

DESIGN TEAM

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PROPERTY INFORMATION

DISTRICT: (05) SCOTT DAVIS
 PARCEL ID: 07209001400
 ADDRESS: 905 CHEROKEE AVENUE NASHVILLE, TN 37207
 OWNER: HAWKINS, WILLIAM H., TRUSTEE
 ZONING: 760 MELROSE AVE, NASHVILLE, TN 37211
 ACREAGE: 5.94 ACRES

PURPOSE

THE PURPOSE OF THIS PRELIMINARY SP ZONING IS TO ALLOW UP TO 150 MULTI-FAMILY RESIDENTIAL UNITS, 16 TOWNHOME UNITS AND COMMERCIAL USES.

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY

THE CHEROKEE AVENUE SP IS CONSISTENT WITH THE CURRENT ADOPTED POLICY WITHIN THE NASHVILLE NEXT COMMUNITY PLAN: T4-MU (URBAN MIXED USE NEIGHBORHOOD)

The development indicates mixed use with commercial uses and higher density residential uses providing a concentrated walkable development node to serve the community.

LAND USE DESIGNATIONS

COMMERCIAL: ADAPTIVE RE-USE OF EXISTING BUILDING
 - 23,700 maximum GSF
 - Uses allowed: to match MUL-A and include the following uses:
 • Liquor Sales • Tasting Room • Community Garden
 • Micro Brewery • Artisan Distillery • Outdoor Music Venue
 • Light Manufacturing

MULTI-FAMILY RESIDENTIAL BUILDING: 150 MAX UNITS

- Uses Allowed: to Match RM20
 Front Setback: 0-15'
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 4 Stories in 60 feet
 - Parking: Provide per zoning code

RESIDENTIAL (ATTACHED TOWNHOMES): 16 MAX UNITS

- Uses Allowed: to Match RM20
 Height Maximum: 3 Stories
 - Parking: Provide per zoning code within attached garages

IMPERVIOUS SURFACE RATIO: MAXIMUM 0.9

FLOOR AREA RATIO: MAXIMUM 1.0

TOTAL PARKING REQUIRED: 311 spaces (32 in attached garages)

Commercial: 79 spaces (Based on mix requiring 3.5/1000 S.F.)
 *Determination of commercial mix shall be submitted with Final SP, with parking to meet UZO requirements as agreed to by Planning staff.

Residential: 232 spaces (32 in attached garages)
 - Apartments: 150 max units (50 2bd + 100 1bd = 200 bd = 200 sp req'd)**
 **Estimated unit mix. Determination of unit mix shall be submitted with final SP.

- Townhomes: 16 max units @ 2 sp per unit = 32 sp req'd

TOTAL PARKING PROVIDED: 311 spaces

- Surface Parking - 258 Spaces
 - Street Parking - 21 Spaces
 - Attached Garage Parking - 32 Spaces

If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application.

ARCHITECTURE

THE FINAL BUILDING ELEVATIONS SHALL BE SUBMITTED WITH THE FINAL SITE PLAN AND SHALL BE CONSISTENT WITH THE FOLLOWING ARCHITECTURAL STANDARDS:

- BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
- STOREFRONTS, RESTAURANTS, AND OFFICES SHALL BE ACTIVATED FROM, AND FRONT ONTO CHEROKEE AVENUE.
- COMMERCIAL BUILDINGS WILL BE AN ADAPTIVE RE-USE OF EXISTING BUILDINGS.
- THE MINIMUM GROUND FLOOR HEIGHT FOR MULTIFAMILY BUILDING SHALL BE 12'-0".
- IF PROVIDED, PORCHES SHALL HAVE A MINIMUM DEPTH OF SIX FEET.
- A RAISED FOUNDATION OF 18" - 36" SHALL BE PROVIDED FOR ALL RESIDENTIAL STRUCTURES.
- TOWNHOME WINDOWS TO BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER. ALL OTHER WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER, EXCEPT FOR DORMERS AND EGRESS WINDOWS.
- PROHIBITED MATERIALS: VINYL SIDING, EIFS (EXTERIOR INSULATED FINISH SYSTEM) AND UNTREATED WOOD IS PROHIBITED ON ALL FACADES. UNCOATED CHAINLINK FENCING IS PROHIBITED.
- ALLOWED MATERIALS SHALL INCLUDE, BUT NOT BE LIMITED TO, FIBER CEMENTIOUS SIDING/PANELS, BRICK, STONE, CMU BLOCK AND CONCRETE FOR FOUNDATIONS.
- AWNINGS: FIRST FLOOR CANOPIES/AWNINGS ARE APPROPRIATE AT BUILDING ENTRANCES AND ABOVE STOREFRONTS AND SHALL NOT BE OF PLASTIC MATERIAL, NOR SHOULD THEY BE TRANSPARENT OR INTERNALLY ILLUMINATED.

LANDSCAPE

THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS FOR METRO ZONING CODE CHAPTER 17.24 ARTICLE II: TREE PROTECTION AND REPLACEMENT, AND WITH CHAPTER 17.40 ARTICLE X: TREE PROTECTION AND REPLACEMENT PROCEDURES. DETAILED LANDSCAPE ORDINANCE PLAN TO BE SUBMITTED WITH THE FINAL SP SUBMITTAL.

TREES PLANTED WITHIN THE RIGHT-OF-WAY TO BE PLANTED, IRRIGATED, AND MAINTAINED BY THE OWNER AND COUNT TOWARD THE REQUIRED TOU.

FEMA INFORMATION

MAP NUMBER: 47037C0253H
 PANEL NUMBER: 253 & 254
 EFFECTIVE DATE: APRIL 5, 2017

ROADWAY CLASSIFICATIONS

CHEROKEE AVENUE: LOCAL STREET
 DELMAS AVENUE: LOCAL STREET

REFER TO TRAFFIC IMPACT STUDY, PREPARED BY RPM TRANSPORTATION CONSULTANTS AND DATED JUNE 2016

ENCROACHMENTS

EXPOSED, COVERED, OR ENCLOSED PORCHES AND DECKS MAY EXTEND INTO FRONT, SIDE AND BACK SETBACKS OR COMMON SPACE NOT EXCEEDING 6FT INTO COMMON SPACE OR 3FT FROM PRIVATE LOT PROPERTY LINES.

PARKING

PARKING COUNT SHALL BE SUBJECT TO METRO PARKING REQUIREMENTS.

SOIL CLASSIFICATION

MAURY-URBAN LAND COMPLEX (2-7% SLOPES)

GENERAL NOTES

THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

ALL EXISTING STRUCTURES ON THIS PARCEL TO BE DEMOLISHED UNLESS OTHERWISE NOTED ON THE PLANS.

ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.

GENERAL NOTES CONTINUED

THIS PROPERTY DOES NOT LIE WITHIN AN AREA DESIGNATED AS SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAPS. (REFER TO CIVIL)

TRASH AND RECYCLING SERVICES TO BE CONTRACTED BETWEEN THE DEVELOPER/OWNER AND A PRIVATE HAULER FOR ALL UNITS ON PRIVATE DRIVES. SINGLE FAMILY LOTS TO BE SERVICES BY METRO PUBLIC WORKS.
 USPS MAIL DELIVERY WILL BE PROVIDED BY CENTRALIZED KIOSKS/MAIL ROOMS WITHIN COMMERCIAL AND MULTI-FAMILY BUILDINGS AND BY INDIVIDUAL MAILBOXES SERVICED FROM THE DRIVES/ALLEYS AND ROADS FOR OTHER RESIDENTIAL USES.

THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS, INCLUDING POWER POLES AND SIGNAGE, WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5' OF CLEAR ACCESS.

ALL SIDEWALKS ALONG PUBLIC ROADS SHALL BE MCSP REQUIREMENTS.

