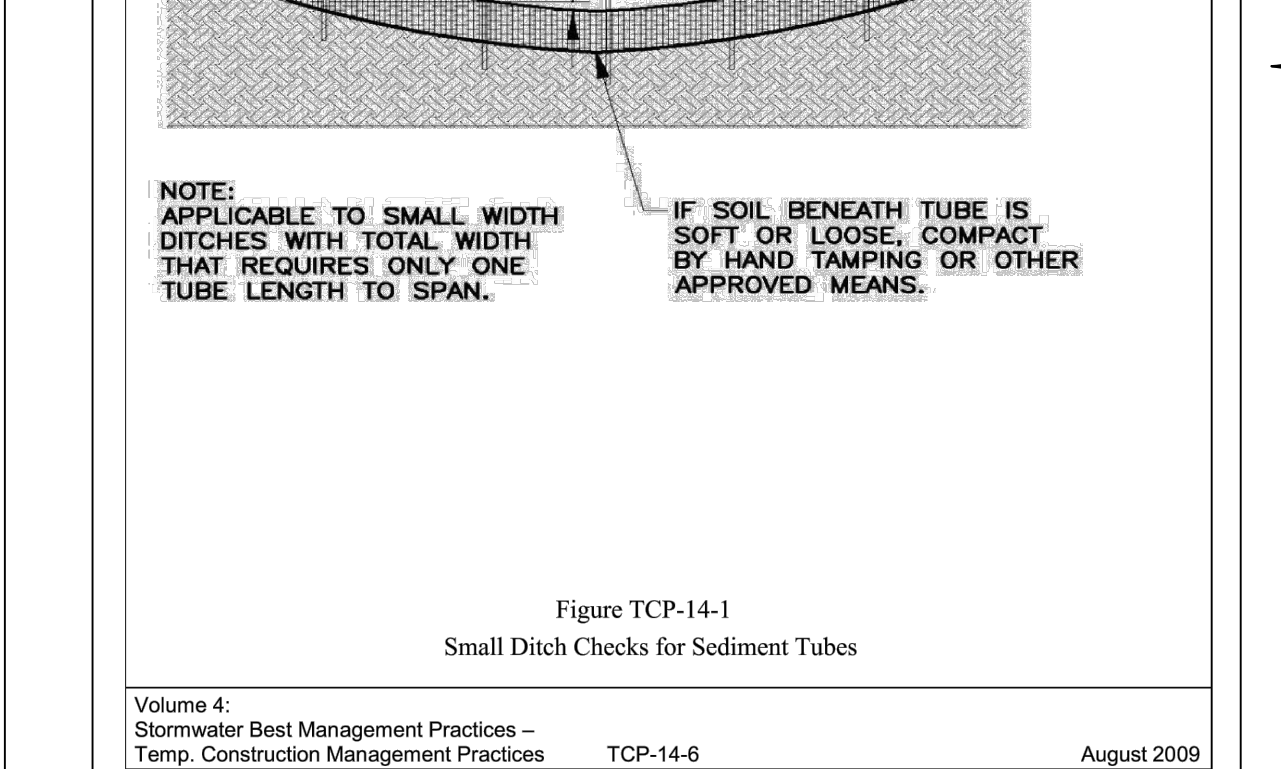
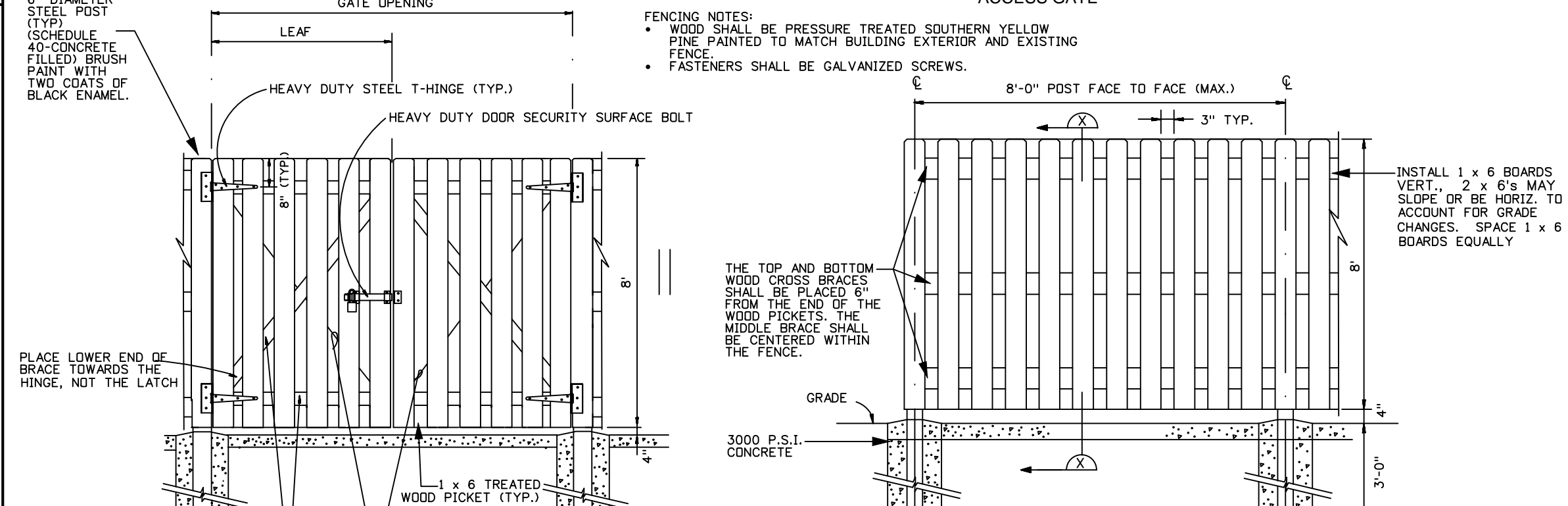
