

# TRADITIONS

## PRELIMINARY SP SITE PLAN

### 6922 NOLENSVILLE PIKE NASHVILLE, TENNESSEE

### CASE NO. 2017SP-070-001

#### RESOURCE LIST

##### PROPERTY OWNER:

TRADITIONS OF SPRING HILL  
103 FORREST CROSSING BLVD, SUITE 204  
FRANKLIN, TN 37064  
PHONE NO: (615) 405-4257  
CONTACT: BERKELEY NANCE

##### ARCHITECT:

ESA ARCHITECTURE  
1033 DEMONBREUN STREET, SUITE 800  
NASHVILLE, TN 37203  
PHONE: (615) 329-9445  
CONTACT: MARK WATSON

##### CIVIL ENGINEER:

BATSON & ASSOCIATES ENGINEERING, INC.  
5150 REMINGTON DRIVE  
BRENTWOOD, TN 37027  
PHONE: (615) 424-4840  
FAX: (615) 370-9363  
CONTACT: GARRY BATSON

##### LAND SURVEYOR:

JAMES TERRY & ASSOCIATES, LAND SURVEYORS  
2601 ELM HILL PIKE, SUITE R  
NASHVILLE, TENNESSEE 37214  
PHONE: (615) 490-6920

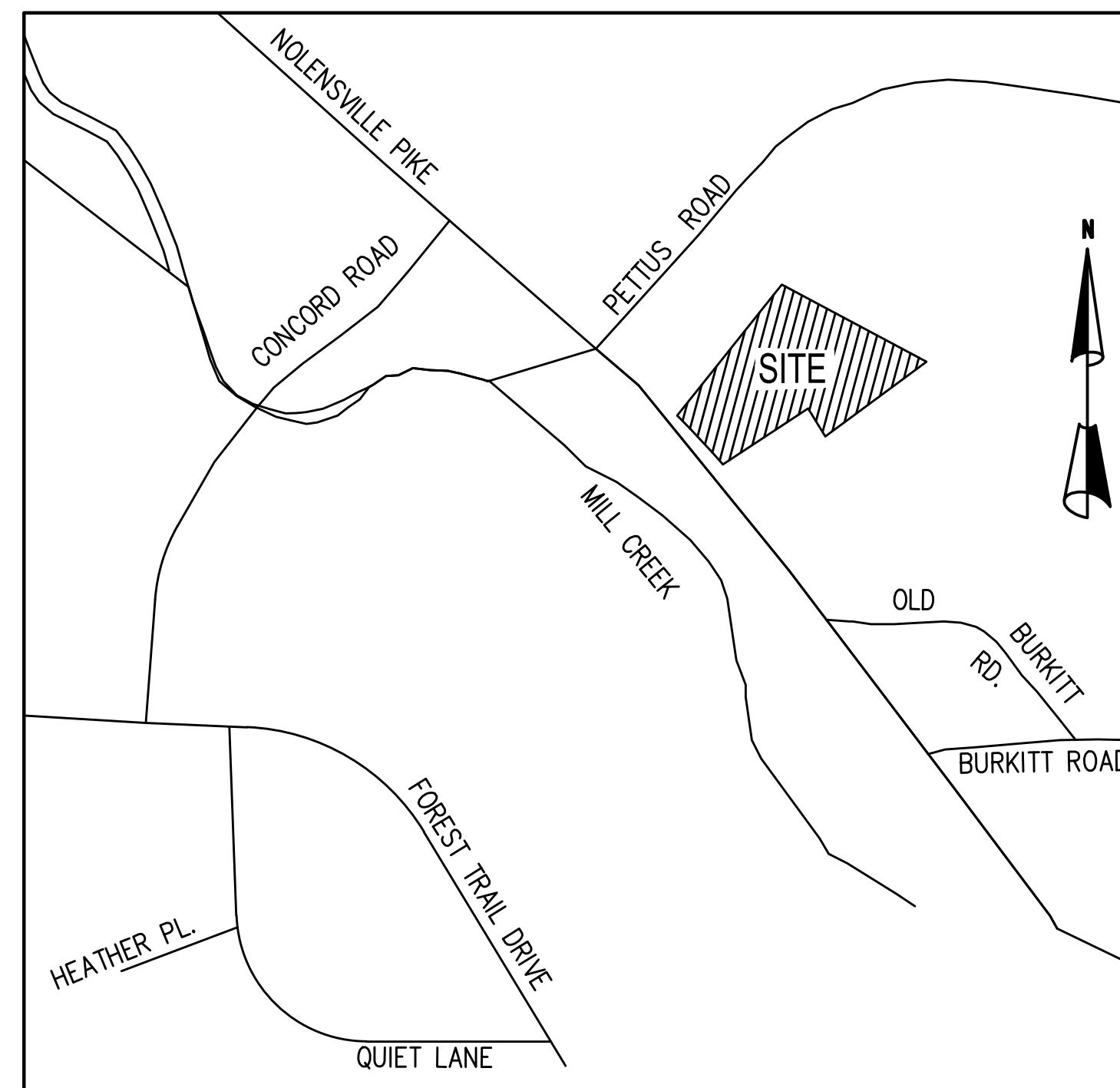
##### LANDSCAPE ARCHITECT:

HEIBERT & ASSOCIATES, LLC.  
1894 GENERAL GEORGE PATTON DRIVE  
SUITE 400  
FRANKLIN, TN 37067  
PHONE: (615) 376-2421  
FAX: (615) 376-2439  
CONTACT: CONNOR BALL

DEVELOPMENT / CONSTRUCTION SCHEDULE  
BEGINNING NOVEMBER 2017  
ENDING NOVEMBER 2018

#### PUBLIC WORKS CONSTRUCTION NOTES

1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
2. PROOF-ROLLING OF ALL STREET SUB-GRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR, REQUEST TO BE MADE 24 HOURS IN ADVANCE.
3. STOP SIGNS TO BE 30 INCH BY 30 INCH.
4. STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, AND BE MOUNTED VERTICALLY STAGGERED.
5. ALL SIGNS TO HAVE 3M REFLECTIVE COATING.



VICINITY MAP  
SCALE: N.T.S.

MAP: 181 PARCEL: 85 & 180

#### SHEET INDEX

- C-1 SITE DEMOLITION PLAN
- C-2 SITE LAYOUT PLAN
- C-2A TURN LANE PLAN
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- C-9 SIGHT TRIANGLE PROFILE PLAN
- C-10 STANDARD DETAILS
- C-11 STANDARD DETAILS
- C-12 STANDARD DETAILS
- C-13 STANDARD DETAILS
- L1.0 LANDSCAPE PLAN
- A2.01 EXTERIOR ELEVATIONS
- A2.02 EXTERIOR PERSPECTIVES

#### UTILITY COMPANIES:

##### ELECTRIC:

NASHVILLE ELECTRIC COMPANY  
1214 CHURCH STREET  
NASHVILLE, TN 37203  
(615) 747-3855

##### WATER AND SANITARY SEWER:

METROPOLITAN DEPARTMENT  
OF WATER AND SEWERAGE  
1700 3RD AVENUE NORTH  
NASHVILLE, TN 37208  
(615) 862-8600

##### NATURAL GAS:

NASHVILLE GAS  
665 MAINSTREAM DRIVE  
NASHVILLE, TN 37228  
(615) 734-0665

##### TELEPHONE:

AT&T  
(615) 557-6000



**BATSON & ASSOCIATES**  
Civil Engineering Consultants

5150 REMINGTON DRIVE  
BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX: (615) 370-9363

ISSUE DATE: 28 JUN 2017  
REVISED: 28 JUL 2017

#### DEVELOPMENT SUMMARY:

- COUNCIL DISTRICT 31st, FABIAN BEDNE
- OWNER OF RECORD: TRADITIONS OF SPRING HILL, 103 FORREST CROSSING BLVD, SUITE 204, FRANKLIN, TN 37064, (615) 405-4257
- SP NAME: TRADITIONS
- SP NUMBER:
- CLUSTER: N/A
- U.S. FEMA FIRM COMMUNITY PANEL: 47037C0456H, APRIL 5, 2017, ZONE "AY"

#### DEVELOPMENT / SITE DATA TABLE:

- ACREAGE: 3.96 AC
- DENSITY: N/A
- DWELLING UNITS: N/A
- FLOOR AREA RATIO (FAR): 0.80
- LOTS: 1
- IMPERVIOUS SURFACE RATIO (ISR): 0.80
- PARKING: 74 REQUIRED, 85 PROPOSED
- SQUARE FOOTAGE (GROSS) OF ALL LAND USES, EACH INDIVIDUAL USE, AND EACH INDIVIDUAL BUILDING / STRUCTURE: 131,095 SQ. FT.
- USES: ASSISTED LIVING FACILITY





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**PRELIMINARY**  
**SP PLAN**

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO. 2017SP-070-001  
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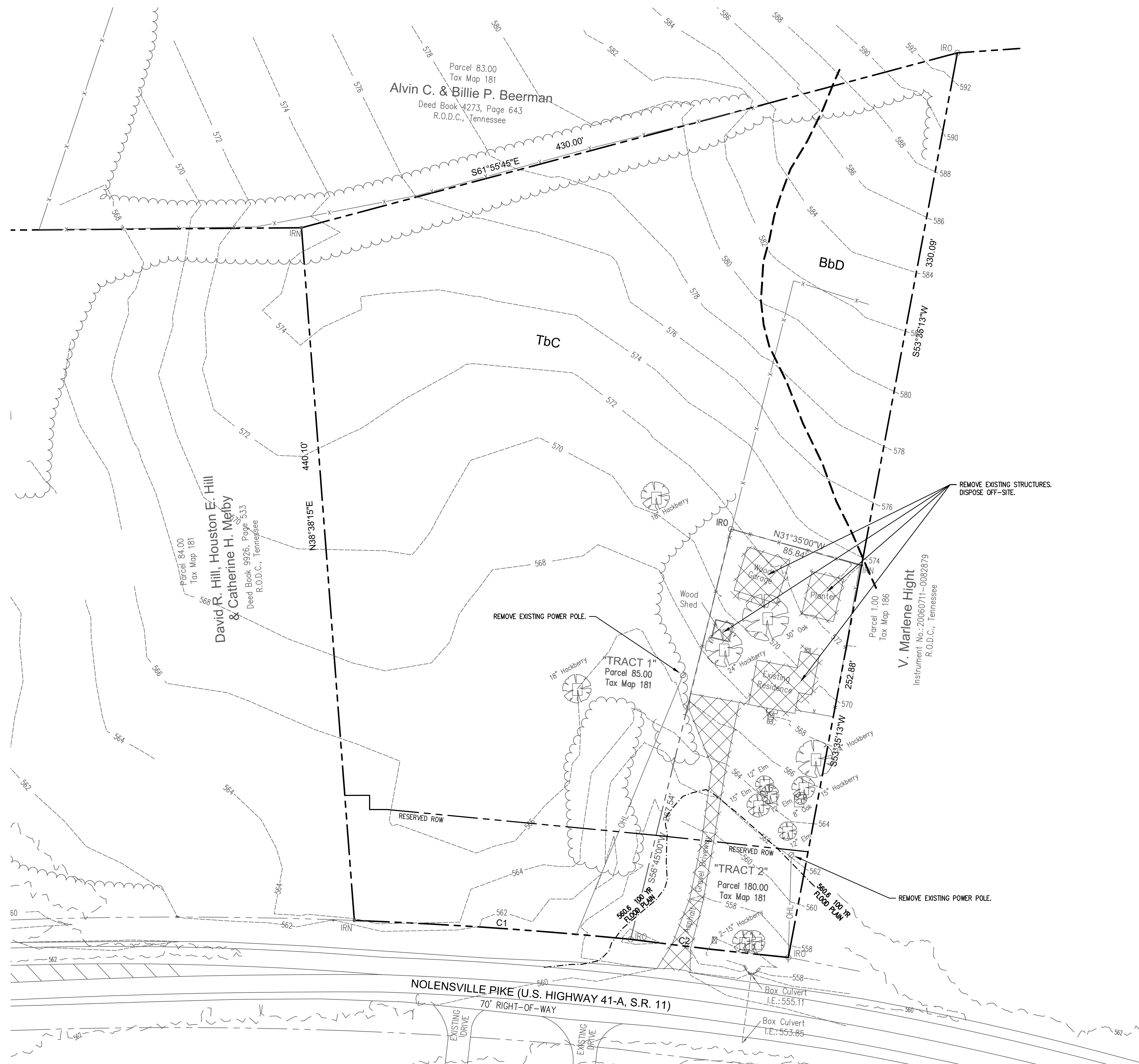
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DATE 28 JUN 2017  
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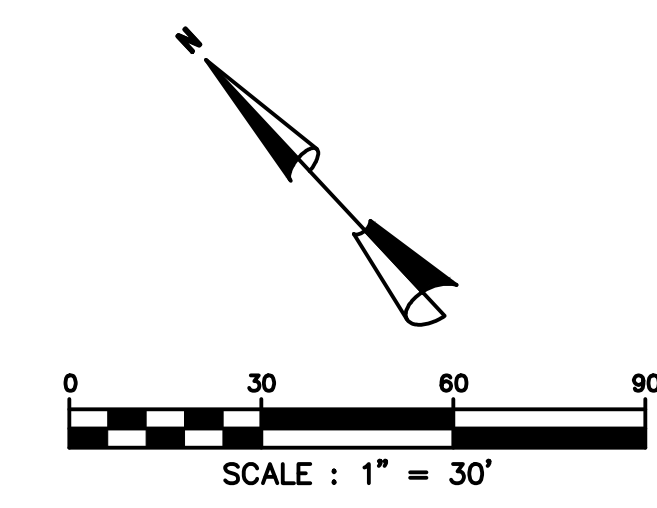
**SITE**  
**DEMOLITION**  
**PLAN**

**C-1**

SHEET 1 OF 15



REMOVE ALL EXISTING TREES.



ZONING REVIEW CHECKLIST  
NONRESIDENTIAL AND MULTIFAMILY CONSTRUCTION

APPLICATION #	PROJECT NAME:
MAP # / PARCEL #	EXAMINER:
USE - CHAPTER 17.08 AND 17.16 **A - APPROVED, D - DENIED, I - INCOMPLETE, P - PENDING, C - CONDITIONAL**	
DETERMINE THE USE: ASSISTED LIVING FACILITY	
PROPERTY ZONING: AR2A OVERLAY(S): N/A SURROUNDING ZONING: AR2A	
USE CHARTS (P, PC, SE, A): NONE REQUIRED	
SITE CRITERIA **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
SUBDIVISION PLAT (NOTE ANY SPECIAL REQUIREMENTS SUCH AS EASEMENTS, SETBACK RESTRICTIONS AND ETC.)	
MINIMUM LOT SIZE: N/A BUILDING FOOTPRINT: 131,095 SQ. FT.	
FAR 0.80% MAXIMUM 0.80% REQUESTING	
ISR - ADJUSTMENTS / SLOPES OVER 11% 0.80% MAXIMUM 0.80% REQUESTING	
STREET SETBACK / STREET TYPE(S): 40 FT.	
SIDE YARD: 20 FT.	
REAR YARD: 20 FT.	
HEIGHT STANDARDS: 2-1 NUMBER OF FLOORS: 4	
PARKING AND ACCESS - CHAPTER 17.20 **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
RAMP LOCATION AND NUMBER: ONE SOUTHWEST	
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30'): 30+ FT.	
DISTANCE TO INTERSECTIONS: 50' MINOR STREET: 400 FT. 185' ARTERIAL STREET: NONE	
100' COLLECTOR: NONE 250' CONTROLLED ACCESS RAMP: NONE	
REQUIRED PARKING BASED ON USE: 88 REQUIRED 90 PROVIDED	
REQUIRED LOADING BASED ON USE: NONE REQUIRED NONE PROVIDED	
SURFACING OVER 5 SPACES 1750 SQ. FT.: PROVIDED	
SPACE SIZES, AISLE WIDTHS, ANGLE DATA: 9 FTx18 FT, 24 FT, 90'	
QUEUING LANES: PROVIDED	
OVER 10 SPACES 20' QUEUING AT EXIT: PROVIDED	
NUMBER OF COMPACT SPACES / %: NONE / 0%	
NUMBER OF HANDICAPPED SPACES: 4	
SIDEWALKS REQUIRED: INTERNAL PROVIDED PUBLIC PROVIDED	
LANDSCAPING STANDARD - CHAPTER 17.24 **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
REQUIRED BUFFER YARDS: NONE REQUIRED	
BUFFER YARD ADJUSTMENT: NONE REQUIRED	
PERIMETER LANDSCAPING (CAN NOT BE OVER FUTURE R.O.W.): NONE REQUIRED	
STANDARD FOR 4 OR MORE LANES: NONE REQUIRED	
STANDARD FOR LESS THAN FOUR LANES: PROVIDED	
SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WIDTH W/ TREES - 2.5' W/ TREE ISLANDS: NONE REQUIRED	
INTERIOR LANDSCAPING MINIMUM 6% AREA: PROVIDED	
OPAQUE FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA: NONE REQUIRED	
SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED): PROVIDED	
TREE DENSITY:	

CHAPTER 17.16 ADDRESSES THOSE SPECIAL FEATURES REQUIRED FOR PC, SE AND A USE. ALL SPECIAL REQUIREMENTS ARE TO BE REVIEWED AS PART OF THE ZONING PLAN REVIEW AND SPECIAL FEATURES IDENTIFIED ON PLANS.

