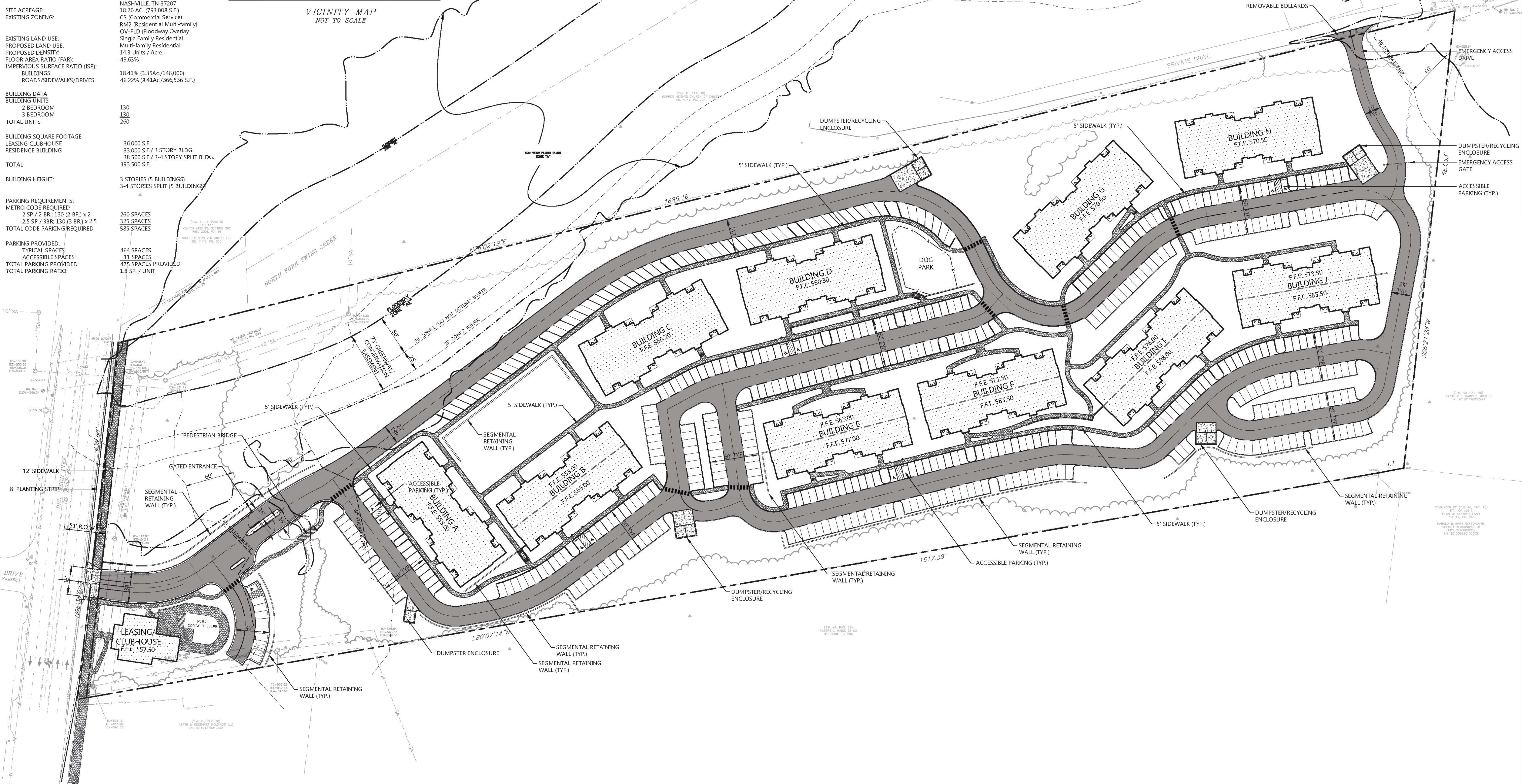