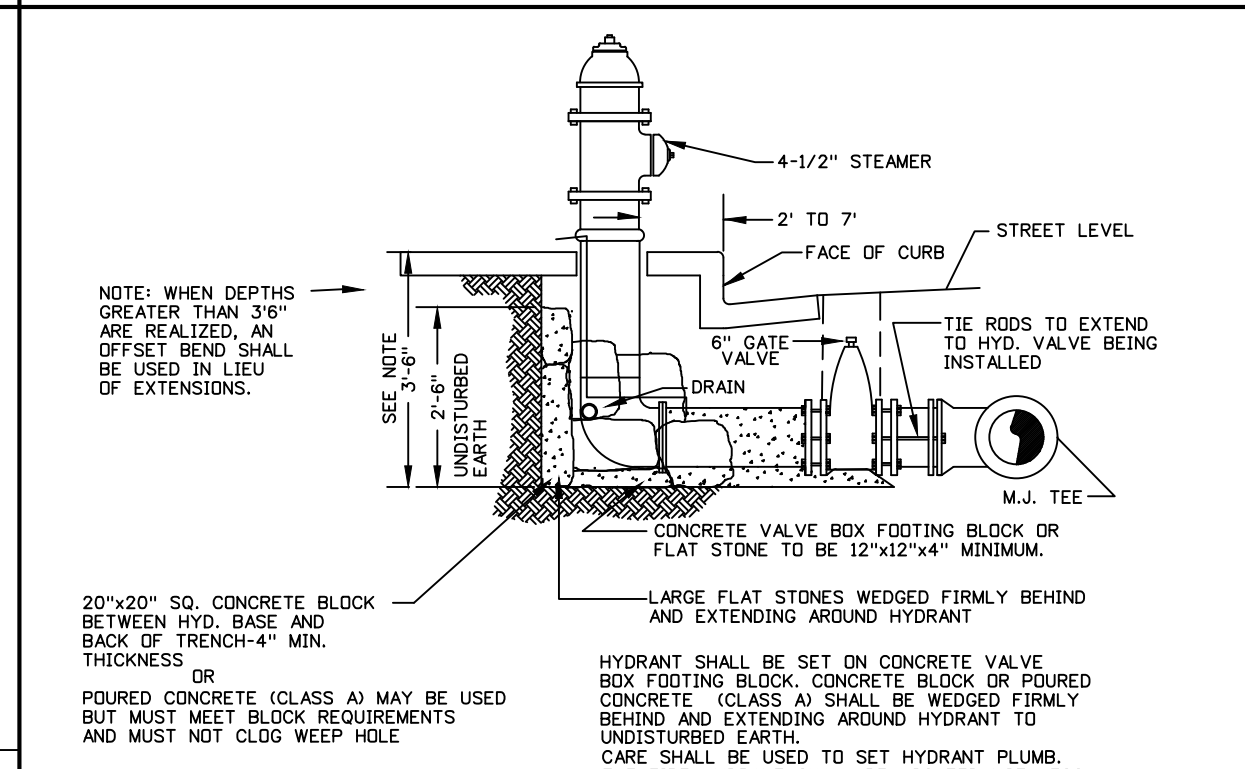
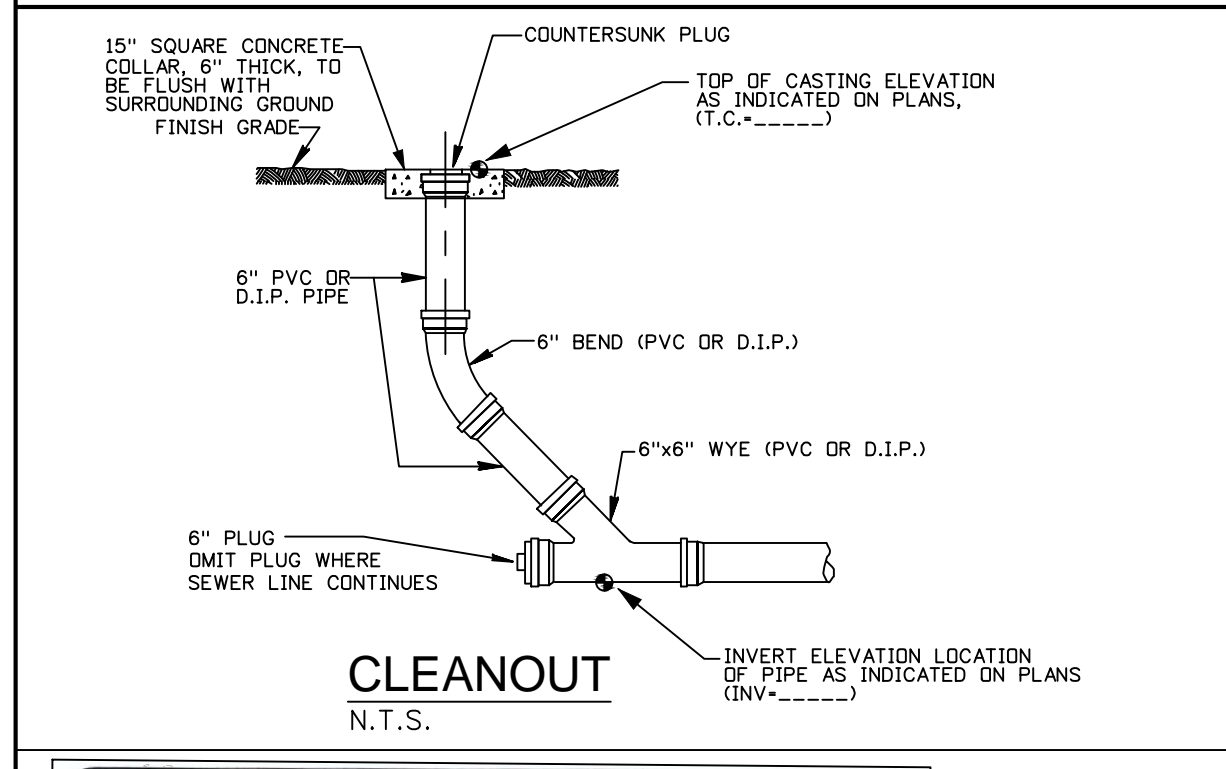