CHAPTER 17.28 ENVIRONMENTAL AND OPERATIONAL STANDARDS. CHAPTER ADDRESSES DEVELOPMENT STANDARDS FOR ENVIRONMENTALLY SENSITIVE LOTS AND CAN REQUIRE ADDITIONAL CALCULATIONS. IT ALSO ADDRESSES THE NOISE LIGHT, AND OTHER POLLUTIONS CONTROLS ALONG WITH STORAGE OF FLAMMABLE GOODS.

CHAPTER 17.36 SIGN REGULATIONS. SIGN PERMITS ARE APPLIED FOR ON SEPARATE APPLICATIONS AND ARE NOT PART OF THE ZONING REVIEW FOR BUILDING PERMIT.

CHAPTER 17.40 THIS SECTION OUTLINES SPECIAL RESTRICTIONS AND ENABLING LANGUAGE FOR OVERLAY DISTRICTS. ADDRESSES THE ADMINISTRATIVE PROVISIONS OF THE CODE ALONG WITH POWERS OF THE BOARD OF ZONING APPEALS.

FLOOR	S	1BR	SH	2BR	TOTAL
FIRST	IL	2	5	-	8 UNITS (9 BEDS)
	AL	-	-	-	
	MC	24	-	-	24 UNITS (24 BEDS)
SECOND	IL	5	11	-	17 UNITS (18 BEDS)
	AL	8	10	5	24 UNITS (25 BEDS)
THIRD	IL	5	11	-	17 UNITS (18 BEDS)
	AL	6	11	5	23 UNITS (24 BEDS)
FOURTH	IL	5	11	-	17 UNITS (18 BEDS)
TOTAL	IL	17	38	-	59 UNITS (63 BEDS)
	AL	-	-	4	47 UNITS (49 BEDS)
	MC	24	21	2	24 UNITS (24 BEDS)

GENERAL SITE NOTES:

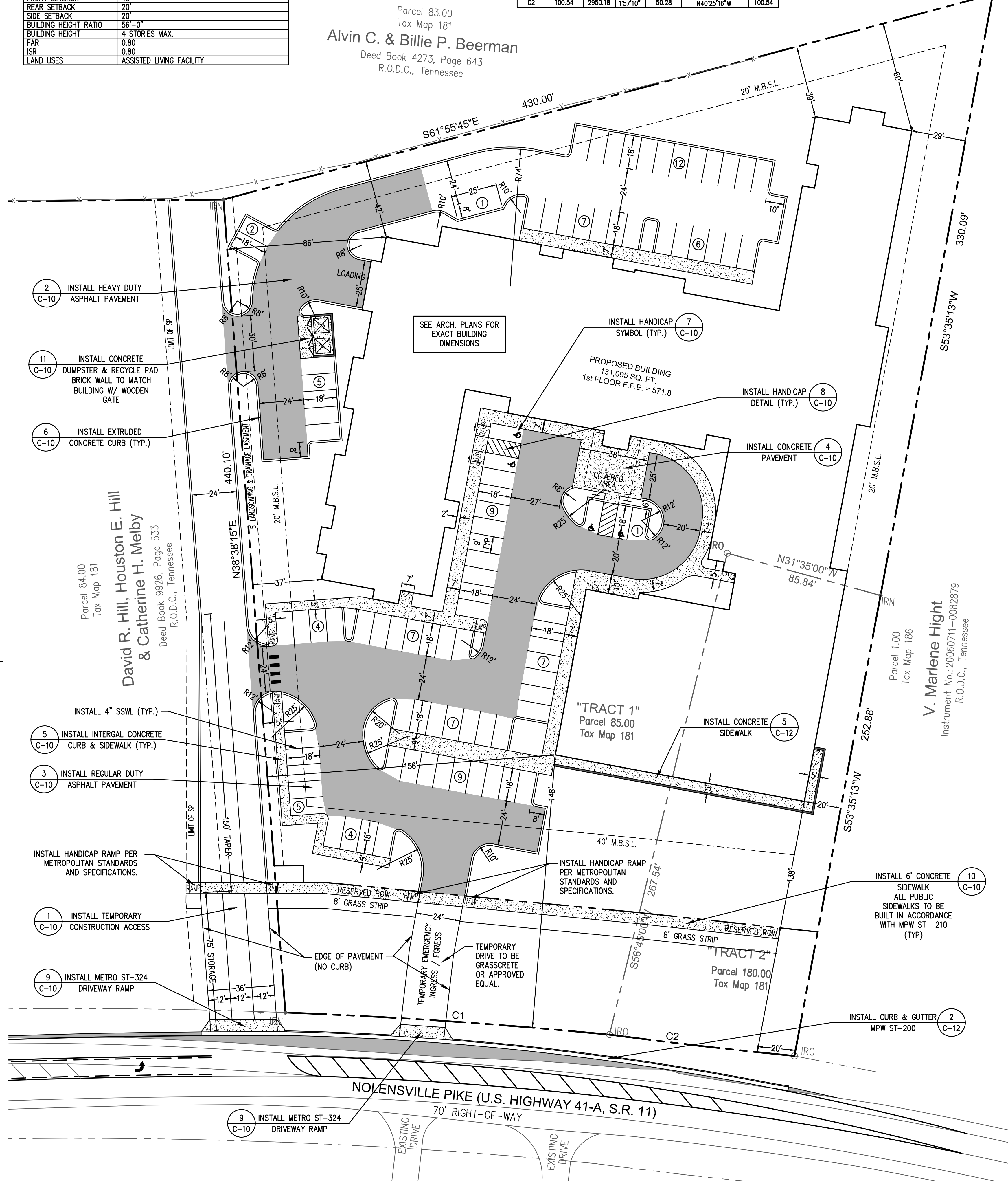
- THE PURPOSE OF THIS SP IS TO PERMIT AN ASSISTED CARE LIVING FACILITY AND A MAXIMUM OF 59 MULTI-FAMILY RESIDENTIAL UNITS. (SEE TABLE ABOVE)
- FEDERAL COMPLIANCE: ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: [HTTP://WWW.ADA.GOV](http://www.ada.gov) U.S. JUSTICE DEPT.: [HTTP://WWW.JUSTICE.GOV/CRT/HOUSING/FAIRHOUSING/ABOUT\\_FAIRHOUSINGACT.HTM](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)
- DIMENSIONS SHOWN ARE TO THE FACE-OF-CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS, PORCHES, RAMPS, SIDEWALKS, AND PRECISE BUILDING DIMENSIONS.
- ALL CURB RETURN RADII TO BE A MINIMUM OF 3 FEET UNLESS NOTED OTHERWISE HEREON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS, MATERIAL AND RUBBISH RESULTING FROM THE PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL PROCEDURES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE LOCATION OF ALL PROPERTY LINES AND EXISTING UTILITIES, THE LEGAL DESCRIPTION, TOPOGRAPHIC CONTOURS, AND SPOT ELEVATIONS, AND ALL PHYSICAL FEATURES INCLUDING STRUCTURE LOCATIONS WERE PROVIDED BY: JAMES TERRY & ASSOCIATES, LAND SURVEYORS 2601 ELM HILL PIKE, SUITE R NASHVILLE, TENNESSEE 37214 PHONE: (615) 490-6920
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES (INCLUDING STORM DRAINAGE PIPES OR STRUCTURES) BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.

GENERAL PLAN CONSISTENCY:

- THE EXISTING PROPERTY HAS A SMALL RESIDENTIAL HOUSE ON ONE OF THE TWO LOTS. THE LARGER LOT IS VACANT. THE GENERAL PLAN CALLS FOR THIS PROPERTY BEING DEVELOPED RESIDENTIAL WHICH THE PROPOSED ASSISTED LIVING SITE IS ALLOWED.
- THE NORTHERN PROPERTY LINE OF THE SP ALSO IS THE LINE IN THE GENERAL PLAN WHERE THE PROPERTY TO OUR NORTH IS PLANNED FOR COMMERCIAL USE.

DESCRIPTION	SPECIFIC PLAN (SP)
PROPOSED USE(S)	ASSISTED LIVING FACILITY
FRONT SETBACK	40'
REAR SETBACK	20'
SIDE SETBACK	20'
BUILDING HEIGHT RATIO	56'-0"
BUILDING HEIGHT	4 STORIES MAX.
FAR	0.80
ISR	0.80
LAND USES	ASSISTED LIVING FACILITY

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION CHORD
C1	175.46	2950.18	374.27°	87.75	N43°08'04"W 175.43
C2	100.54	2950.18	157.10°	50.28	N40°25'16"W 100.54



**BUILDING MATERIAL LIST**

**DOORS**  
- EXTERIOR SERVICE DOORS ARE TO BE FLUSH STEEL DOORS IN GALVANIZED HOLLOW METAL FRAMES.  
- EXTERIOR ENTRY DOORS AND DOORS IN VESTIBULE AT MEMORY CARE TO BE FULL-GLASS STOREFRONT TYPE DOORS.  
- ENTRY DOORS AT L/L ENTRY VESTIBULE ARE TO BE BI-PARTING AUTOMATIC GLASS ENTRY DOORS.  
- EXTERIOR DOORS AT PORCHES AND COURTYARDS ARE TO BE A FIBERGLASS FRENCH STYLE PATIO DOORS.

**WINDOWS**  
- EXTERIOR WINDOWS TO BE FIBERGLASS SINGLE-HUNG IN STANDARD FACTORY COLOR. (MARVIN INTEGRITY OR APPROVED SIMILAR).  
- WINDOWS IN MEMORY CARE UNIT TO HAVE OPENING RESTRICTORS TO PREVENT OPENING BEYOND 4".

**WALL CLADDING**  
- EXTERIOR WALLS ARE TO BE A COMBINATION OF FIBER CEMENT PANELS (SMOOTH OR BRICK-LOOK) AND FIBER CEMENT LAP-SIDING BOARD AND/OR BOARD AND BATTEN. NICHIHA OR APPROVED SIMILAR.  
- TRIM AND SOFFIT MATERIALS ARE TO BE A PAINTED FIBER CEMENT BOARD (NICHIHA OR APPROVED SIMILAR).  
- PER CURRENT ENERGY CODE REQUIREMENTS, EXTERIOR WALLS AT THE AL/L ARE TO BE INSULATED WITH R-13 BATT INSULATION AND CONTINUOUS R-7.5 RIGID INSULATION AND WALLS AT THE MC ARE TO HAVE R-21(5.25" HIGH-DENSITY) BATT INSULATION.

**ROOFING**  
- ROOFING AT MEMORY CARE SLOPES AND GABLES IS TO BE A 20-YEAR FIBERGLASS SHINGLE; FLAT ROOF AREAS TO BE A SINGLE-PLY MEMBRANE. GABLED ROOFS WILL BE DRAINED TO GUTTERS AND DOWNSPOUTS; FLAT ROOF AREAS WILL NEED RAINWATER LEADERS RUN THROUGH THE BUILDING.  
- SLOPED ROOFS WILL BE INSULATED WITH VENTED, INSULATED PANELS ABOVE TRUSSES AND FLAT ROOFS TO HAVE TAPERED RIGID INSULATION BOARDS ON DECKING, CONTINUOUS R-20 AT ALL LOCATIONS.

**OTHER**  
- PORCH CONCRETE FLOOR SLABS ARE TO BE FINISHED WITH A CHEMICAL STAIN PROCESS.

THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

THE SPECIFIC PLAN PROCESS IS A MULTI-STEP PROCESS. IF THE PRELIMINARY SP IS APPROVED, THERE ARE ADDITIONAL STEPS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. THESE STEPS INCLUDE: FINAL SITE PLAN AND BUILDING PERMIT REVIEW. THE FINAL SITE PLAN IS SUBMITTED THROUGH THE NORMAL PLANNING COMMISSION REVIEW PROCESS. FOR BUILDING PERMIT REVIEW, WHEN APPLYING FOR A BUILDING PERMIT YOU MUST SUBMIT 3 COPIES OF PLANS AND A REVIEW FEE OF \$250 DIRECTLY TO THE PLANNING FRONT COUNTER FOR PROCESSING. WE DO NOT NEED THE COMPLETE BUILDING PERMIT SET. PLEASE SUBMIT ONLY SITE PLAN, LANDSCAPING PLAN, GRADING PLAN, AND BUILDING ELEVATIONS.

**PARKING SUMMARY**

86	REGULAR PARKING SPACES
4	HANDICAP PARKING SPACES
90	TOTAL PARKING SPACES
88	REQUIRED PARKING SPACES

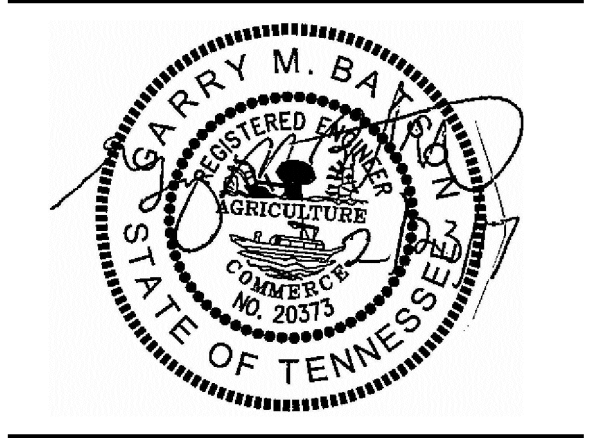
1 PER BED FOR 63 INDEPENDENT BEDS (63 x 1 = 63 SPACES)  
1 PER 3 BEDS FOR 73 ASSISTED LIVING & MEMORY CARE BEDS (73 / 3 = 25 SPACES)  
= 88 REQUIRED PARKING SPACES

**LEGEND**

[Pattern]	HEAVY DUTY PAVEMENT
[Pattern]	REGULAR DUTY PAVEMENT
[Pattern]	CONCRETE SIDEWALK/PAVEMENT
(24)	INDICATES NUMBER OF PARKING SPACES IN ROW
(2)	DETAIL "2" ON SHEET "C4"
SSWL	4" SINGLE SOLID WHITE LINE