STORMWATER/UTILITIES/INFRASTRUCTURE:

STORMWATER PLANS FOR THIS DEVELOPMENT TO BE PROVIDED IN A MANNER CONSISTENT WITH THE STORMWATER VOLUME 5 LID MANUAL. THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES TO INDICATE THE BASIC PREMISE OF THIS DEVELOPMENT AND PROPOSED STORMWATER LOCATIONS AND METHODS. FINAL DETAILS SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE SUBMITTAL.

ALL ABOVE GROUND UTILITY BOXES/DEVICES WILL BE SCREENED APPROPRIATELY.

ALL PROPOSED NEW PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.

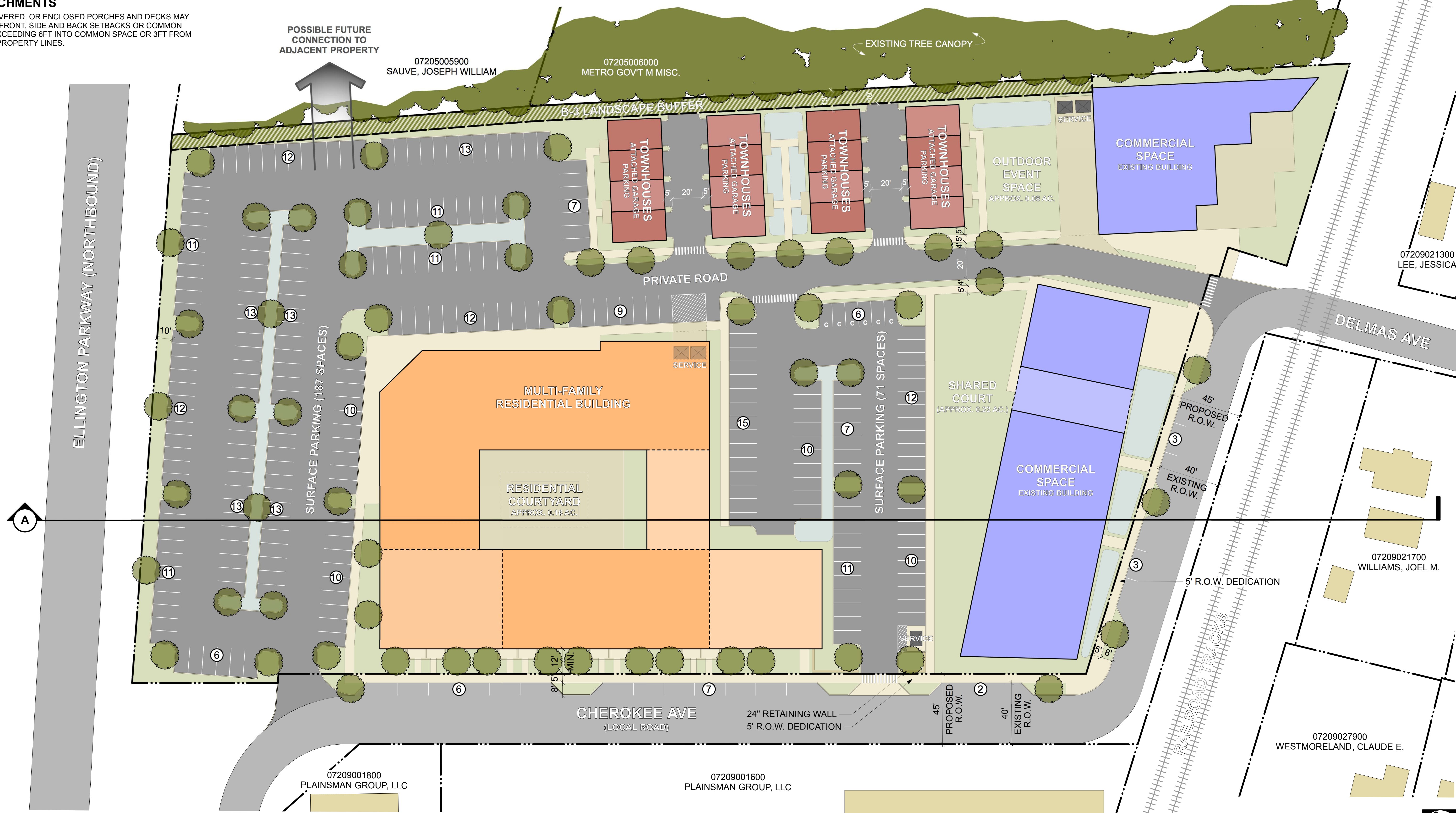
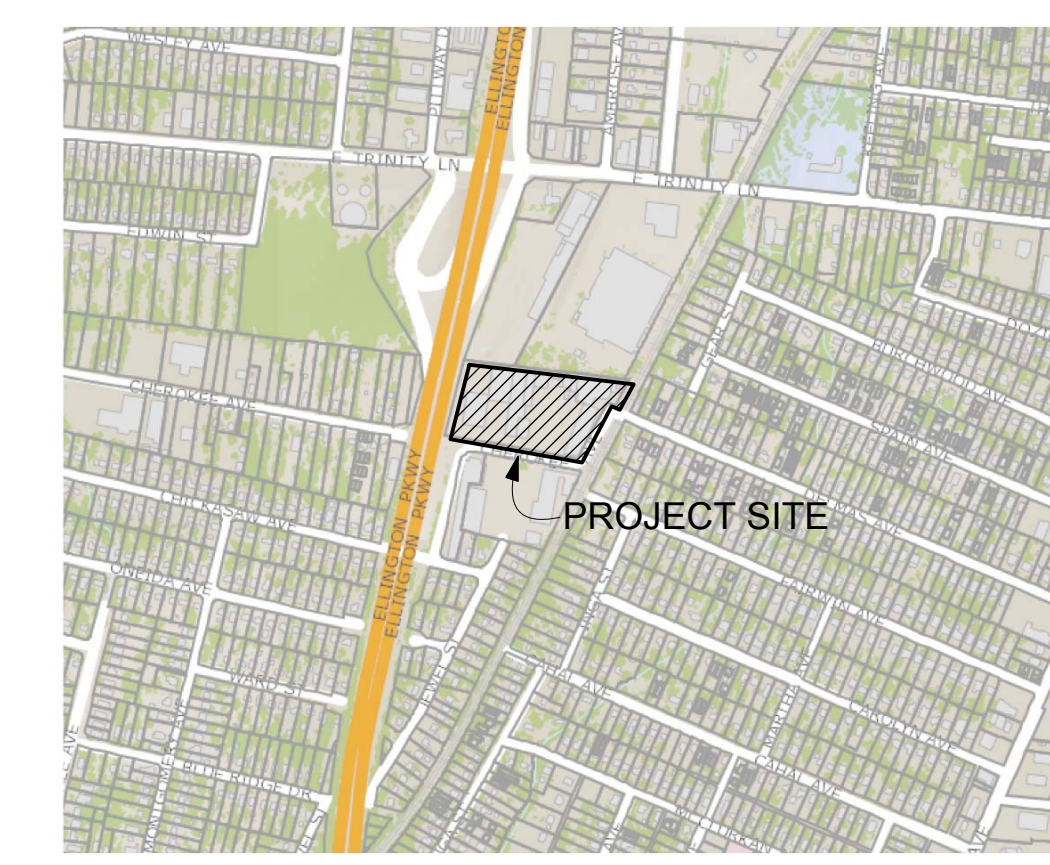
ALL ACCESS DRIVES AND DRIVEWAYS WITHIN THIS DEVELOPMENT SHALL BE PRIVATE.

ALL PRIVATE DRIVES/ALLEYS MAY BE PAVED WITH PERVIOUS PAVEMENT WITH MATERIAL AND CROSS-SECTION TO BE APPROVED BY METRO PUBLIC WORKS.