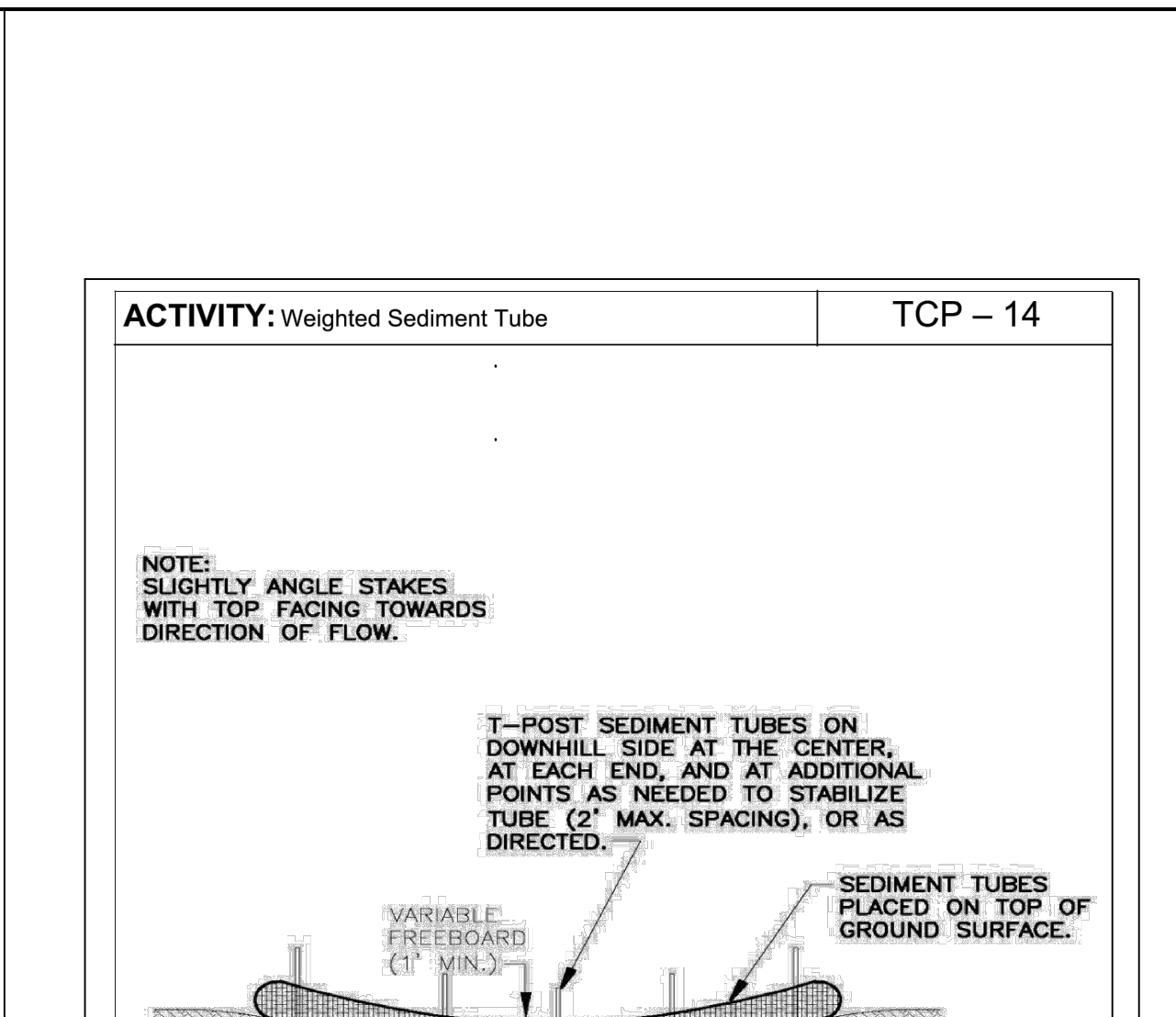
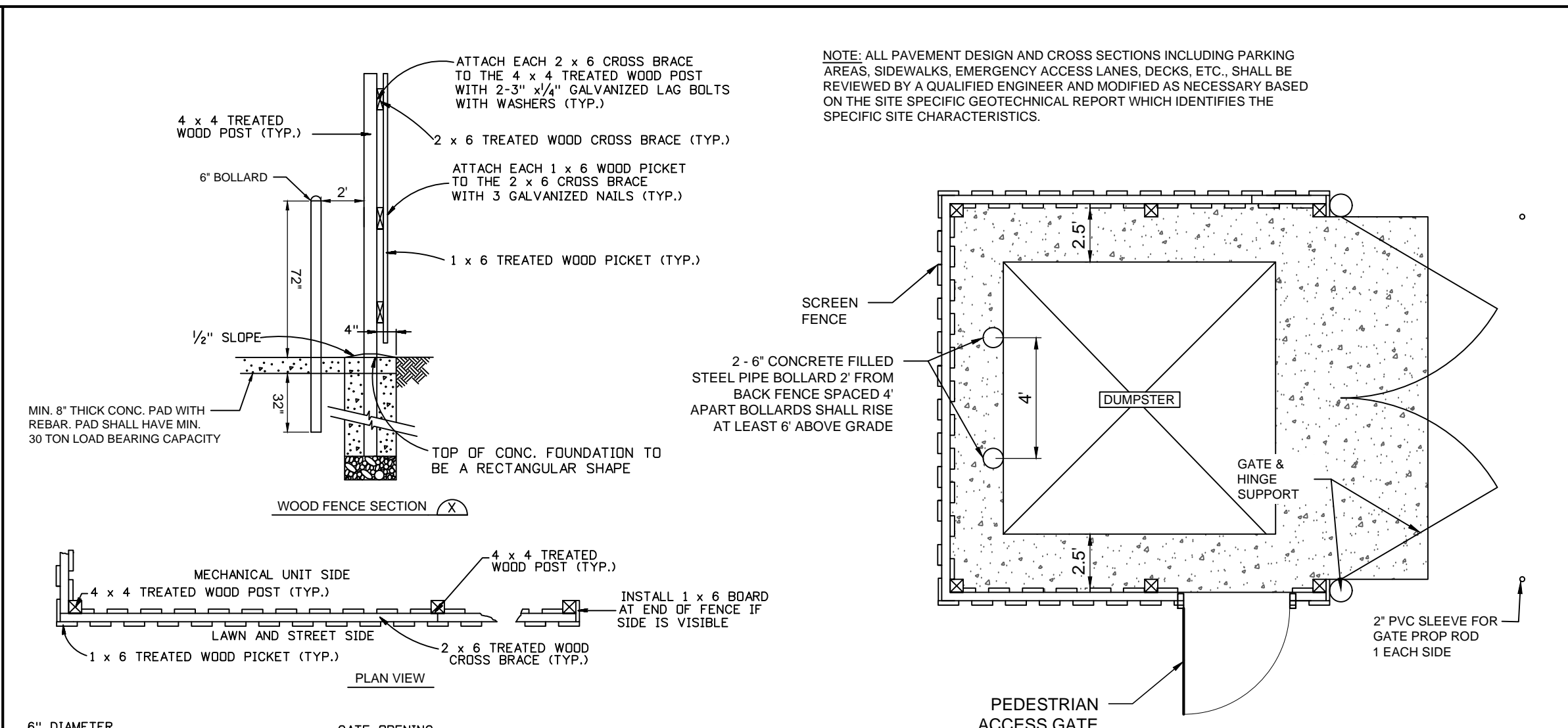