**BA**  
**BATSON & ASSOCIATES**  
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5150 REMINGTON DRIVE  
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**TRADITIONS**  
**PRELIMINARY SP PLAN**  
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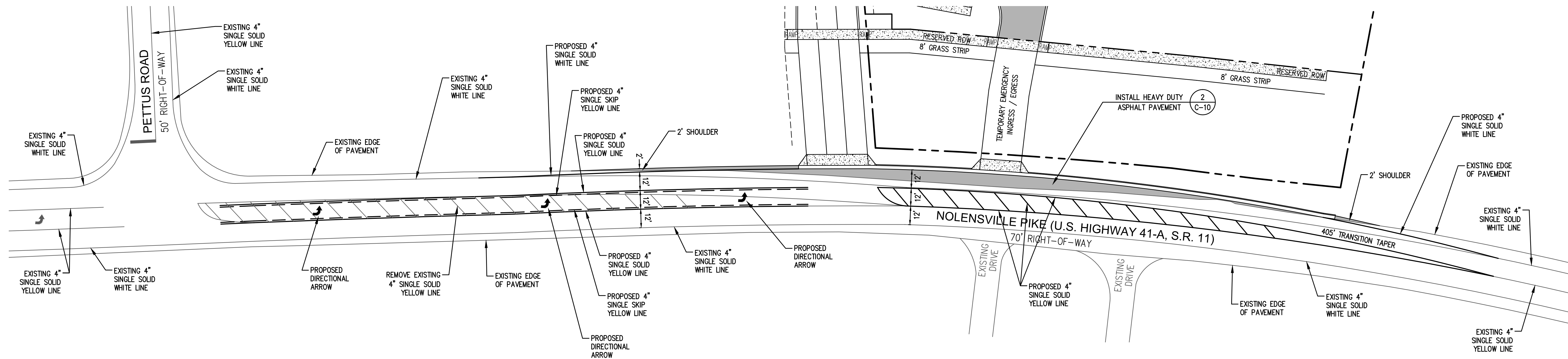
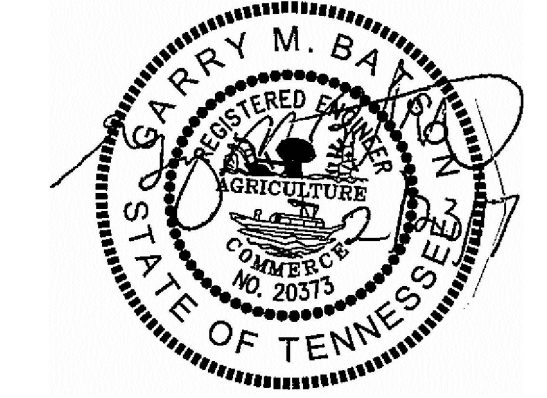
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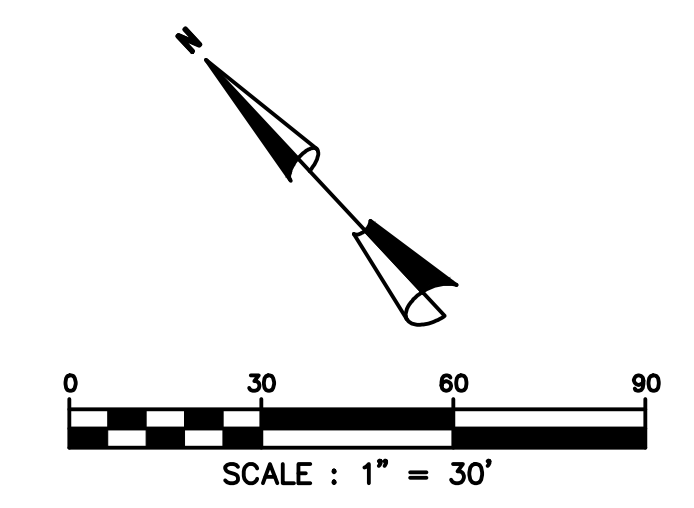
$$\text{TRANSITION LENGTH} = \frac{WS^2}{45} = \frac{12(45)^2}{60} = 405'$$

W = 12 FEET  
S = 45 MPH

**LEGEND**

HEAVY DUTY PAVEMENT

DETAIL "2" ON SHEET "C4"



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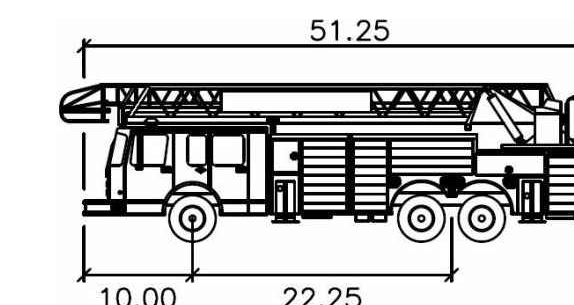
**TURN LANE  
PLAN**

**C-2A**



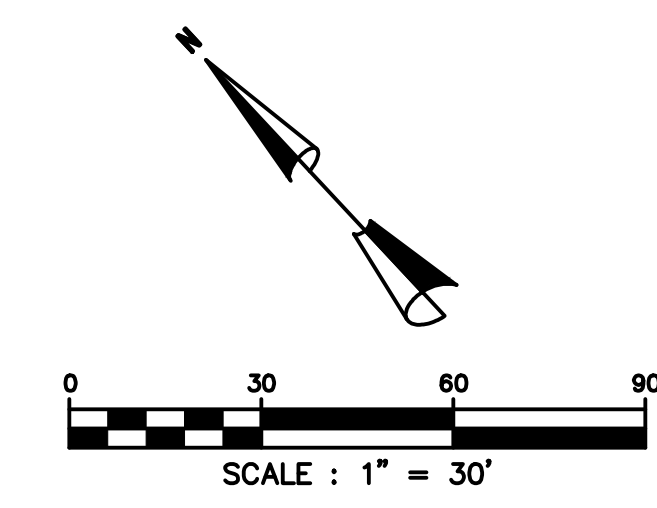
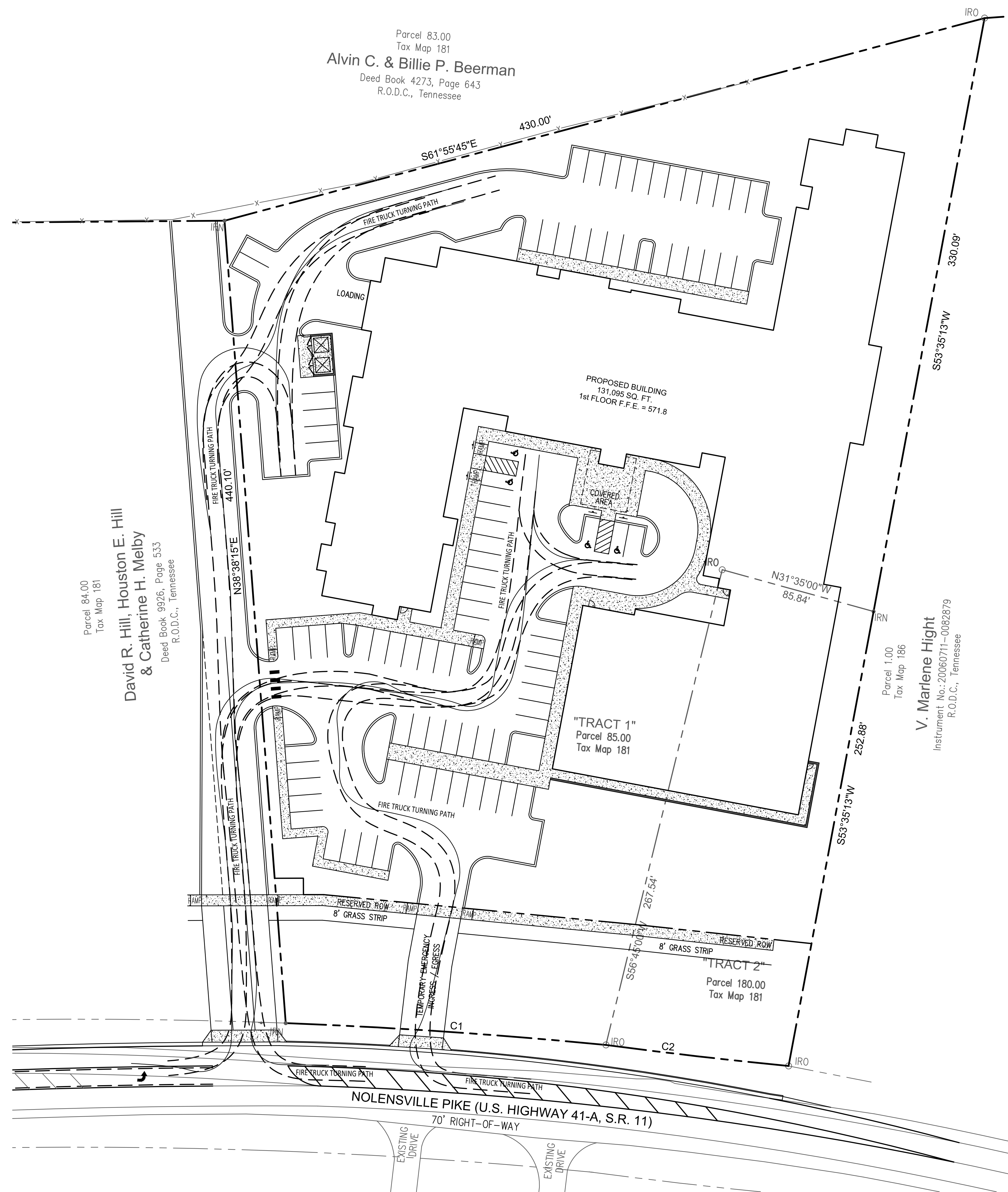
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BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX (615) 370-9363



T-2 SUTPHEN

	feet
Width	: 8.66
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 42.0



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**SITE**  
**AUTOTURN**  
**PLAN**

**C-3**

UTILITY COMPANIES:

ELECTRIC:

NASHVILLE ELECTRIC COMPANY  
1214 CHURCH STREET  
NASHVILLE, TN 37203  
(615) 747-3855

WATER AND SANITARY SEWER:

METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE  
1700 3RD AVENUE NORTH  
NASHVILLE, TN 37208  
(615) 862-8600

NATURAL GAS:

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665 MAINSTREAM DRIVE  
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TELEPHONE:

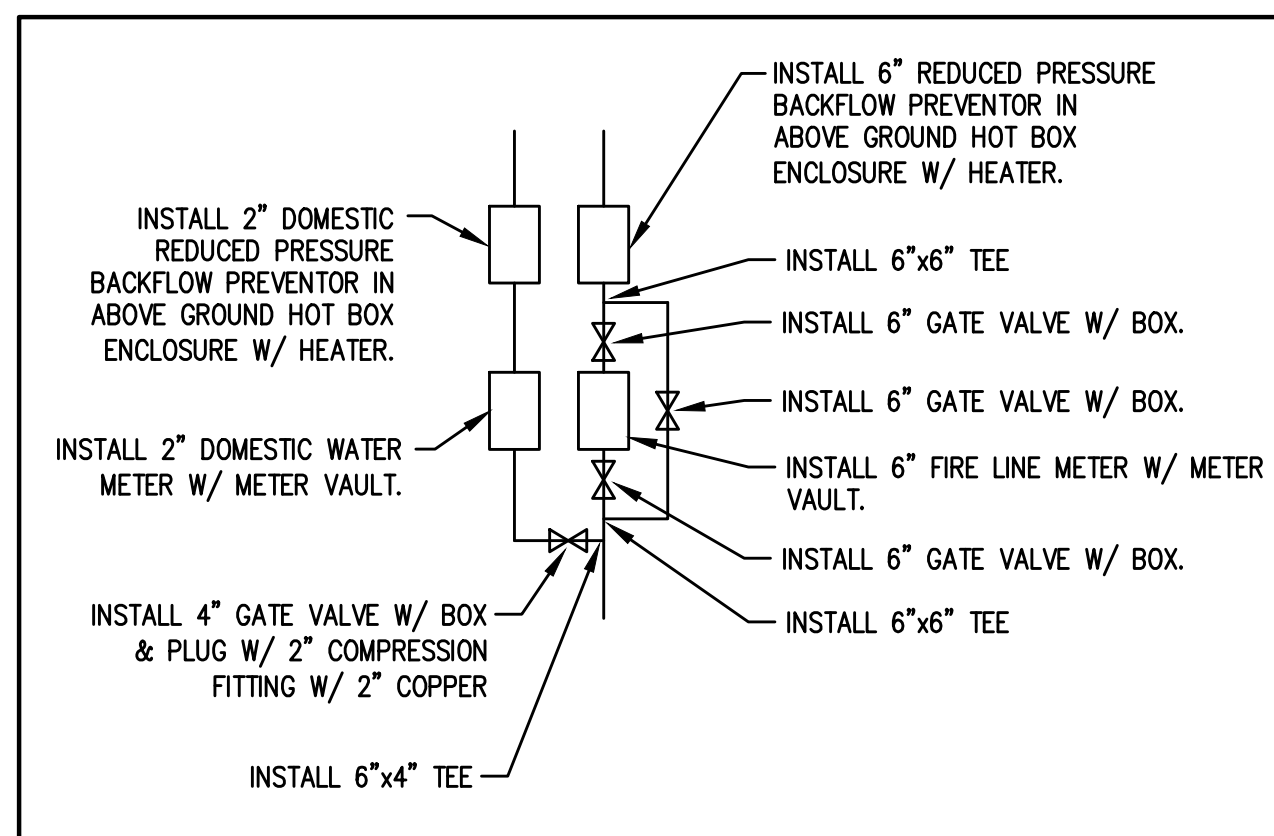
AT&T  
(615)  
557-6000

CABLE:

COMCAST  
660 MAINSTREAM DRIVE  
NASHVILLE, TN 37228  
(615) 244-5900

WATER PLAN NOTES

- ALL WATER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE HARPEATH VALLEY UTILITIES DISTRICT.
- THE DEVELOPER IS RESPONSIBLE FOR REIMBURSING THE HARPEATH VALLEY UTILITIES DISTRICT THE COST OF INSPECTION.
- THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- ALL WATER METERS SHALL BE 18" BELOW FINISHED GRADE.
- UPON COMPLETION OF CONSTRUCTION OF WATER, THE ENGINEER SHALL PROVIDE THE DEPARTMENT WITH A COMPLETE SET OF AS-BUILT PLANS ON MOIST ERASABLE MYLARS IN REVERSE AND IN DIGITAL (\*DWG) FORMAT. WATER LINE PLANS SHALL BE SEALED BY A LICENSED PROFESSIONAL ENGINEER OR A REGISTERED LAND SURVEYOR AND SHALL INCLUDE OFFSET DISTANCE FROM THE ROADWAY CENTERLINE, OR PROPERTY LINE RIGHT OF WAY, LINE DEPTH, LOCATIONS OF HYDRANTS, VALVES, REDUCERS, TEES AND PRESSURE REDUCING DEVICES WHERE APPLICABLE. ALL DRAWINGS MUST BE COMPLETED AND SUBMITTED PRIOR TO ACCEPTANCE OF THE WATER MAINS INTO THE PUBLIC SYSTEM AND ANY CONNECTIONS BEING MADE.
- PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER.