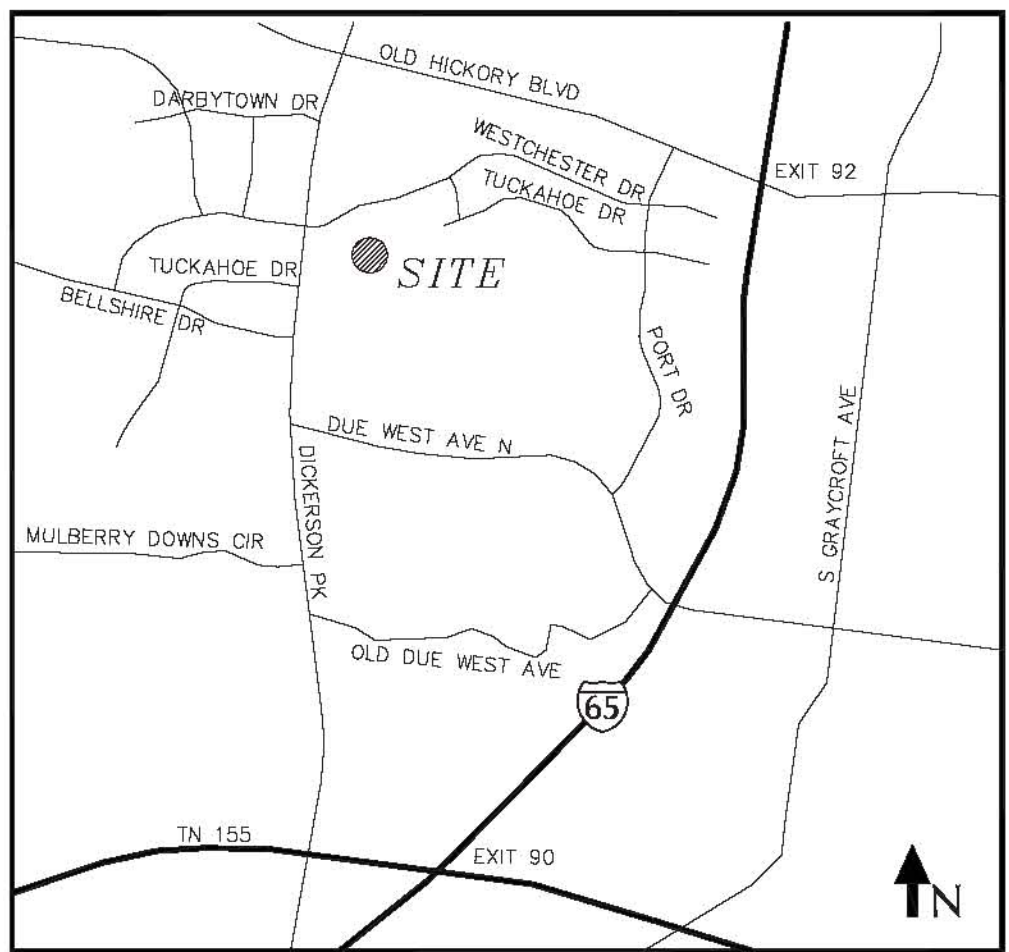