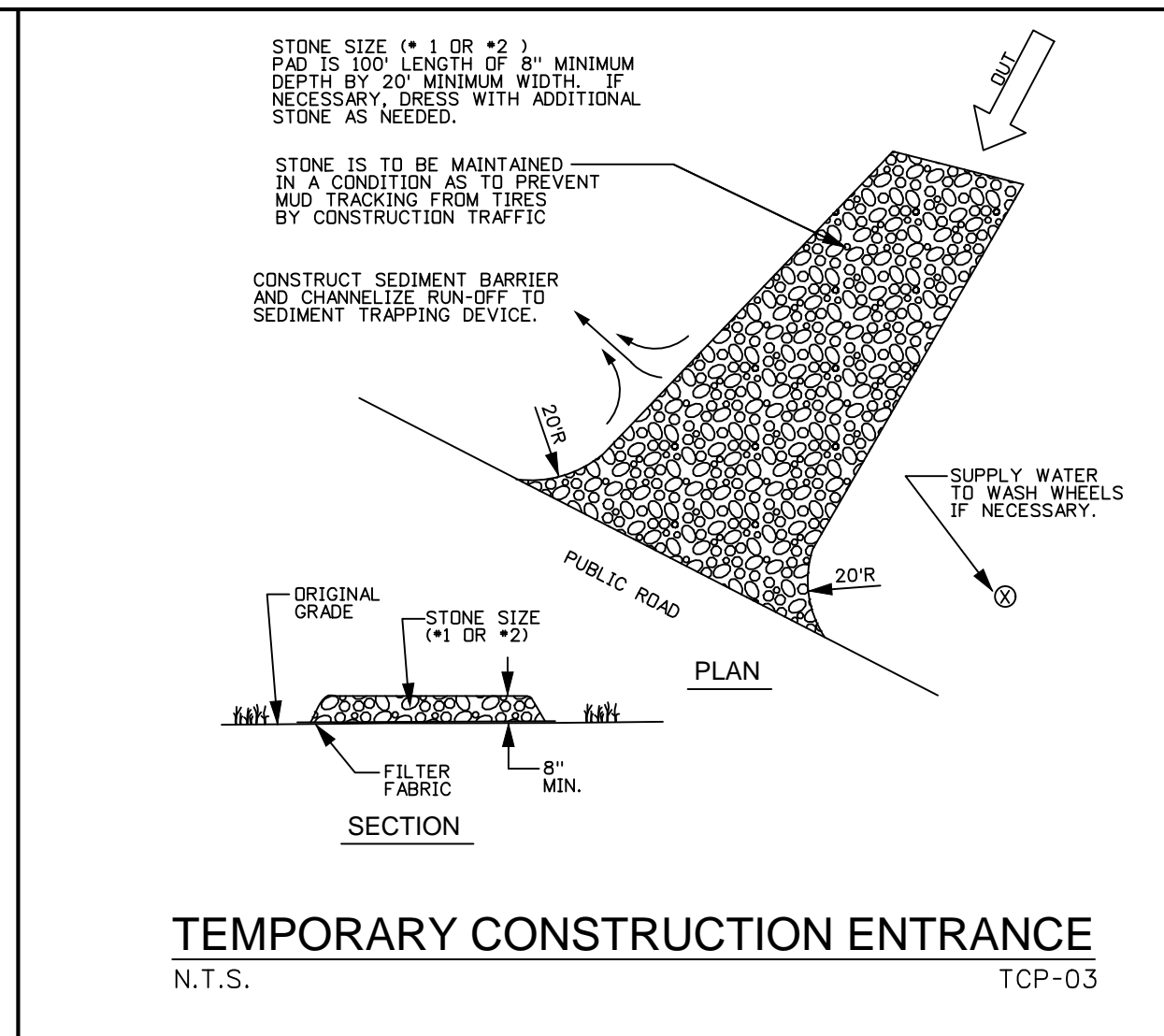
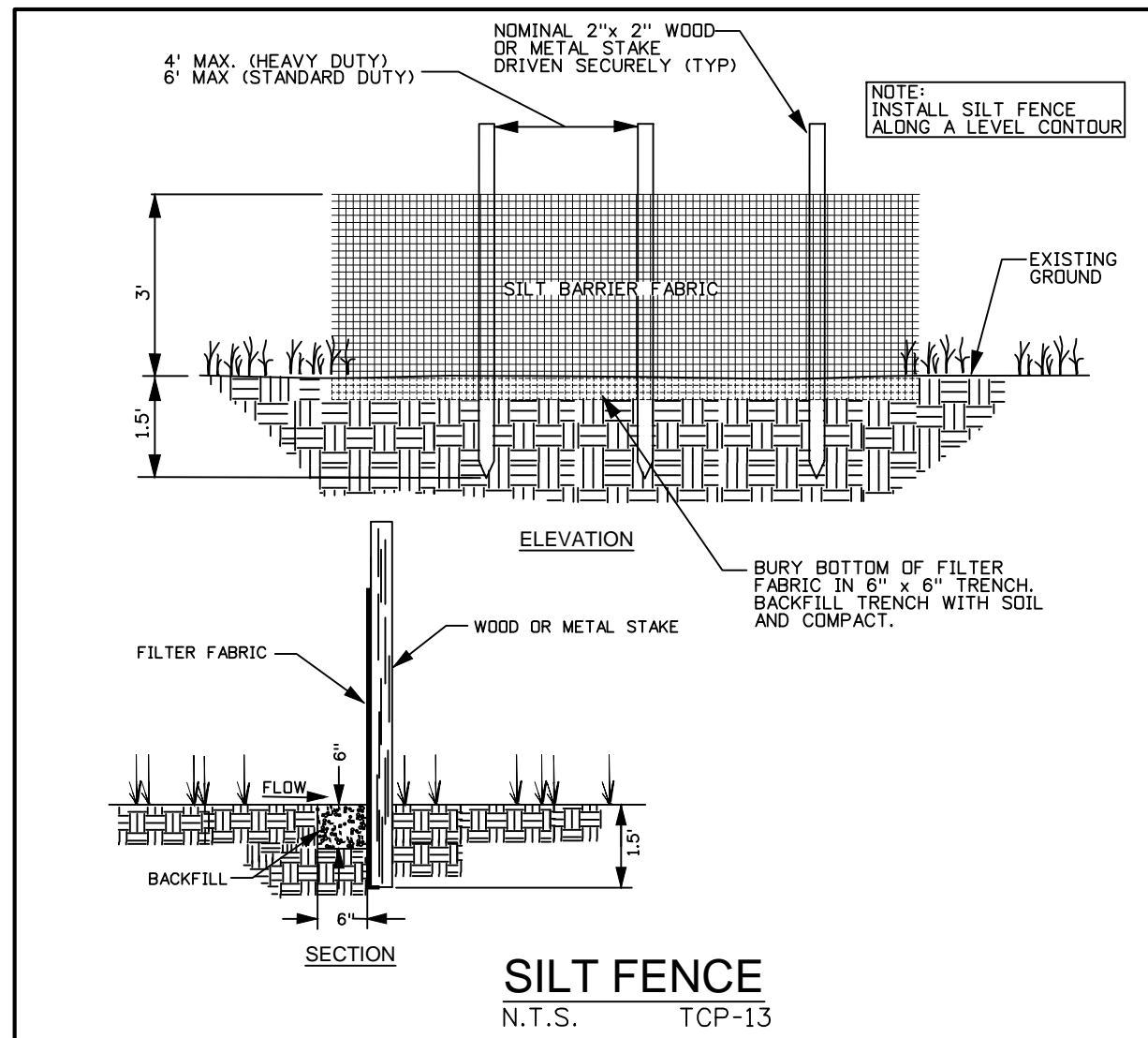
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JOB NO.: 16-150-01