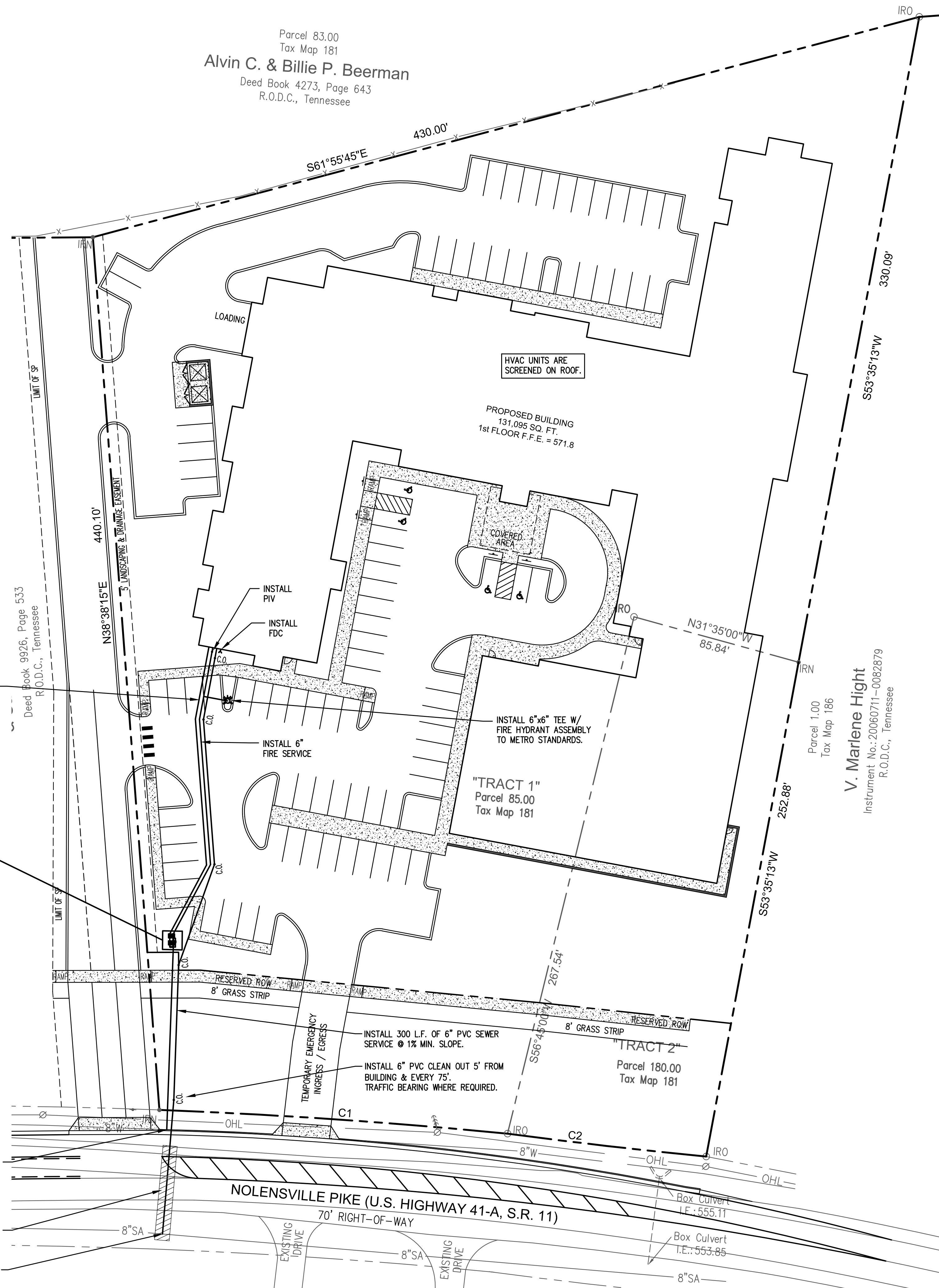
LEGEND

- TAPPING SLEEVE AND VALVE (SEE PLAN FOR SIZE)
- SANITARY SEWER CLEANOUT
- GATE VALVE (SEE PLAN FOR SIZE)
- REDUCER (SEE PLAN FOR SIZE)
- 2" DW - PROPOSED DOMESTIC WATER LINE
- 6" SA - PROPOSED SANITARY SEWER LINE
- PROPOSED FIRE HYDRANT
- F.D.C. - PROPOSED FIRE DEPARTMENT CONNECTION

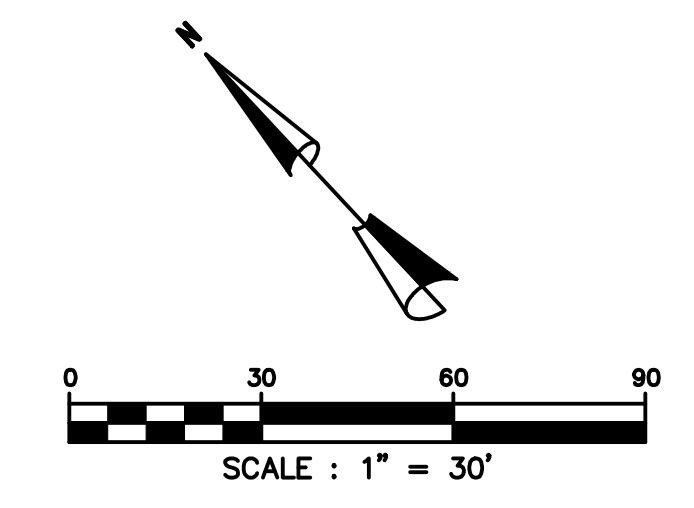
INSTALL 8" TAPPING SLEEVE & VALVE W/ 8"x6" REDUCER ON EXISTING WATER LINE.

REPAIR PAVEMENT AS REQUIRED PER METRO STANDARDS

TIE TO EXISTING SEWER LINE.



SEE SHEET C-13 FOR UTILITY DETAILS



MWS   
MWS

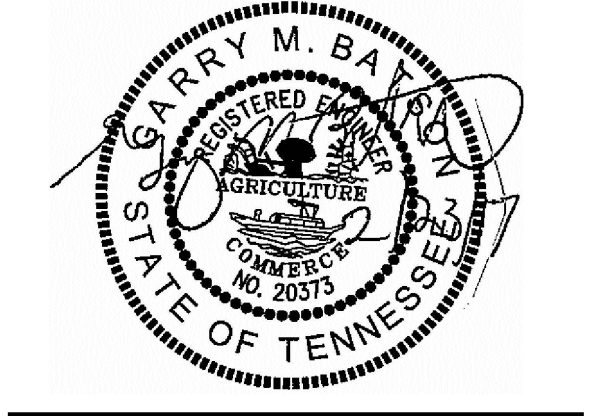
GENERAL UTILITY NOTES

- ALL GAS, ELECTRIC, AND TELEPHONE SERVICE LINES AND EXTENSIONS ARE TO BE CONSTRUCTED TO THE RESPECTIVE UTILITY COMPANY SPECIFICATIONS. UTILITY CONNECTIONS TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE GENERAL CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON ARE BASED ON UTILITY COMPANY RECORDS, AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL TENNESSEE ONE CALL OR THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL CROSSINGS, AND INFORM THE CLIENT AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND TO VERIFY SERVICE LINE SIZES.
- A 10-FOOT MINIMUM HORIZONTAL SEPARATION IS TO BE MAINTAINED BETWEEN WATER AND SANITARY SEWER LINES.
- ALL CONSTRUCTION OF WATER LINES AND APPURTENANCES AND SANITARY SEWER LINES, APPURTENANCES AND GREASE INTERCEPTOR SHALL BE PERFORMED IN ACCORDANCE WITH THE MOST RECENTLY APPROVED STANDARD SPECIFICATIONS AND DETAILS OF HARPEATH VALLEY UTILITIES DISTRICT.
- BEFORE TYING INTO EXISTING LINES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR. ALL LINES TO BE TIED TO EXISTING WATER AND SANITARY SEWER LINES ARE TO BE INSPECTED PRIOR TO CONNECTION BY HARPEATH VALLEY UTILITIES DISTRICT.
- THE CONTRACTOR SHALL PAY ANY APPLICABLE WATER AND SEWERAGE SERVICE INSPECTION FEES.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKING CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO THE LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE, COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES AND GAS LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES OR STORM SEWERS.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD AND UNDERGROUND ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THE WORK, THE CONTRACTOR MUST WORK IN THE CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN. A THROUGH EXAMINATION OF THE OVERHEAD AND UNDERGROUND WIRES IN THE PROJECT AREA SHOULD BE MADE BY THE CONTRACTOR PRIOR TO THE INITIATION OF CONSTRUCTION.
- THE CONTRACTOR'S FIELD REPRESENTATIVE SHALL NOTIFY THE HARPEATH VALLEY UTILITIES DISTRICT PRIOR TO COMMENCING ANY WORK ON THE PROPOSED SEWER IMPROVEMENTS.
- SEWER IMPROVEMENT CONSTRUCTION SHALL BE SUBJECT TO INSPECTION AND FINAL ACCEPTANCE OF THE HARPEATH VALLEY UTILITIES DISTRICT.
- THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATION DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS NECESSARY TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITY LINES.
- AT LOCATIONS WHERE THE SEWER LINE OF WATER LINE IS UNDERNEATH PROPOSED PAVEMENT, THE TRENCH SHALL BE BACKFILLED TO SUBGRADE WITH CRUSHED STONE.
- ANY AND ALL FEES, LICENSES AND PERMITS NECESSARY FOR THIS CONSTRUCTION ARE TO BE OBTAINED PRIOR TO INITIATION OF CONSTRUCTION AND THE COST OF SAME TO BE BORNE BY THE CONTRACTOR.
- ALL SANITARY SEWER LINES, INCLUDING SERVICE LINES, SHALL BE LOW PRESSURE AIR TESTED BY THE CONTRACTOR. THE TEST SHALL BE CONDUCTED IN THE PRESENCE OF A HARPEATH VALLEY UTILITIES DISTRICT REPRESENTATIVE.
- ALL DRIVES SHALL BE CONSTRUCTED TO SUBGRADE, AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
- CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS TO CONSTRUCT UTILITIES.
- ALL SANITARY SEWER SERVICE LINES SHALL MAINTAIN A MINIMUM 1% SLOPE.
- SITE CONTRACTOR SHALL CONSTRUCT ALL UTILITY SERVICES TO WITHIN 5' OF BUILDING. BUILDING CONTRACTOR SHALL MAKE ALL CONNECTIONS.



**BATSON & ASSOCIATES**  
Civil Engineering Consultants

5150 REMINGTON DRIVE  
BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX (615) 370-9363



TRADITIONS  
PRELIMINARY  
SP PLAN

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO. -  
DATE 28 JUN 2017  
DRAWN BY NN  
CHECKED BY GMB

SITE  
UTILITY  
PLAN

C-4

AS THE DESIGN ENGINEER RESPONSIBLE FOR THE DEVELOPMENT OF THESE PLANS, I HEREBY CERTIFY THAT THIS PROJECT, WHICH SHALL DISTURB ONE(1) OF MORE ACRES, IS COVERED UNDER GENERAL NPDES PERMIT NO. TNB FOR DISCHARGES OF STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY ISSUED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT DIVISION OF WATER POLLUTION CONTROL.

THE TENNESSEE CONSTRUCTION GENERAL PERMIT NOTICE OF COVERAGE (NOC) NOTE ON THE PLANS (SEE PAGE A-8). A NOC MUST BE OBTAINED BY ALL SITES THAT DISTURB ONE ACRE OR MORE OF LAND BEFORE A GRADING PERMIT WILL BE ISSUED. ENTER DATE NOC APPLIED FOR:

PROJECT ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

THE PROJECT ASSOCIATED WITH THESE SUBMITTED PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TNB.

CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:  
 IMPAIRED FOR SILTATION  IMPAIRED FOR HABITAT ALTERATION  EXCEPTIONAL

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER \_\_\_\_\_

PLEASE ATTACH A COPY OF THE NOTICE OF COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT.

I, \_\_\_\_\_ CERTIFIED EROSION CONTROL SPECIALIST HAVE REVIEWED THE PLAN FOR SUFFICIENT ON-SITE TEMPORARY EROSION AND SEDIMENT CONTROL.

EROSION CONTROL SPECIALIST \_\_\_\_\_ DATE \_\_\_\_\_

**AS-BUILT NOTE**

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- A. A CERTIFICATION LETTER FROM TN REGISTERED P.E. STATING THAT THE SITE HAS BEEN INSPECTED AND THAT THE STORMWATER MANAGEMENT SYSTEM AND STORMWATER CONTROL MEASURES (BOTH STRUCTURAL AND NON-STRUCTURAL) ARE COMPLETE AND FUNCTIONAL IN ACCORDANCE WITH THE PLANS APPROVED BY MWS.
- B. AN AS-BUILT LID SPREADSHEET.
- C. HYDROLOGIC AND HYDRAULIC CALCULATIONS FOR AS-BUILT CONDITIONS, AS REQUIRED.
- D. AS-BUILT DRAWINGS SHOWING FINAL TOPOGRAPHIC FEATURES OF ALL THESE FACILITIES. THIS SHALL INCLUDE INVERT ELEVATIONS OF OUTLET CONTROL STRUCTURES.
- E. ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED ON AS-BUILT DRAWINGS SUBMITTED.
- F. COPY OF AS-BUILT PLAN CAD FILE ON A CD AND SHOULD BE REGISTERED TO THE TN STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83). DATA SHOULD BE PLACED IN SEPARATE LAYERS AND SHOULD BE LABELED / NAMED FOR EASY IDENTIFICATION.
- G. CUT AND FILL BALANCE CERTIFICATION FOR FLOODPLAIN AND SINKHOLE ALTERATIONS.
- H. WATER QUALITY BUFFERS SHALL BE SURVEYED AND INCLUDED WITH THE AS-BUILT SUBMITTAL.
- I. ANY PUBLIC (TO BECOME THE RESPONSIBILITY OF METRO TO MAINTAIN) STORMWATER INFRASTRUCTURE SHALL BE VIDEO-INSPECTED TO VERIFY PROPER INSTALLATION WITH THE VIDEO RECORDING AND ANY ASSOCIATED INSPECTION REPORT SUBMITTED AS PART OF AS-BUILT RECORD.
- J. ADDITIONAL TESTING MAY BE REQUIRED AS/IF WARRANTED BY VIDEO INSPECTION.

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

ROOF DRAINS TO DAYLIGHT & TRAVEL OVER ASPHALT TO AREA DRAINS.

ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVAL.

3.96 AC. OF DISTURBED AREA

THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE COVERED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATIONS.

METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP)

A PORTION OF THIS PARCEL IS WITHIN "AE" 100 YEAR FLOOD PLAIN AS DESIGNATED BY CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS WHICH MAKE UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT. F.E.M.A. MAP NUMBER 4703700456H DATE APRIL 5, 2017.

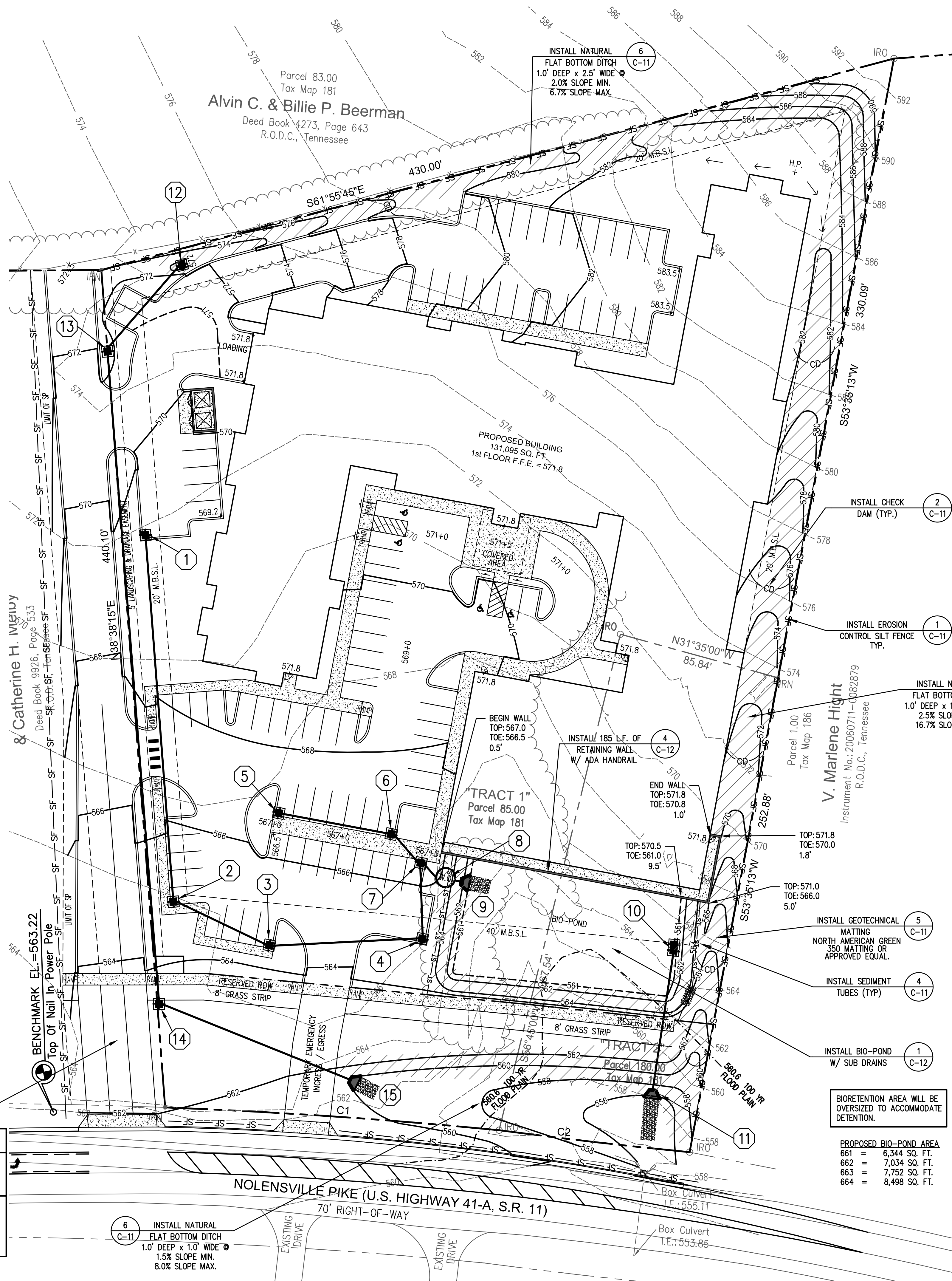
CONTRACTOR IS REQUIRED TO PROVIDE AN AREA FOR CONCRETE WASHDOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13, RESPECTIVELY. THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION WITH THE NPDES DEPARTMENT DURING THE PRECONSTRUCTION MEETING. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND / OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPSC PLAN. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.