DEVELOPMENT SUMMARY

• SP NAME: BUFFALO TRAIL APARTMENTS
 • SP NUMBER: 2017SP-056-001
 • COUNCIL DISTRICT: 08
 • COUNCIL MEMBER: Nancy VanReece
 • OWNER: LDG Development, LLC
 1469 S. 4th Street
 Louisville, KY 40208
 502.638.0534
 Phone: Evan Holladay
 Contact: eholladay@ldgdevelopment.com
 Contact email: eholladay@ldgdevelopment.com
 • PROJECT REPRESENTATIVE: SB&ME
 Address: 1935 21st Avenue South
 Nashville, TN 37212
 615.385.4144
 Phone: Jared Cunningham
 Contact: jcunningham@sbmeinc.com
 Contact email: jcunningham@sbmeinc.com
 • FEMA PANEL: A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE AE' PER FEDERAL EMERGENCY MANAGEMENT AGENCY PRELIMINARY FIRM PANEL NO. 47037C0119 H, DATED APRIL 5, 2017.

DEVELOPMENT SITE DATA

PARCEL ID: 0410007600
 SITE ADDRESS: 3711 DICKERSON PIKE
 NASHVILLE, TN 37207
 18.20 AC. (793,008 S.F.)
 EXISTING ZONING: CS (Commercial Service)
 RM2 (Residential Multi-Family)
 OV-FLD (Foodway Overlay)
 SINGLE FAMILY RESIDENTIAL
 Multi-Family Residential
 143 Units / Acre
 49.63%
 EXISTING LAND USE: 18.41% (3.35ac./146,000)
 PROPOSED LAND USE: 46.22% (8.41ac./366,536 S.F.)
 FLOOR AREA RATIO (FAR):
 IMPERVIOUS SURFACE RATIO (ISR):
 BUILDINGS:
 ROADS/SIDEWALKS/DRIVES
 BUILDING DATA
 BUILDING UNITS:
 2 BEDROOM: 130
 3 BEDROOM: 130
 TOTAL UNITS: 260
 BUILDING SQUARE FOOTAGE:
 LEASING CLUBHOUSE:
 RESIDENCE BUILDING:
 TOTAL:
 BUILDING HEIGHT:
 3 STORIES (5 BUILDINGS)
 3-4 STORIES SPLIT (5 BUILDINGS)
 PARKING REQUIREMENTS:
 METRO CODE REQUIRED:
 2 SP / 2 BR; 130 (2 BR) x 2
 2.5 SP / 3BR; 130 (3 BR) x 2.5
 TOTAL CODE PARKING REQUIRED:
 585 SPACES
 PARKING PROVIDED:
 TYPICAL SPACES:
 ACCESSIBLE SPACES:
 TOTAL PARKING PROVIDED:
 TOTAL PARKING RATIO:
 464 SPACES
 11 SPACES
 475 SPACES PROVIDED
 1.8 SP. / UNIT

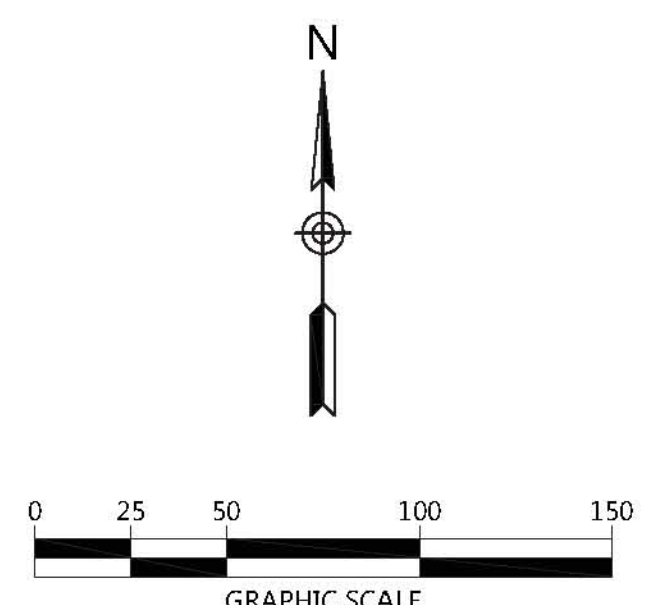


NOTE:
 1. REFER TO SHEET C0.0 FOR DEVELOPMENT SUMMARY AND DEVELOPMENT SITE DATA.
 2. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

DESIGN STANDARDS:
 1. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
 2. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER, EXCEPT FOR DORMERS.
 3. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
 4. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.