Aug 25, 2017 - 9:27am T:\CAD\2016\16-150-01\CAD\DWG\Preliminary SWPPP Stage 2 Plan.dwg







**CIVIL SITE DESIGN GROUP**  
 ENGINEERS • PLANNERS • LANDSCAPE ARCHITECTS  
 910 SOUTHGATE AVENUE, SUITE 300, NASHVILLE, TN 37203  
 (615) 259-8888 WWW.CIVILSITEGROUP.COM

**CIVIL DETAILS**  
 PRELIMINARY SPECIFIC PLAN  
 CITY SIDE CENTRE  
 406-408 SPENCE LANE  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO. \_\_\_\_\_

| REV. | DATE       | COMMENTS                 |
|------|------------|--------------------------|
| 1    | 07/13/2017 | PRELIMINARY 5% SUBMITTAL |
| 2    | 08/02/2017 | CITY COMMENTS            |
| 3    | 08/24/2017 | CITY COMMENTS            |

CHDK BY: JMH DATE: 07/13/2017  
 DDC BY: JMH DATE: 08/02/2017  
 TC BY: JMH DATE: 08/24/2017  
 DDC BY: JMH DATE: 08/24/2017

DRAWN BY: JMH DATE: 07/13/2017  
 DDC BY: JMH DATE: 08/02/2017  
 TC BY: JMH DATE: 08/24/2017  
 DDC BY: JMH DATE: 08/24/2017

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS  
 DIR. OF ENCL.: Mark H. Harty DATE: 7/12/17

METRO WATER SERVICES  
 METER WATER SERVICES PERMIT OFFICE  
 DWG. NO. WDET018A DATE: 05/05/08

METRO WATER SERVICES  
 METER WATER SERVICES PERMIT OFFICE  
 DWG. NO. WDET022C DATE: 05/05/08

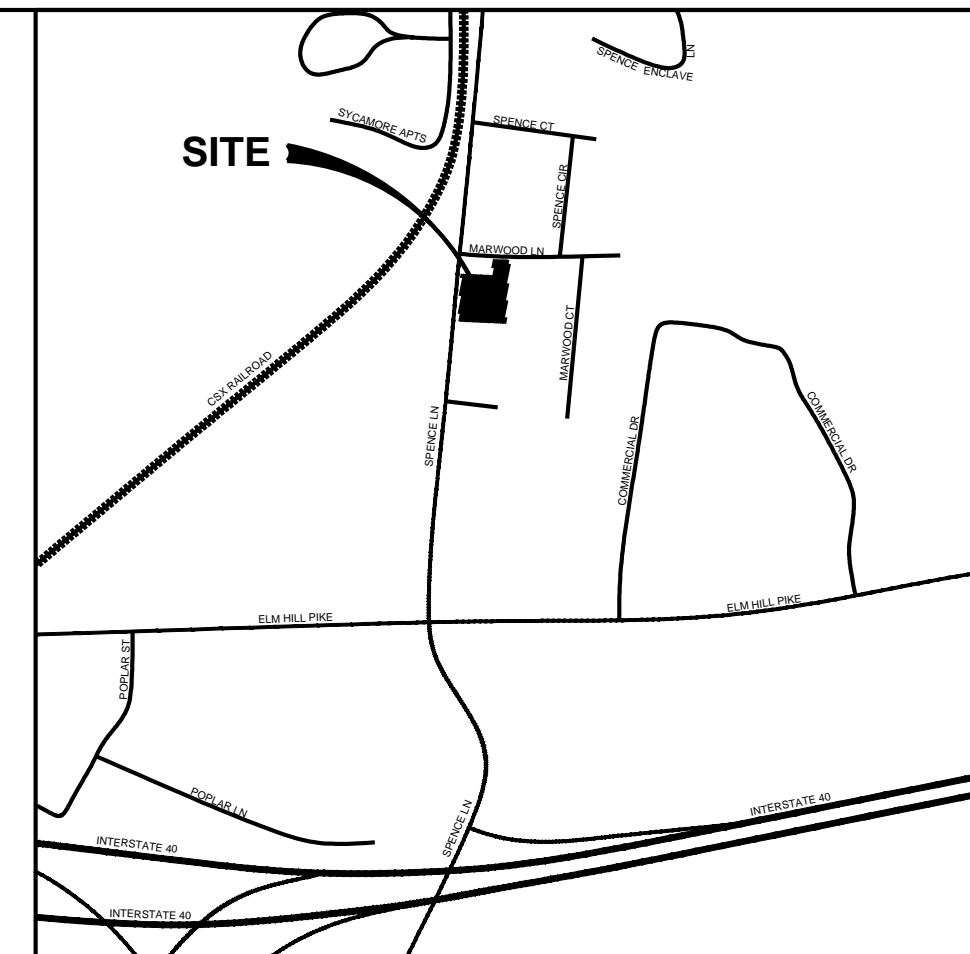
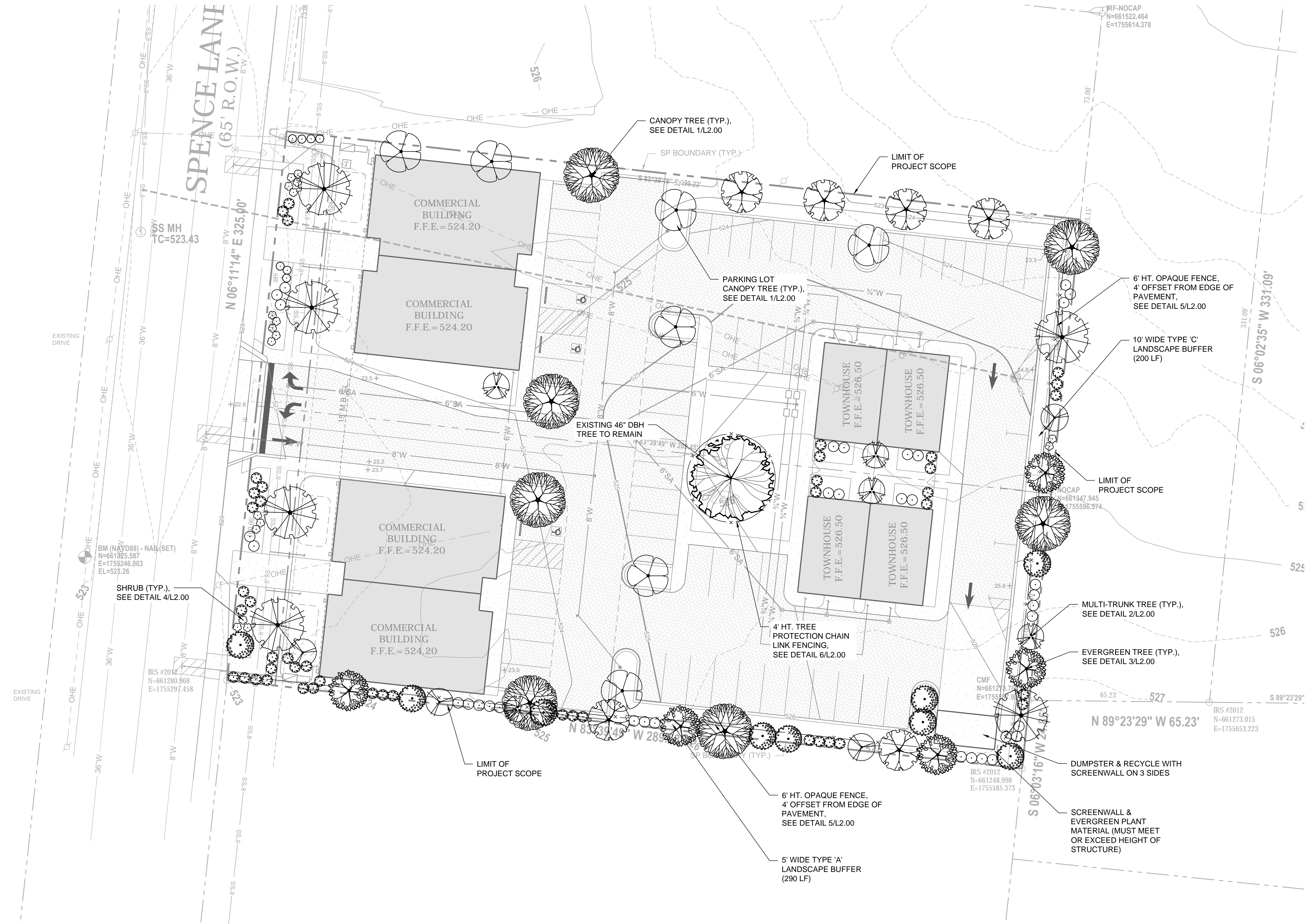
METRO WATER SERVICES  
 METER WATER SERVICES PERMIT OFFICE  
 DWG. NO. ST-210 DATE: 05/02/03