- LEGEND**
- SF- SILT FENCE
  - CD- CHECK DAM
  - ST- SEDIMENT TUBES
  - [ ] INLET PROTECTION (ON ALL INLETS)
  - 700- PROPOSED CONTOUR LINE AND ELEVATION
  - (2) DETAIL "2" ON SHEET "04"
  - 700+0 SPOT ELEVATION
  - [ ] GEOTECHNICAL MATTING NORTH AMERICAN GREEN P-300 OR APPROVED EQUAL.

ALL SLOPES ARE TO BE FLATTER THAN 3:1.

INSTALL GEOTECHNICAL MATTING NORTH AMERICAN GREEN P-300 OR APPROVED EQUAL ON ALL DITCHES & POND.

STEEP SLOPES (35% GRADE OR GREATER) SHALL BE TEMPORARILY STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED.



**GENERAL GRADING AND EROSION CONTROL NOTES**

1. ALL SLOPES TO BE 3:1 OR FLATTER UNLESS NOTED OTHERWISE HERON.
2. THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO ADJACENT PROPERTIES OCCURRING DURING CONSTRUCTION OF THIS PROJECT.
3. THE GENERAL CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY DURING CONSTRUCTION. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS.
4. THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN HEREON IS BASED ON UTILITY COMPANY RECORDS AND WHERE POSSIBLE, FIELD MEASUREMENTS. THE CONTRACTOR SHALL NOT RELY UPON THIS INFORMATION AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL THE TENNESSEE ONE CALL AND/OR THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND REQUEST FIELD VERIFICATION OF UTILITY LOCATIONS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE EXISTING UTILITIES CONFLICTING WITH IMPROVEMENTS SHOWN HEREON IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
5. BEFORE INSTALLATION OF STORM OR SANITARY SEWER, THE CONTRACTOR SHALL EXCAVATE AND VERIFY ALL CROSSINGS AND INFORM THE CLIENT AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
6. ALL CONSTRUCTION WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE COORDINATED WITH THE DAVIDSON COUNTY HIGHWAY DEPARTMENT MAINTENANCE ENGINEER AND SHALL CONFORM TO COUNTY SPECIFICATIONS.
7. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PROPOSED.
8. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED IN LOCATIONS DESIGNATED BY THE OWNER, AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6". (CHECK GEOTECHNICAL STUDY)
9. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE ENGINEER.
10. MULCH AND SEED ALL GRADED AREAS AS SOON AS POSSIBLE AFTER GRADING IS COMPLETE.
11. CONSTRUCT ALL SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
12. REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES PRIOR TO ACCEPTANCE BY THE OWNER.
13. CLEAN SILT BARRIERS WHEN THEY ARE APPROXIMATELY 50% OBSTRUCTED BY SEDIMENT OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE. SILT BARRIERS SHALL BE REPLACED AS EFFECTIVENESS IS SIGNIFICANTLY REDUCED.
14. REMOVE ALL TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY ONCE A HEARTY SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON THE SITE.
15. SURPLUS MATERIAL NOT REQUIRED FOR SITE CONSTRUCTION SHALL BE DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AFTER THE OWNER'S APPROVAL.
16. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS OF THE METROPOLITAN DEPARTMENT OF PUBLIC WORKS.
17. FILL MATERIAL, IF ANY, SHALL BE BORROWED AT THE CONTRACTOR'S EXPENSE.

**PUBLIC WORKS CONSTRUCTION NOTES**

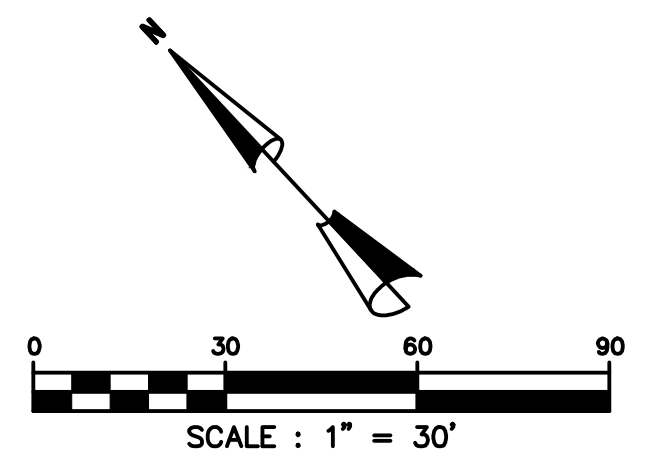
1. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
2. PROOF-ROLLING OF ALL STREET SUB-GRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR, REQUEST TO BE MADE 24 HOURS IN ADVANCE.
3. STOP SIGNS TO BE 30 INCH BY 30 INCH.
4. STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, AND BE MOUNTED VERTICALLY STAGGERED.
5. ALL SIGNS TO HAVE 3M REFLECTIVE COATING.

**DRAINAGE STRUCTURE TABLE**

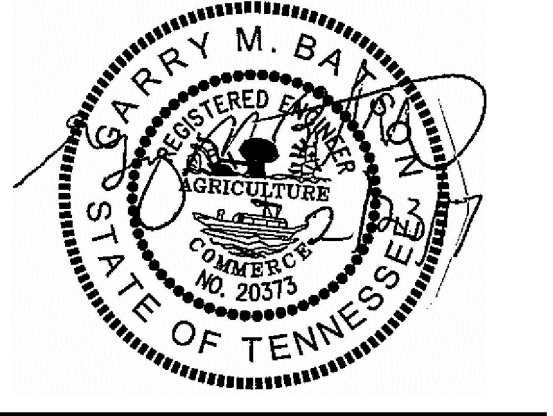
STRUC. #	TOP	INV. IN(#)	INV. OUT	PIPES				
				FROM-TO	SIZE	TYPE	LENGTH	SLOPE
1	568.50		564.81	1 - 2	18"	RCP	190'	1.74%
2	565.00	561.50(1)	561.40	2 - 3	24"	RCP	53'	0.51%
3	565.00	561.13(2)	561.03	3 - 4	24"	RCP	77'	0.51%
4	565.30	560.64(3)	560.54	4 - 7	24"x36"	RCP	37'	0.51%
5	566.50		562.00	5 - 6	14"x23"	RCP	57'	0.68%
6	566.50	561.61(5)	561.51	6 - 7	14"x23"	RCP	19'	1.26%
7	566.50	560.35(4)	561.27(6)	7 - 8	24"x36"	RCP	10'	0.50%
8	566.00	558.65(7)	561.15	8 - 9	24"x36"	RCP	3'	5.00%
9			561.00					
10	562.20		556.15	10 - 11	18"	RCP	72'	0.50%
11			555.79					
12	571.80		568.50	12 - 13	18"	RCP	58'	0.86%
13	572.40	568.00(12)	567.90	13 - 14	18"	RCP	340'	2.43%
14	563.20	559.63(13)	559.53	14 - 15	18"	RCP	106'	0.50%
15			559.00					

**OUTLET PROTECTION SIZING CHART**

OUTLETS	LENGTH	WIDTH	d50	OUT IN DEPTH
9	11'	7.5"	0.1	0.2
11	22'	10.5"	0.3	0.6
15	7'	4.5"	0.1	0.2



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 BRENTWOOD, TENNESSEE 37027  
 (615) 424-4840 • FAX: (615) 370-9363



**TRADITIONS PRELIMINARY SP PLAN**

6922 NOLENSVILLE PIKE  
 NASHVILLE, TN

CASE NO. 2017SP-070-001  
 MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO. \_\_\_\_\_  
 DATE 28 JUN 2017  
 DRAWN BY NN  
 CHECKED BY GMB

**SITE GRADING & DRAINAGE PLAN**



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BRENTWOOD, TENNESSEE 37027  
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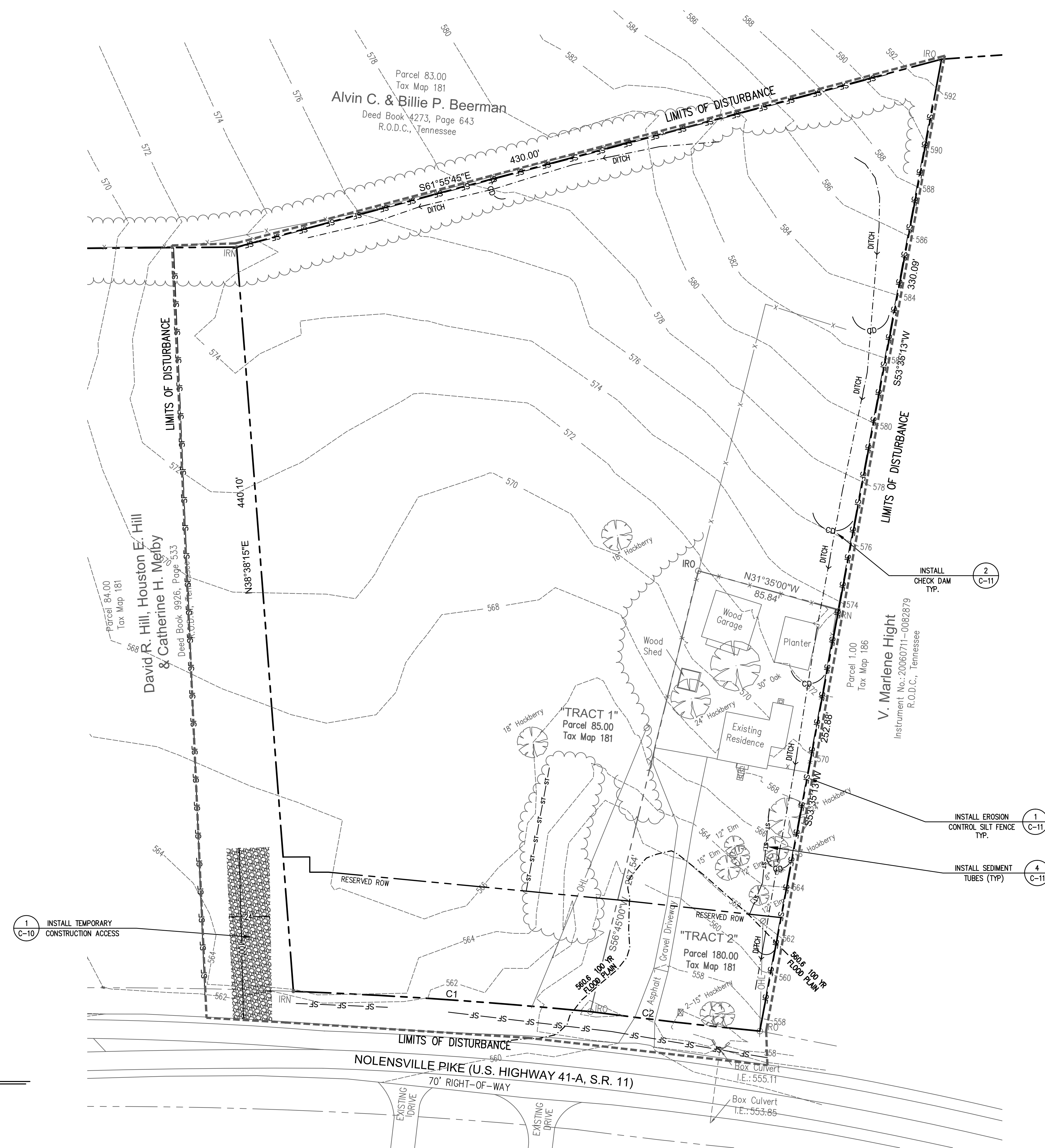


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ALL SLOPES 3:1 OR STEEPER ARE TO BE STABILIZED WITHIN 7 DAYS OF FINAL GRADING.

ALL PERIMETER MEASURES MUST BE IN PLACE BEFORE GRADING

DISTURBED AREA: 3.96 AC.



**LEGEND**  
— SF — SILT FENCE  
— CD — CHECK DAM  
— ST — SEDIMENT TUBES

**TRADITIONS**  
**PRELIMINARY**  
**SP PLAN**

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

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EPSC  
PHASE 1

**C-6**

SHEET 7 OF 15





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Civil Engineering Consultants