PROPOSED FEATURES LEGEND

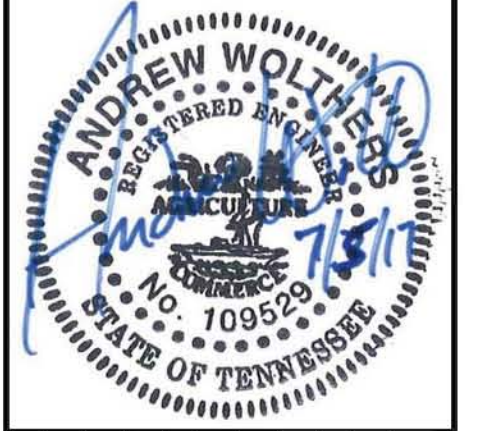
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CONCRETE PAVEMENT	[Pattern]
CONCRETE SIDEWALK	[Pattern]
HEAVY DUTY PAVEMENT	[Pattern]
LIGHT DUTY PAVEMENT	[Pattern]
TACTILE WARNING	[Pattern]
PAINTED STRIPE	[Pattern]
CONCRETE CURB	[Pattern]
CENTERLINE	[Pattern]



1935 21st AVENUE SOUTH
 NASHVILLE, TN 37212
 WWW.SBMEINC.COM
 (615) 385-4144

LDG DEVELOPMENT, LLC
 1469 S. 4th Street
 Louisville, KY 40208
 502.638.0534

CASE NO.: 2017SP-056-001
 PRELIMINARY SPECIFIC PLAN SUBMITTAL
BUFFALO TRAIL APARTMENTS
 3711 DICKERSON PIKE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE



NO.	DATE	BY	CHK	APV	DESCRIPTION
1	07.05.2017				PRELIMINARY SP RESUBMITTAL
2	05.11.2017				PRELIMINARY SP SUBMITTAL

PROJECT NUMBER: 514716122
 DRAWING NUMBER: **C3.0**
 DRAWING NAME: SITE LAYOUT

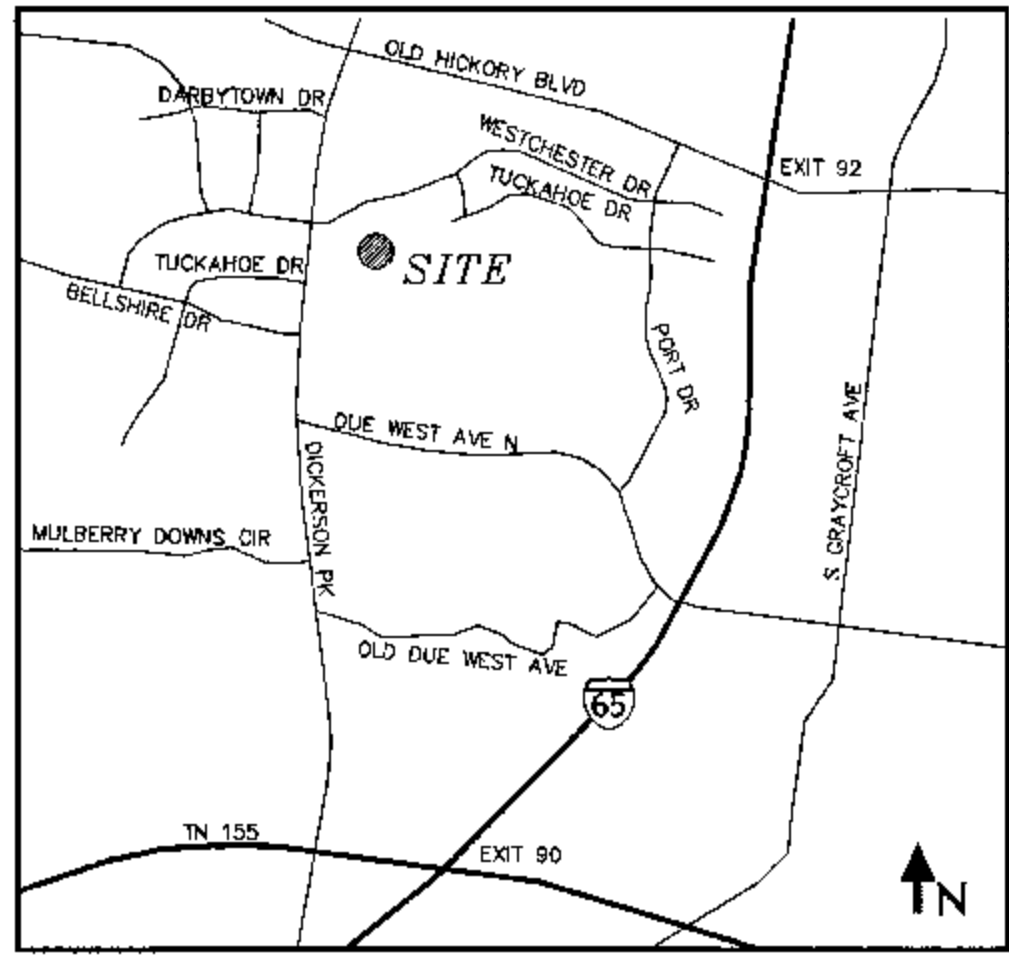
I:\projects\Projects\2017\16122.dwg\construction\514716122_SP_C3-LAY.dwg; CS-0 LAYOUT PLAN JUN 03 2017 jcunningham