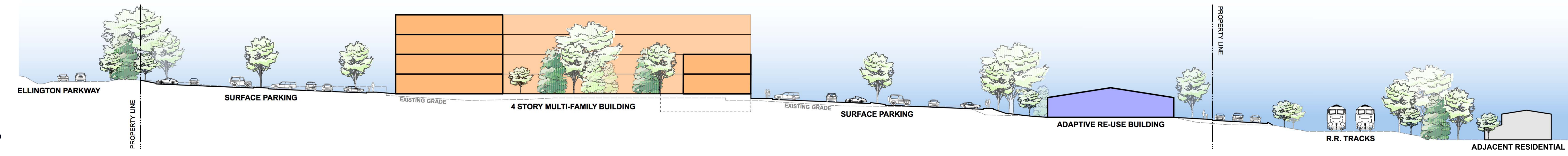
ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. ARE TO MEET METRO PUBLIC WORKS AND ADA STANDARDS.

REFER TO CIVIL DRAWINGS FOR ALL OTHER UTILITIES/ EASEMENTS.

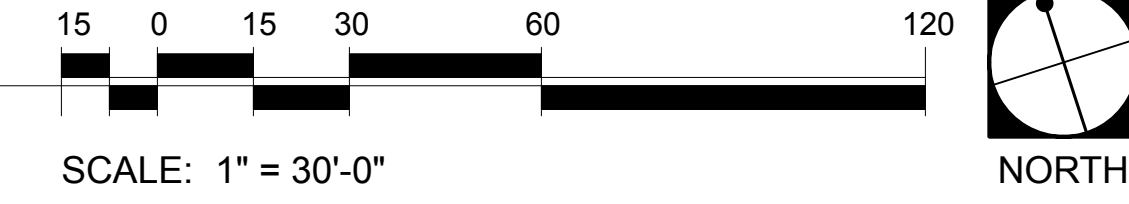
VICINITY MAP



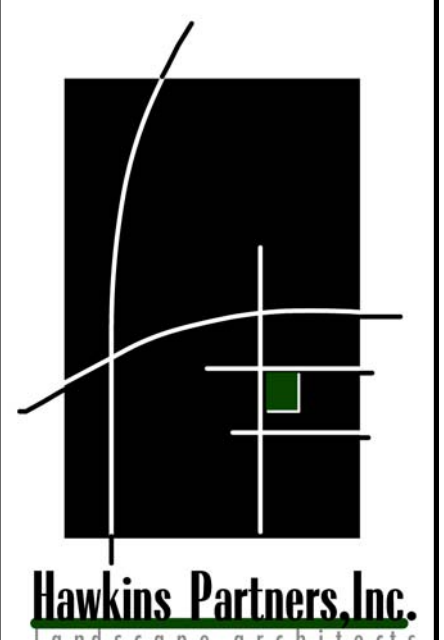
2 SITE PLAN
 Scale: 1" = 30 ft



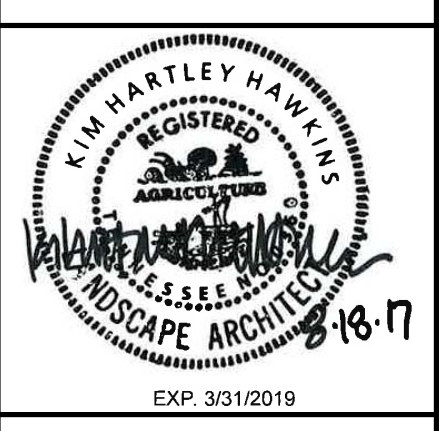
1 SITE SECTION
 Scale: 1" = 30 ft



SCALE: 1" = 30'-0"



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PRELIMINARY SP
CHEROKEE AVENUE MASTER PLAN
 NASHVILLE, TENNESSEE

JOB NO.: 16-977
 DATE: 8-18-17

SCALE: 1" = 30'-0"

SHEET:

L1.00

SITE PLAN

SP CASE NO.: 2017SP-071-001