5150 REMINGTON DRIVE  
BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX (615) 370-9363

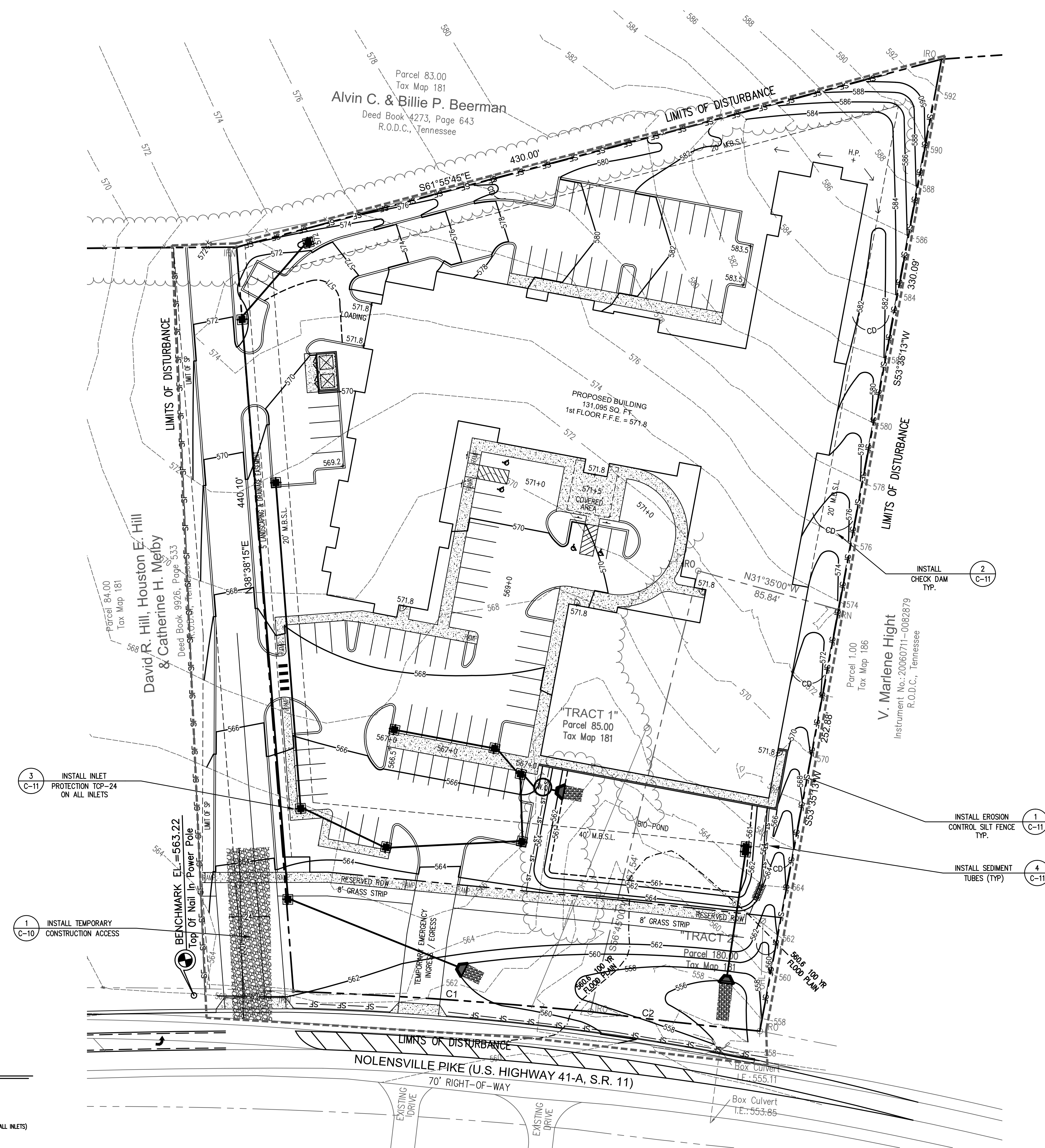


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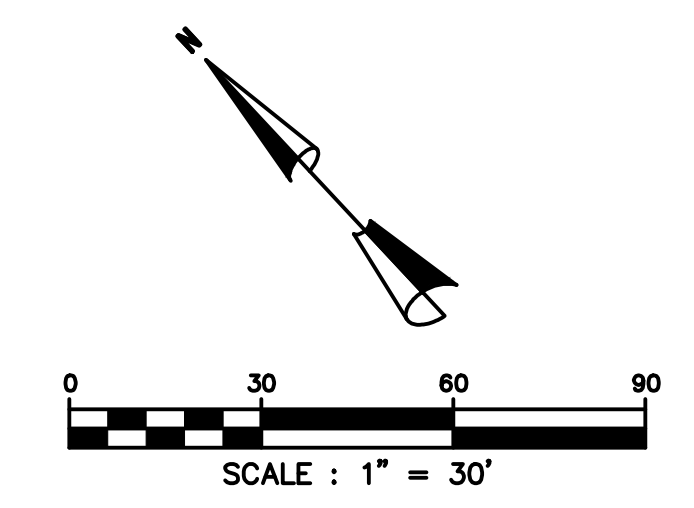
3 C-11 INSTALL INLET PROTECTION TOP-24 ON ALL INLETS

1 C-10 INSTALL TEMPORARY CONSTRUCTION ACCESS

1 C-11 INSTALL EROSION CONTROL SILT FENCE TYP.

4 C-11 INSTALL SEDIMENT TUBES (TYP.)

- LEGEND**
- SF- SILT FENCE
  - CD- CHECK DAM
  - ST- SEDIMENT TUBES
  - INLET PROTECTION (ON ALL INLETS)



**TRADITIONS**  
**PRELIMINARY**  
**SP PLAN**

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PHASE 2

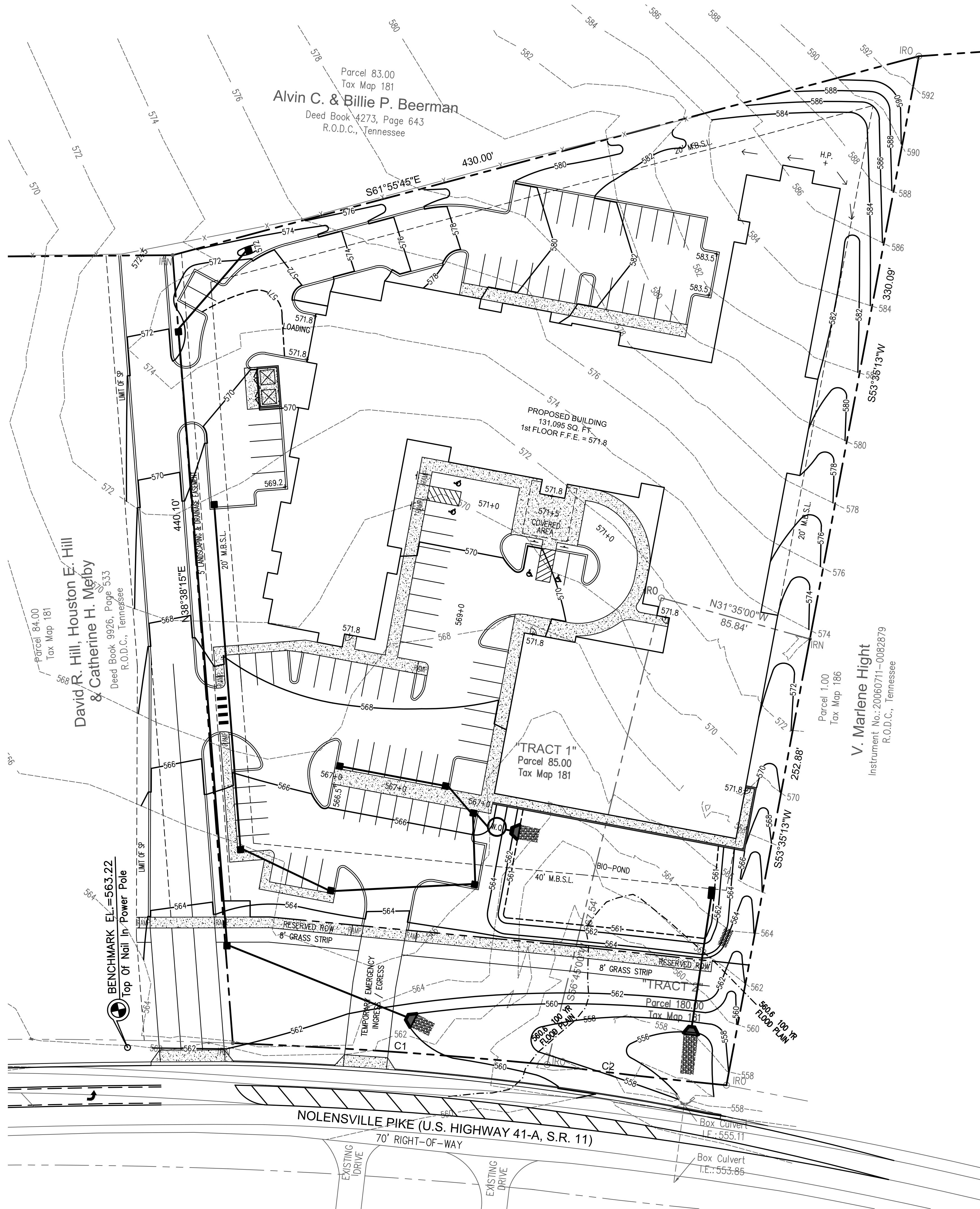
**C-7**

SHEET 8 OF 15



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**FINAL STABILIZATION OF NON-PAVED AREAS**  
MULCH AND SEED AND STRAW ALL DISTURBED AREAS.  
(SEE LANDSCAPE PLAN FOR TYPE)

**TEMPORARY SEEDING IN ACCORDANCE WITH TCP-05**  
TEMPORARY STABILIZATION OF SOIL WITH RAPIDLY GROWING ANNUAL PLANTS USED TO PREVENT EROSION ON DISTURBED AREAS BEFORE FINAL GRADING OR IN A SEASON NOT SUITABLE FOR PERMANENT SEEDING. THIS MANAGEMENT PRACTICE IS LIKELY TO CREATE A SIGNIFICANT REDUCTION IN SEDIMENT AND A PARTIAL REDUCTION IN NUTRIENTS AND TOXIC MATERIALS.

**PERMANENT GRASS, VINES AND OTHER VEGETATION IN ACCORDANCE WITH PESC-01**  
SEEDING OF GRASSES AND PLANTINGS OF TREES, SHRUBS, VINES AND GROUND COVERS PROVIDE LONG-TERM STABILIZATION OF SOIL. THE PRIMARY FUNCTION OF PERMANENT SEEDING AND PLANTING IS TO: IMPROVE LONG-TERM AESTHETICS, REDUCE EROSION BY SLOWING RUNOFF VELOCITIES, ENHANCE INFILTRATION AND TRANSPIRATION, TRAP SEDIMENT AND OTHER PARTICULATES, PROTECT SOIL FROM RAINDROP IMPACT, AND PROVIDE HABITAT FOR WILDLIFE. THIS MANAGEMENT PRACTICE IS LIKELY TO CREATE A SIGNIFICANT REDUCTION IN SEDIMENT AS WELL AS PARTIAL REDUCTIONS IN THE IMPACTS CAUSED BY NUTRIENTS AND TOXIC MATERIALS.

**TRADITIONS**  
**PRELIMINARY**  
**SP PLAN**  
6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

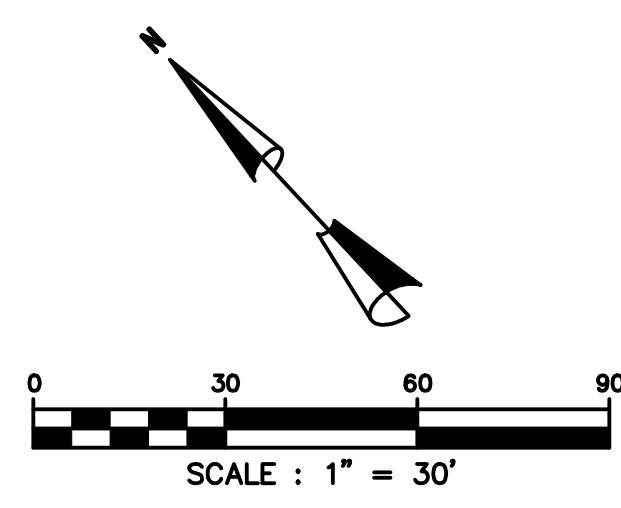
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COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

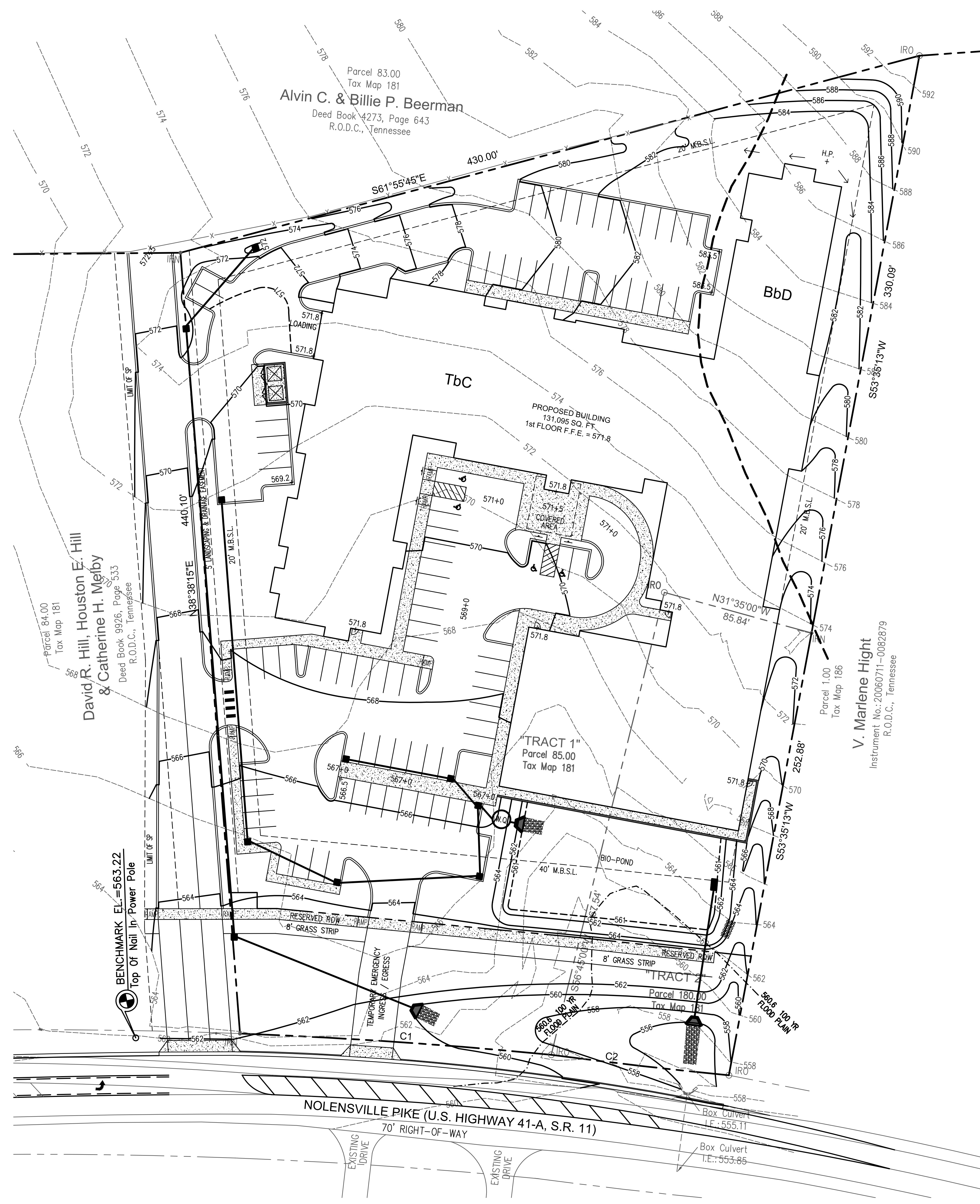
PROJECT NO.	-
DATE	28 JUN 2017
DRAWN BY	NN
CHECKED BY	GMB

EPSC  
PHASE 3

**C-8**

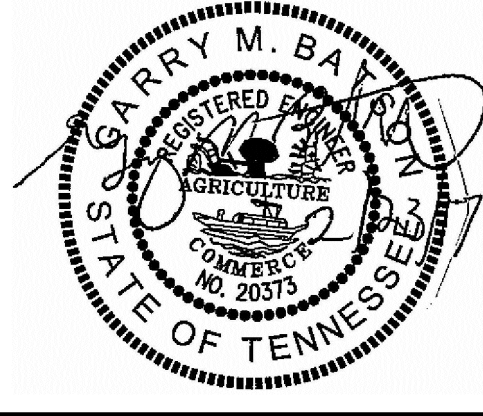
SHEET 9 OF 15





**BATSON & ASSOCIATES**  
Civil Engineering Consultants

5150 REMINGTON DRIVE  
BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX (615) 370-9363



**TRADITIONS**  
**PRELIMINARY**  
**SP PLAN**

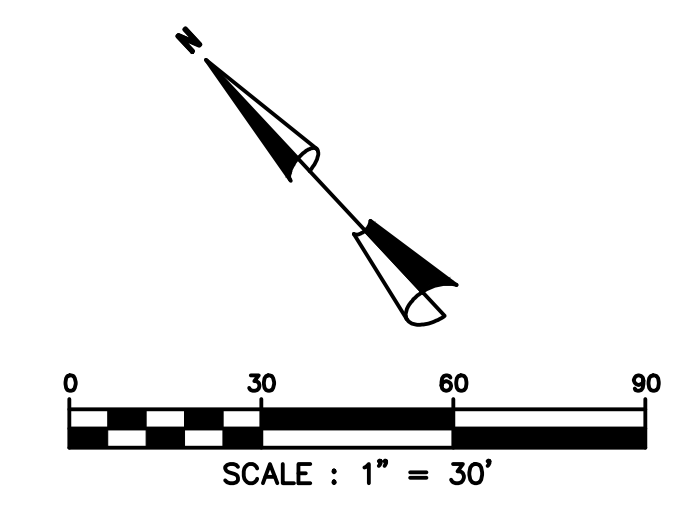
6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO.	-
DATE	28 JUN 2017
DRAWN BY	NN
CHECKED BY	GMB