DEVELOPMENT SUMMARY

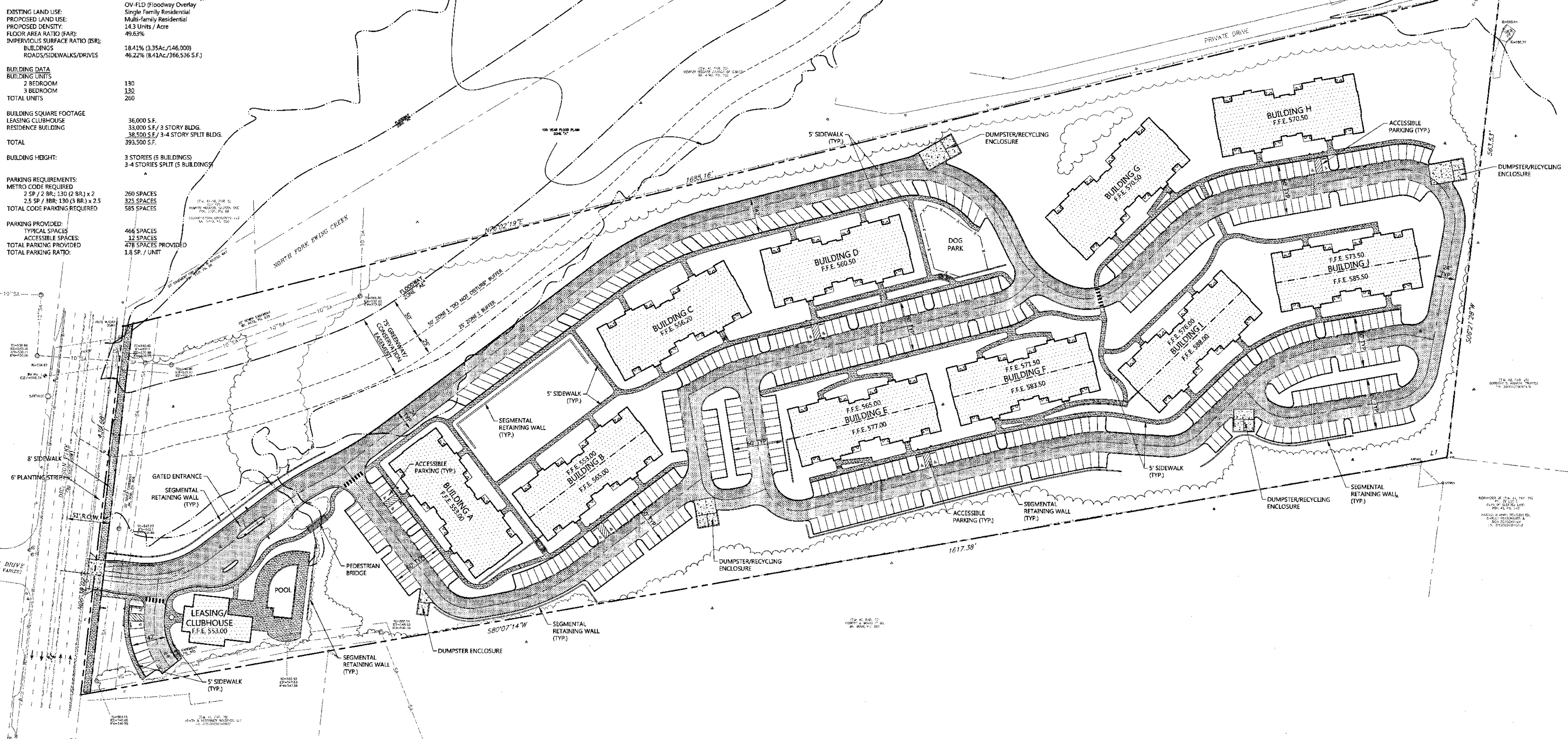
SP NAME: BUFFALO TRAIL APARTMENTS
 SP NUMBER: TBD
 COUNCIL DISTRICT: 08
 COUNCIL MEMBER: Nancy VanReece
 OWNER: LDG Development, LLC
 Address: 1469 S. 4th Street, Louisville, KY 40208, 502.638.0534
 Phone: 502.638.0534
 Contact: Evan Holladay, eholladay@ldgdevelopment.com
 Contact email: eholladay@ldgdevelopment.com
 PROJECT REPRESENTATIVE: LITTLEJOHN A Division of S&ME
 Address: 1935 21st Avenue South, Nashville, TN 37212
 Phone: 615.385.4344
 Contact: Jared Cunningham, jcunningham@smcme.com
 Contact email: jcunningham@smcme.com
 FEMA PANEL: A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE 'AE' PER FEDERAL EMERGENCY MANAGEMENT AGENCY PRELIMINARY FIRM PANEL NO. 47037CD119 H, DATED APRIL 5, 2017.

DEVELOPMENT SITE DATA

PARCEL ID: 04100007600
 SITE ADDRESS: 3711 DICKERSON PIKE, NASHVILLE, TN 37207
 SITE ACREAGE: 18.20 AC. (793,008 S.F.)
 EXISTING ZONING: CS (Commercial Service)