METRO WATER SERVICES  
 METER WATER SERVICES PERMIT OFFICE  
 DWG. NO. ST-324 DATE: 5/12/03

**C4.01**

JOB NO.: 16-150-01

Aug 25, 2017 - 9:27am T:\CAD\2016\16-150-01\CAD\DWG\Preliminary SP16-150-01.L1.DWG Landscape Ordinance Plan.dwg



**CALCULATIONS WORKSHEET FOR OVERALL TREE DENSITY REQUIREMENTS METRO ORD # 94-1104**

|   |                 |
|---|-----------------|
| MAP # 094.15                                    | PARCEL # 012.00 |
| MAP # 106.03                                    | PARCEL # 001.00 |
| PROPERTY ZONE:                                  | CS              |
| AREA OF LOT:                                    | 1.36 ACRES      |
| BUILDING COVERAGE:                              | 0.27 ACRES      |
| AREA OF REQUIRED COMPLIANCE:                    | 1.09 ACRES      |
|   | X 14.0          |
| <b>REQUIRED TREE DENSITY UNITS:</b>             | <b>15.26</b>    |
| <b>EXISTING TREES TO BE PROTECTED:</b>          | <b>24.1</b>     |
| PROPOSED NEW TREES:                             |                 |
| 2" CAL. @ 0.5                                   | 20 X 0.5 = 10   |
| <b>CREDIT FOR NEW TREES:</b>                    | <b>10</b>       |
| <b>TOTAL TREE DENSITY UNITS PROVIDED:</b>       | <b>34.1</b>     |
| IRRIGATION WILL BE PROVIDED BY AUTOMATIC SYSTEM |                 |

**PLANT SCHEDULE**

| TREES  | QTY | BOTANICAL NAME / COMMON NAME   | GALL  | SIZE                     |
|--------|-----|--|-------|--------------------------|
|        | 6   | Acer saccharum / Sugar Maple<br>3 Clear Trunk, Single-Straight Central Leader, Evenly Branched, Fully Symmetrical Crown                | B 4 B | 2'Gal 8'-11" X 5'-4 1/2" |
|        | 4   | Cornus florida / Eastern Dogwood<br>Evenly Branched, Fully Symmetrical Crown, Single Trunk   | B 4 B | 2'Gal 8' H x 10' W       |
|        | 5   | Crytomeria japonica / Japanese Cedar   | B 4 B | 2'Gal 8'-11" X 5'-4 1/2" |
|        | 4   | Ilex x Nellie R Stevens' / Nellie Stevens Holly  | B 4 B | 2'Gal 8' H x 10' W       |
|        | 4   | Magnolia x soulangiana / Soucar Magnolia Multi-Trunk, Evenly Branched, Fully Symmetrical Crown, Multi-Trunk, With Three (3) 3/4" Cones | B 4 B | 2'Gal 8' H x 10' W       |
|        | 1   | Quercus alba / White Oak<br>Single-Straight Central Leader, Evenly Branched, Fully Symmetrical Crown                                   | B 4 B | 2'Gal 8'-11" X 5'-4 1/2" |
|        | 1   | Quercus palustris / Pin Oak<br>3' Clear Trunk, Single-Straight Central Leader, Evenly Branched, Fully Symmetrical Crown                | B 4 B | 2'Gal 8'-11" X 5'-4 1/2" |
|        | 6   | Ulmus parvifolia / Chinese Elm<br>Single-Straight Central Leader, Evenly Branched, Fully Symmetrical Crown                             | B 4 B | 2'Gal 8'-11" X 5'-4 1/2" |
| SHRUBS | QTY | BOTANICAL NAME / COMMON NAME   | SIZE  | SPACING                  |
|        | 1   | Abelia x grandiflora / Glossy Abelia   | 5 gal | 36" o.c.                 |
|        | 38  | Hydrangea quercifolia / Oakleaf Hydrangea  | 1 gal | 48" o.c.                 |
|        | 18  | Mahonia bealei / Leatherleaf Mahonia   | 5 gal | 36" o.c.                 |
|        | 21  | Prunus laurocerasus 'Otto Luyken' / Luyken's Laurel  | 1 gal | 48" o.c.                 |