**SITE**  
**SOILS MAP**

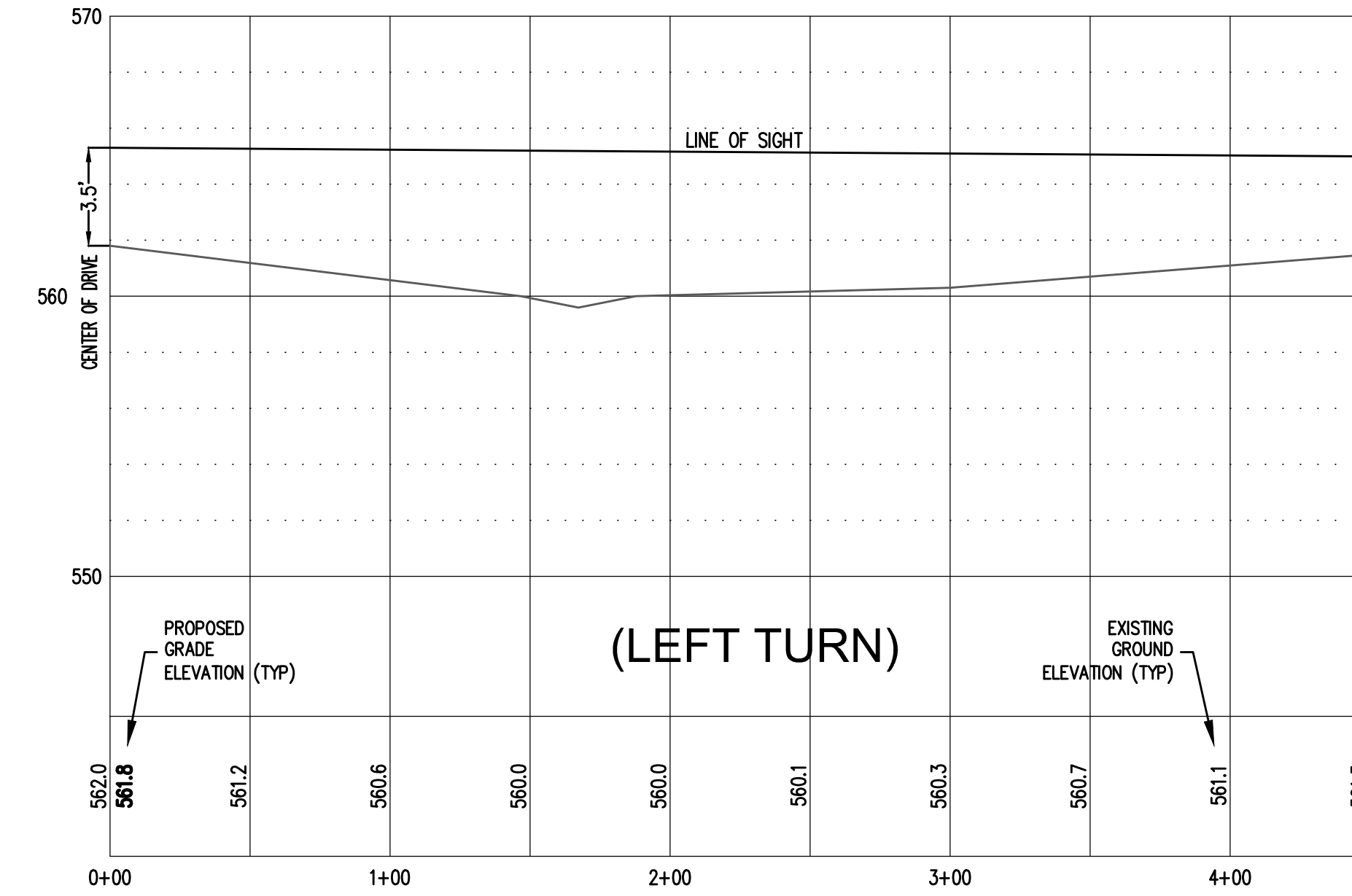
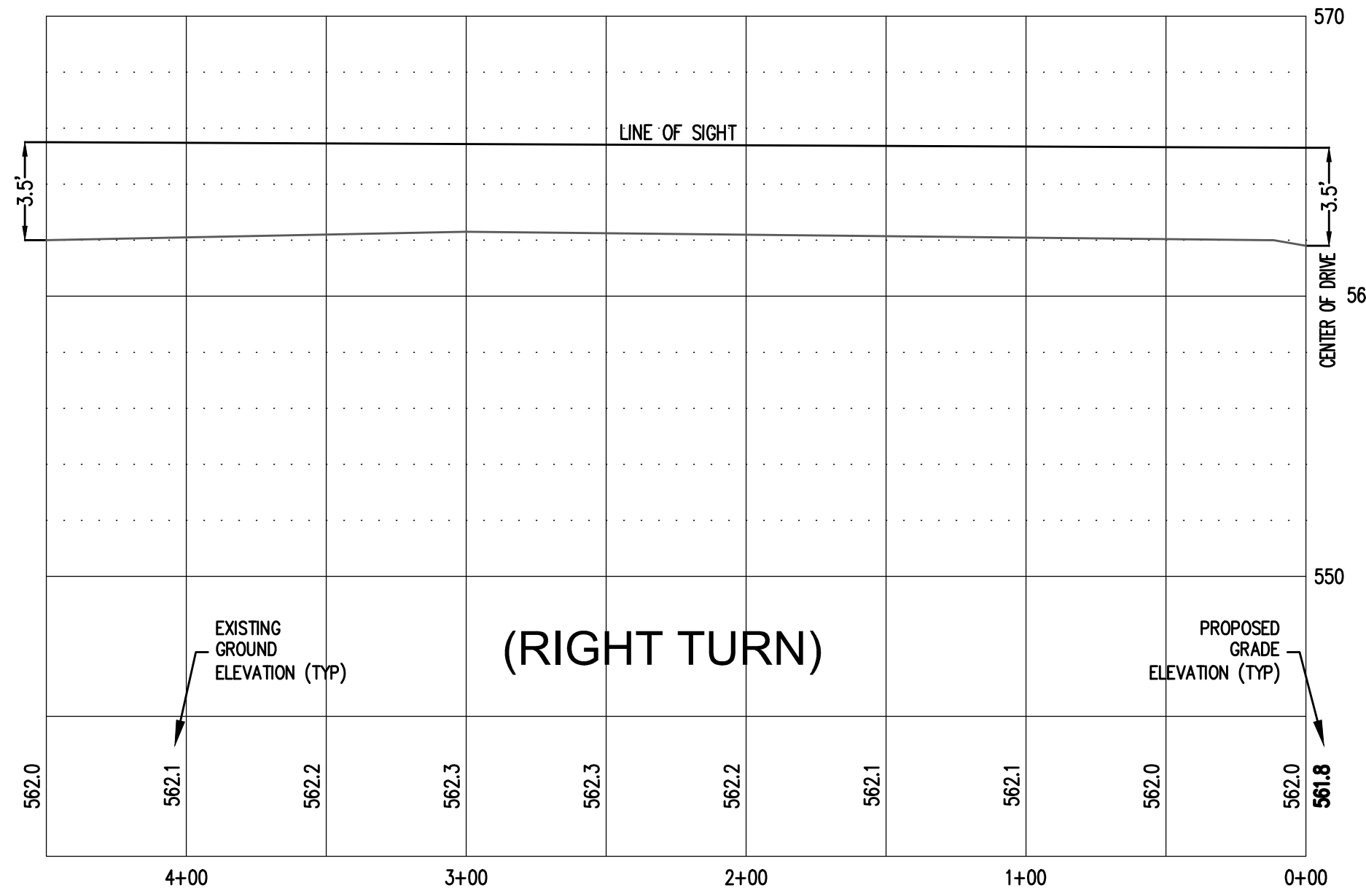
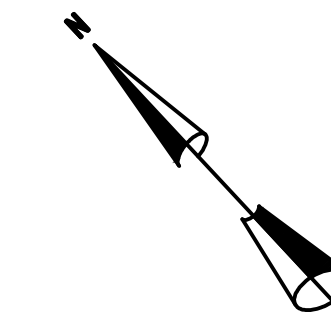
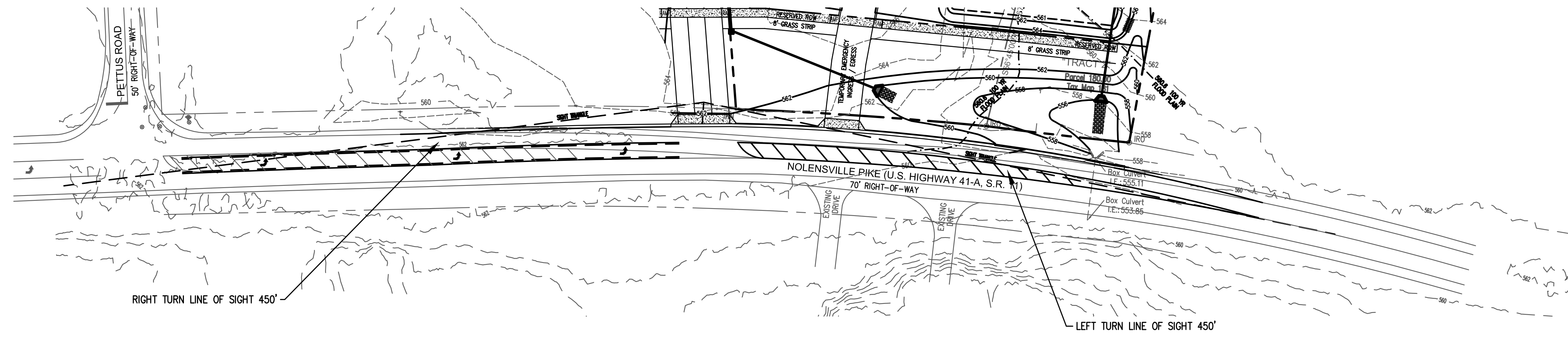
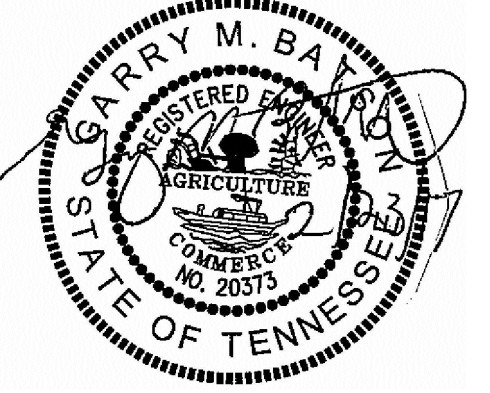


**C-8A**  
SHEET 10 OF 15

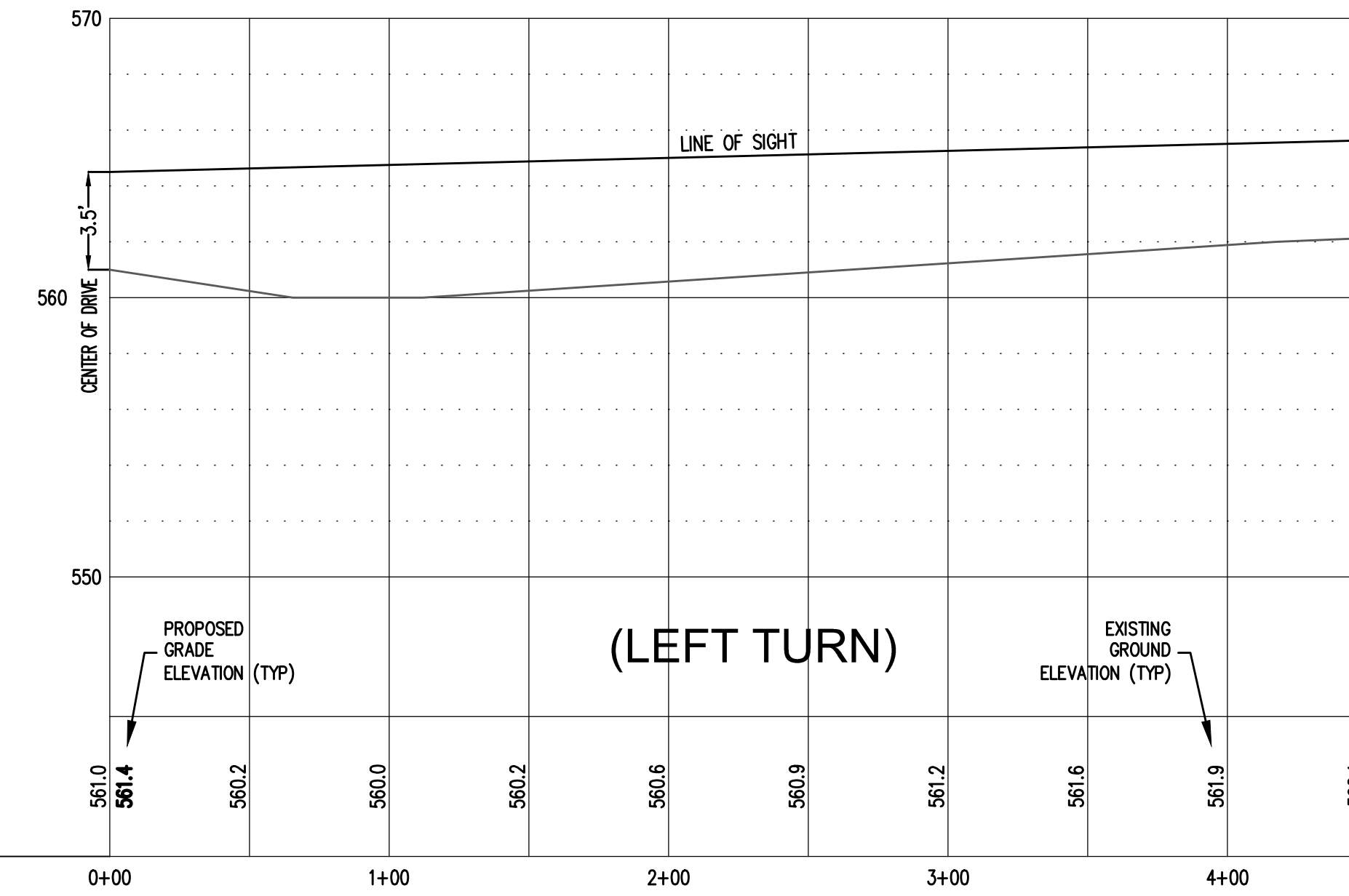
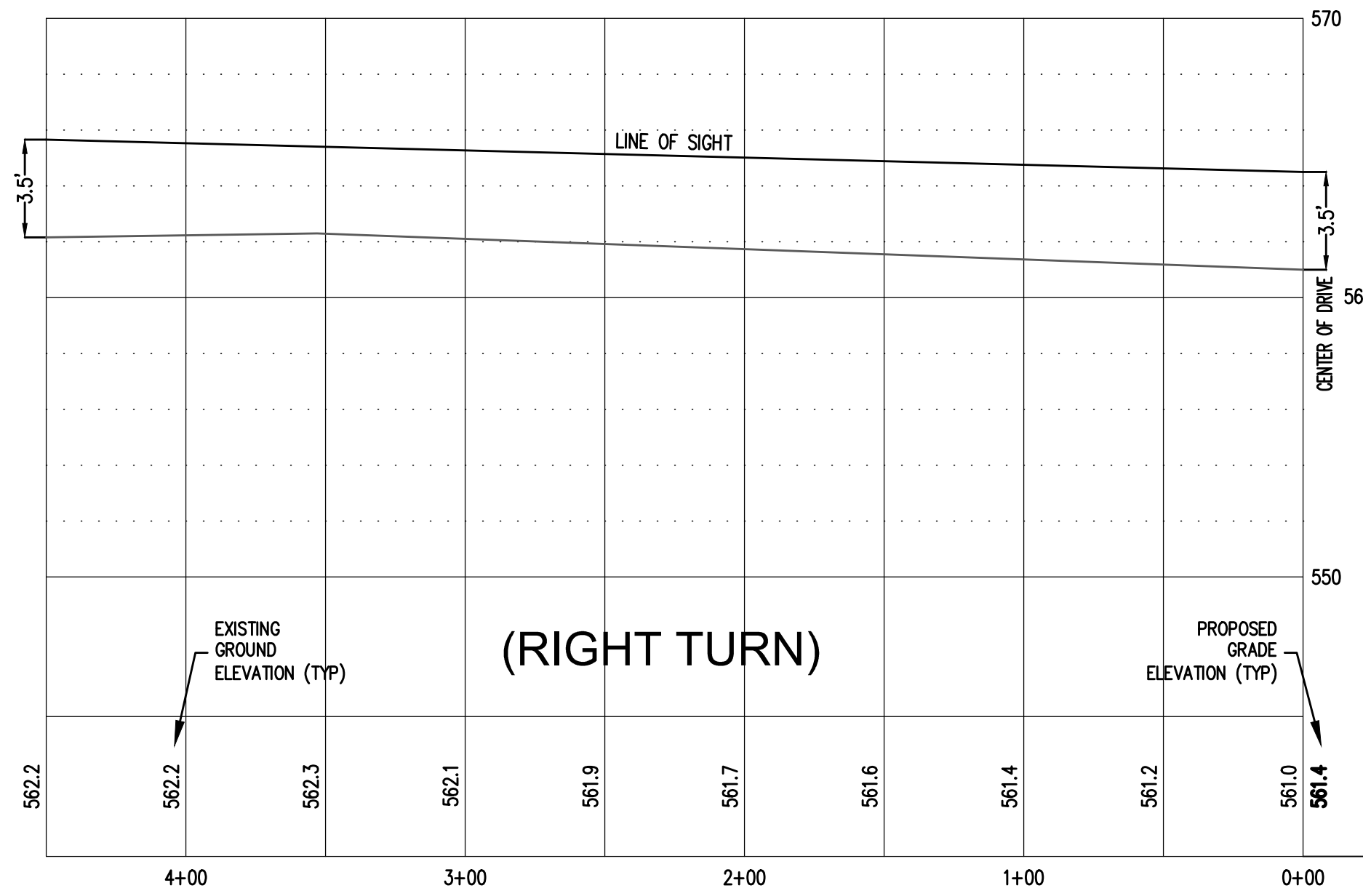
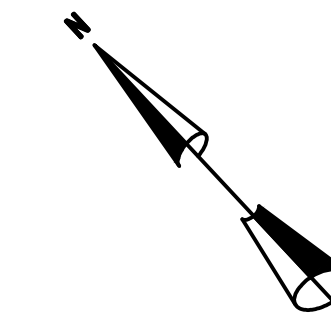
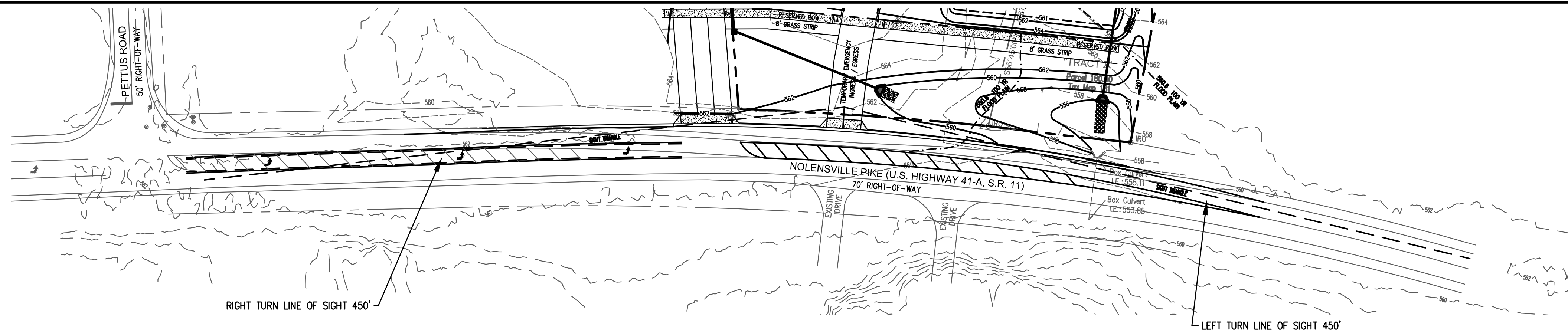