 EXISTING LAND USE: OV-F1D (Floorway Overlay)
 PROPOSED LAND USE: Single Family Residential
 PROPOSED DENSITY: Multi-Family Residential
 FLOOR AREA RATIO (FAR): 14.3 Units / Acre
 IMPERVIOUS SURFACE RATIO (ISR): 49.65%
 BUILDINGS: 18.41% (3.35Ac./146,000)
 ROADS/SIDEWALKS/DRIVES: 46.22% (8.41Ac./386,536 S.F.)
 BUILDING DATA
 BUILDING UNITS: 2 BEDROOM: 130, 3 BEDROOM: 130, TOTAL UNITS: 260
 BUILDING SQUARE FOOTAGE: LEASING CLUBHOUSE: 36,000 S.F., RESIDENCE BUILDING: 33,000 S.F. / 3 STORY BLDG., 38,500 S.F. / 3-4 STORY SPLIT BLDG., TOTAL: 393,500 S.F.
 BUILDING HEIGHT: 3 STORIES (5 BUILDINGS), 3-4 STORIES SPLIT (5 BUILDINGS)
 PARKING REQUIREMENTS: METRO CODE REQUIRED: 2 SP / 2 BR; 130 (2 BR) x 2, 2.5 SP / 3BR; 130 (3 BR) x 2.5, TOTAL CODE PARKING REQUIRED: 585 SPACES
 PARKING PROVIDED: TYPICAL SPACES: 466 SPACES, ACCESSIBLE SPACES: 12 SPACES, TOTAL PARKING PROVIDED: 478 SPACES PROVIDED, TOTAL PARKING RATIO: 1.8 SP. / UNIT