NOTES:  
 1. ALL DISTURBED AREAS NOT OTHERWISE PLANTED SHALL RECEIVE SEED OR SOD PER NOTES ON SHEET L2.00.  
 2. CONTRACTOR SHALL REFER TO SHEET L2.00 FOR MATERIAL SCHEDULE.  
 3. CONTRACTOR SHALL VERIFY ALL QUANTITIES.  
 4. 7" MINIMUM CALIBER IS REQUIRED FOR ALL TREES. CONTRACTOR SHALL VERIFY FINAL CALIBER SIZE WITH CLIENT PRIOR TO PRICING & INSTALLATION.

**SITE DATA TABLE**

|                                      |       |   |
|--------------------------------------|-------|---|
| TYPE A LANDSCAPE BUFFER 5' - 490 LF. | REQ.  | 12 Canopy, 4 Understory, 40 Shrubs      |
|                                      | PROP. | 6' HT. Opaque Fence (490 LF.)           |
| PUBLIC STREET PLANTING YARD          | REQ.  | 12 Canopy, 4 Understory, 40 Shrubs      |
|                                      | PROP. | 200' / 1 Tree / 50 LF. = 4 Canopy Trees |
|                                      | PROP. | 4 Canopy Trees                          |
|                                      | PROP. | 40 Shrubs                               |
| VEHICULAR USE AREA (VUA)             |       | 28,619 SF.                              |
| VEHICULAR SURFACE PLANTINGS          | REQ.  | 28,619 SF x 8% = 2,290 SF. of Coverage  |
|                                      | PROP. | 12,277 SF. of Coverage (43%)            |
| BUILDING PLANTINGS                   |       | WILL BE INCLUDED ON FINAL SP            |

\*ALL SERVICES AREAS, MECHANICAL EQUIPMENT, TRASH CONTAINERS, AND FIELD SET ABOVE-GROUND UTILITY BOXES TO BE SCREENED FROM THE PUBLIC R.O.W. ON 3 SIDES.

**MAP 094.15 PARCEL 012.00**  
**MAP 106.03 PARCELS 001.00**

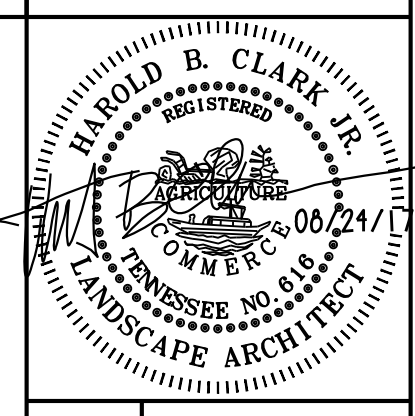
**PROJECT BENCHMARK:**  
 DESCRIPTION: MAG NAIL (NAVD88)  
 NORTHING: 661,623.648  
 EASTING: 1,755,514.702  
 ELEVATION: 520.75

**PROJECT BENCHMARK:**  
 DESCRIPTION: NAIL(SET) (NAVD88)  
 NORTHING: 661,325.587  
 EASTING: 1,755,246.003  
 ELEVATION: 523.26

**GRAPHIC SCALE: 1" = 20'**



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 919 SOUTHGATE AVENUE, SUITE 400, NASHVILLE, TN 37203  
 615.259.8888 WWW.CIVILSITEDESIGN.COM



**LANDSCAPE ORDINANCE PLAN**  
**PRELIMINARY SPECIFIC PLAN**  
**CITY SIDE CENTRE**  
 406-408 SPENCE LANE,  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE NO.

| REV. | COMMENTS                 | DATE       |
|------|--------------------------|------------|
| 1    | PRELIMINARY SP SUBMITTAL | 07/13/2017 |
| 2    | CITY COMMENTS            | 08/02/2017 |
| 3    | CITY COMMENTS            | 08/24/2017 |

**DRAWN**  
 BY: JMH  
 CHECKED: JMH

**DATE**  
 08/24/2017

**SCALE**  
 L1.00

JOB NO.: 16-150-01







| SITE DATA TABLE              |   |
|------------------------------|---|
| TOTAL SITE ACRES             | 1.36± Ac. (59,242 sq. ft.)  |
| EXISTING ZONING              | CS  |
| EXISTING USES                | Residential / Commercial  |
| PROPOSED USE                 | SP (Mixed-Use)  |
| BUILDING AREA (PROPOSED)     | Retail: 6,000 sq. ft.<br>Offices: 2,000 sq. ft.<br>Restaurant: 2,000 sq. ft.<br>Residential: 3,185 sq. ft.<br>Total: 13,185 sq. ft. |
| ISR (ALLOWED)                | 0.90  |
| ISR (PROPOSED)               | 0.73 (43,316 sq.ft.)  |
| FAR (ALLOWED)                | 0.60  |
| FAR (PROPOSED)               | 0.17 (10,000 sq.ft.)<br>Residential exempt from FAR   |
| HEIGHT AT SETBACK (ALLOWED)  | 3 Stories - 30 ft.  |
| HEIGHT AT SETBACK (PROPOSED) | 30 ft.  |
| YARD REQUIREMENTS            | STREET: 15'<br>SIDE YARD: None<br>REAR YARD: 20 FT  |
| PARKING (REQUIRED)           | See Parking Chart   |
| PARKING (PROPOSED)           | See Parking Chart   |
| HANDICAP PARKING (REQUIRED)  | See Parking Chart   |
| HANDICAP PARKING (PROPOSED)  | See Parking Chart   |