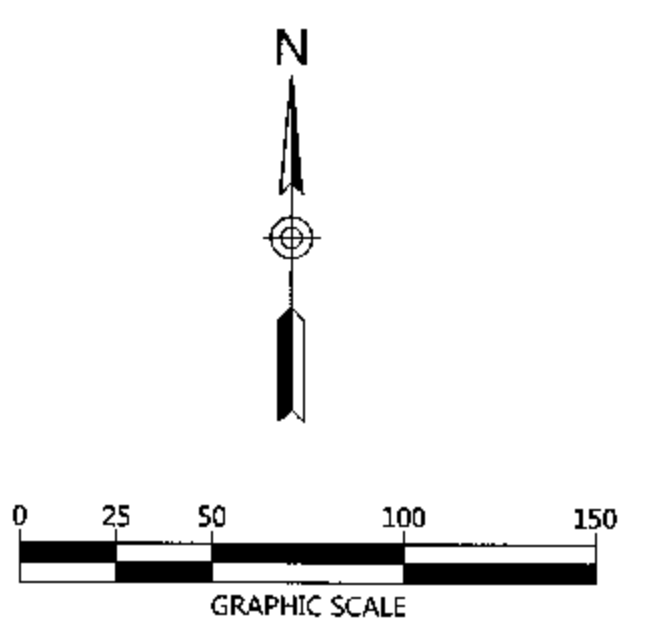
VICINITY MAP
NOT TO SCALE



NOTE
 1. REFER TO SHEET C0.0 FOR DEVELOPMENT SUMMARY AND DEVELOPMENT SITE DATA.
 2. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

PROPOSED FEATURES LEGEND

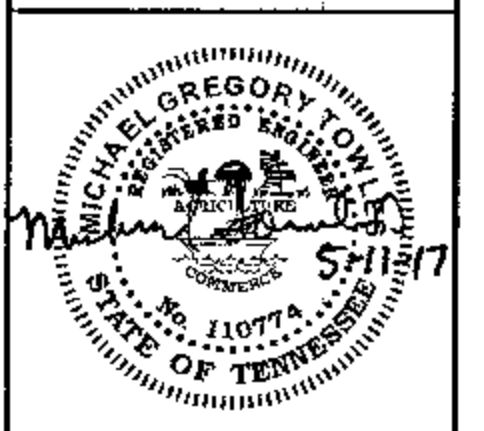
- BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- TACTILE WARNING
- PAINTED STRIPE
- CONCRETE CURB
- CENTERLINE



Littlejohn
 A Division of S&ME
 1935 21st Avenue South, Nashville, Tennessee 37212
 T 615.385.4344 F 615.385.4344 www.littlejohn.com

LDG DEVELOPMENT, LLC
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 Louisville, KY 40208
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CASE NO.:
PRELIMINARY SPECIFIC PLAN SUBMITTAL
BUFFALO TRAIL APARTMENTS
 3711 DICKERSON PIKE
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE



NO.	DATE	BY	CHK	APP

PROJECT NUMBER: 514716122
 DRAWING NUMBER: **C3.0**
 DRAWING NAME: **SITE LAYOUT**

G:\Projects\2016\514716122\dwg\construction\514716122_SP_C3-0_LAY.dwg CS:0 LAYOUT PLAN May 11, 2017 pwilliams