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(615) 424-4840 • FAX (615) 370-9363



SCALE:  
PLAN: 1"=50'  
PROFILE:  
1"=50' HORIZONTALLY  
1"=5' VERTICALLY



**TRADITIONS**  
PRELIMINARY  
SP PLAN

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

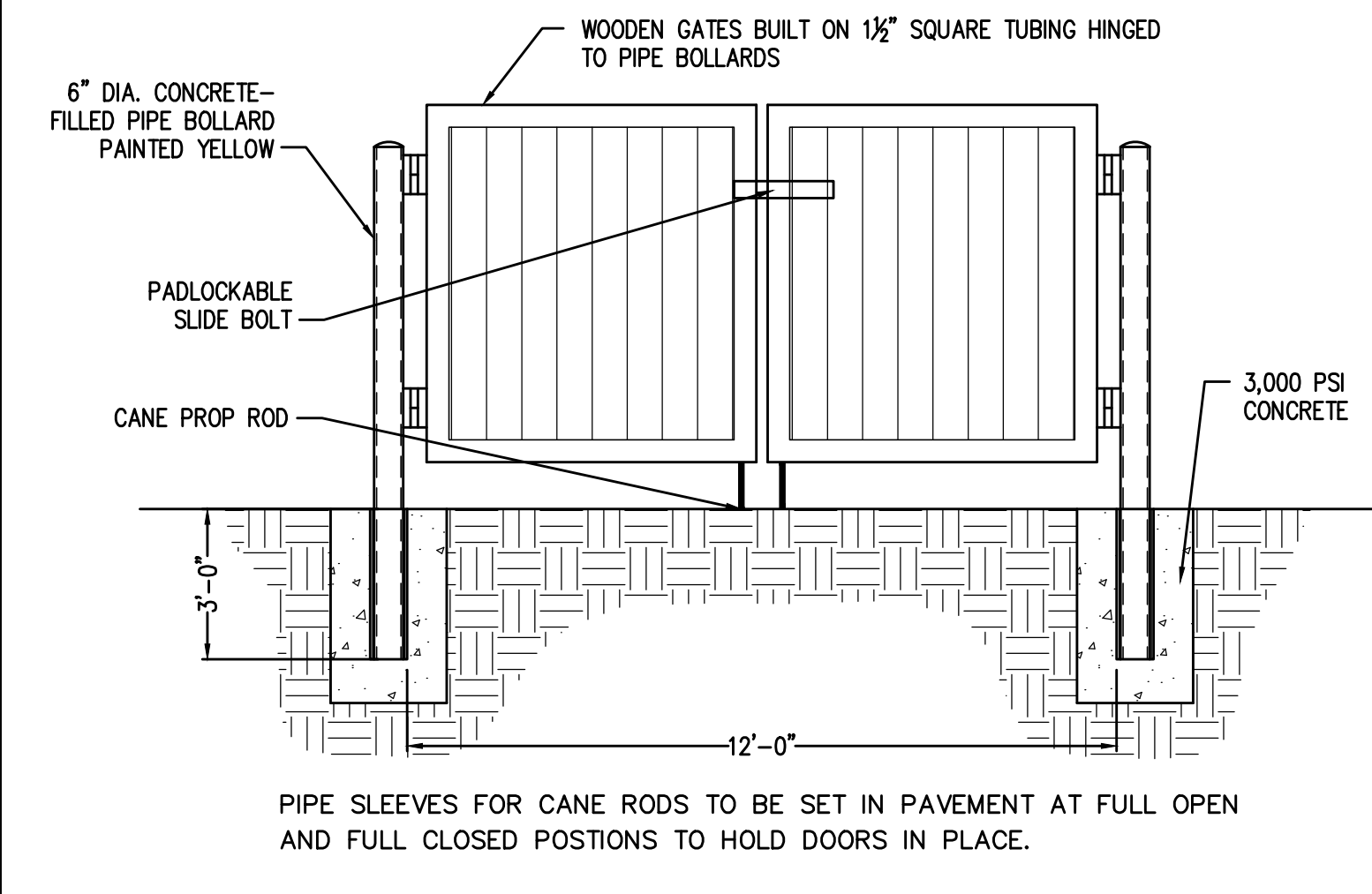
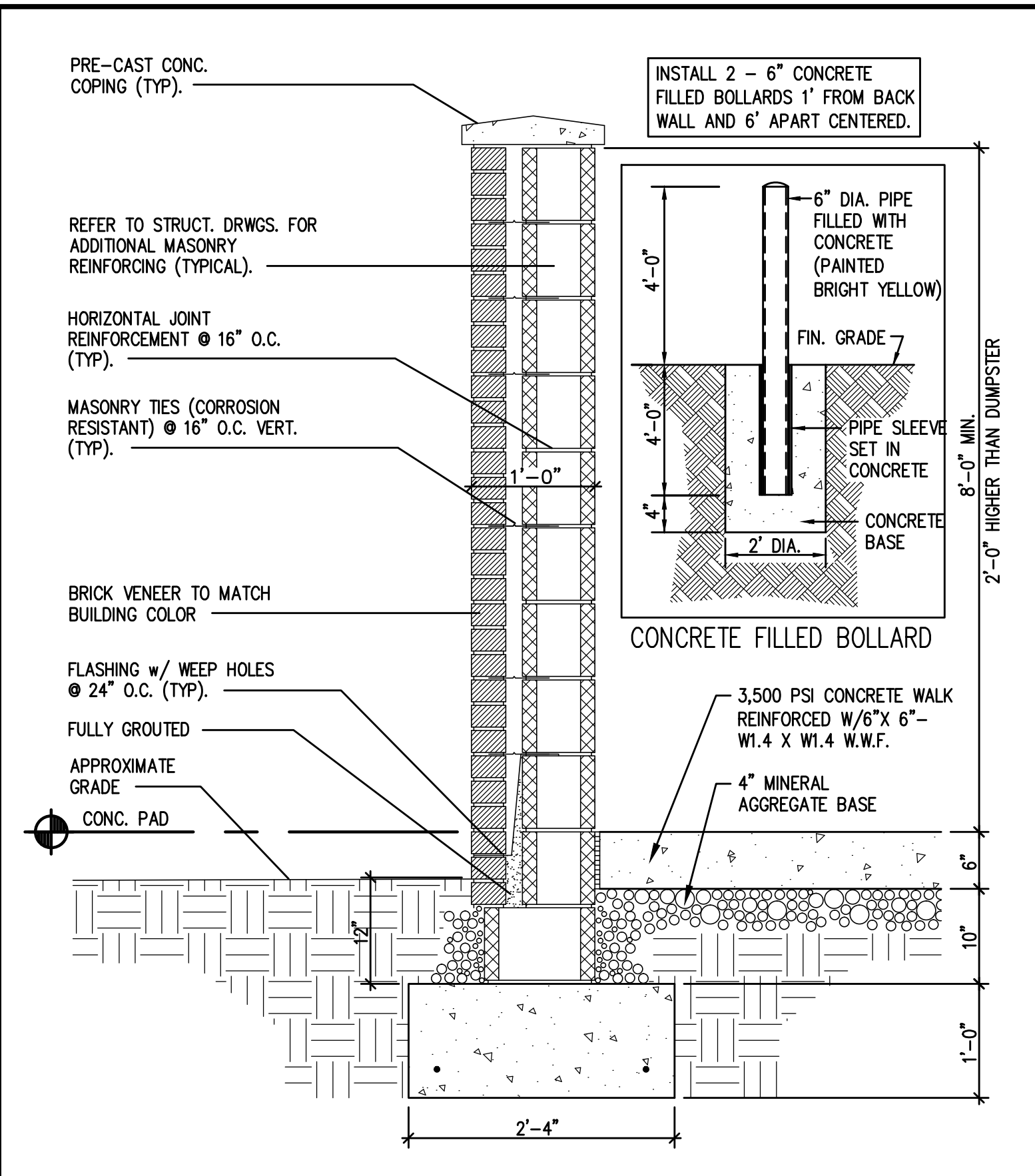
CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

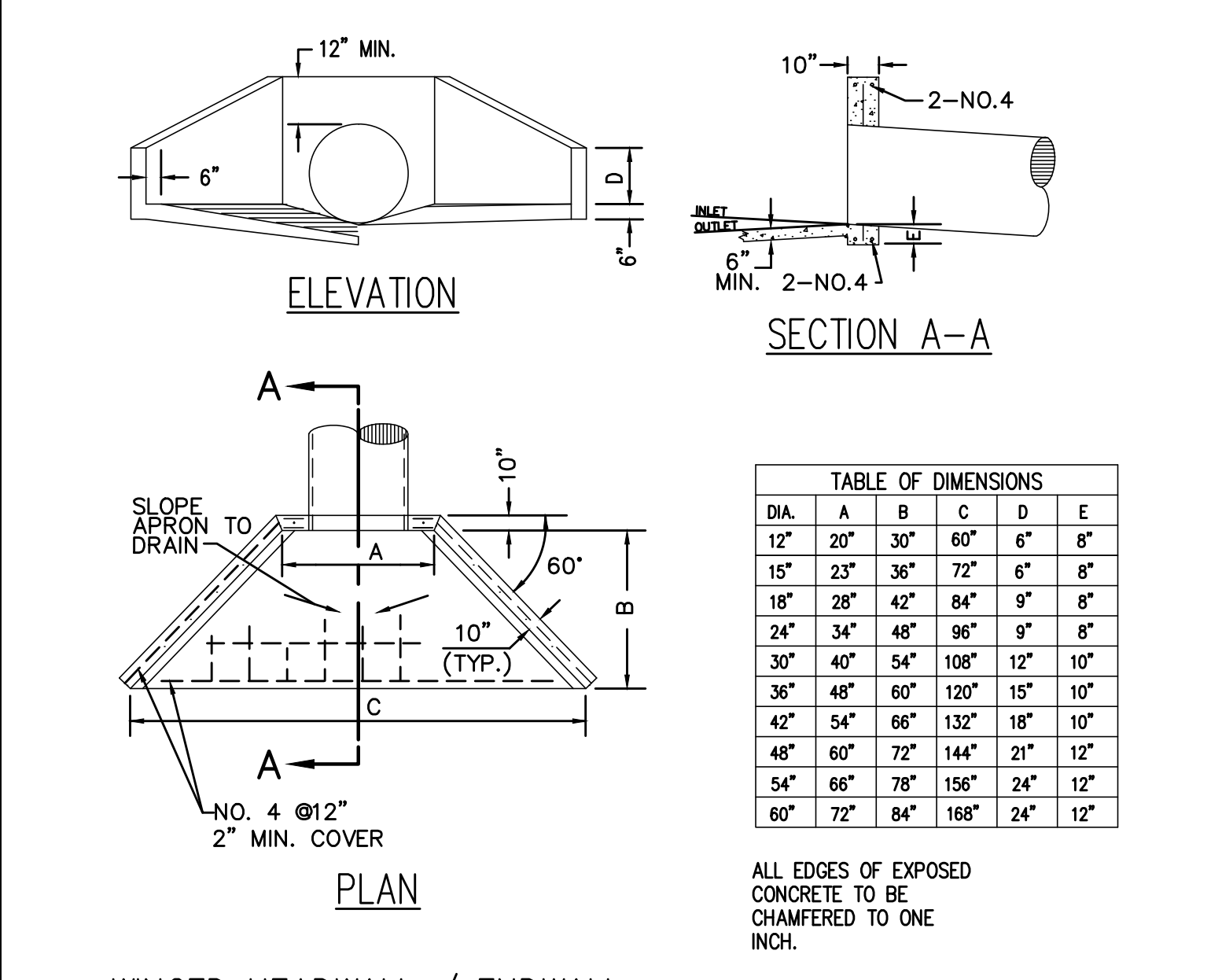
PROJECT NO. -  
DATE 28 JUN 2017  
DRAWN BY NN  
CHECKED BY GMB

**SIGHT TRIANGLE  
PROFILE PLAN**

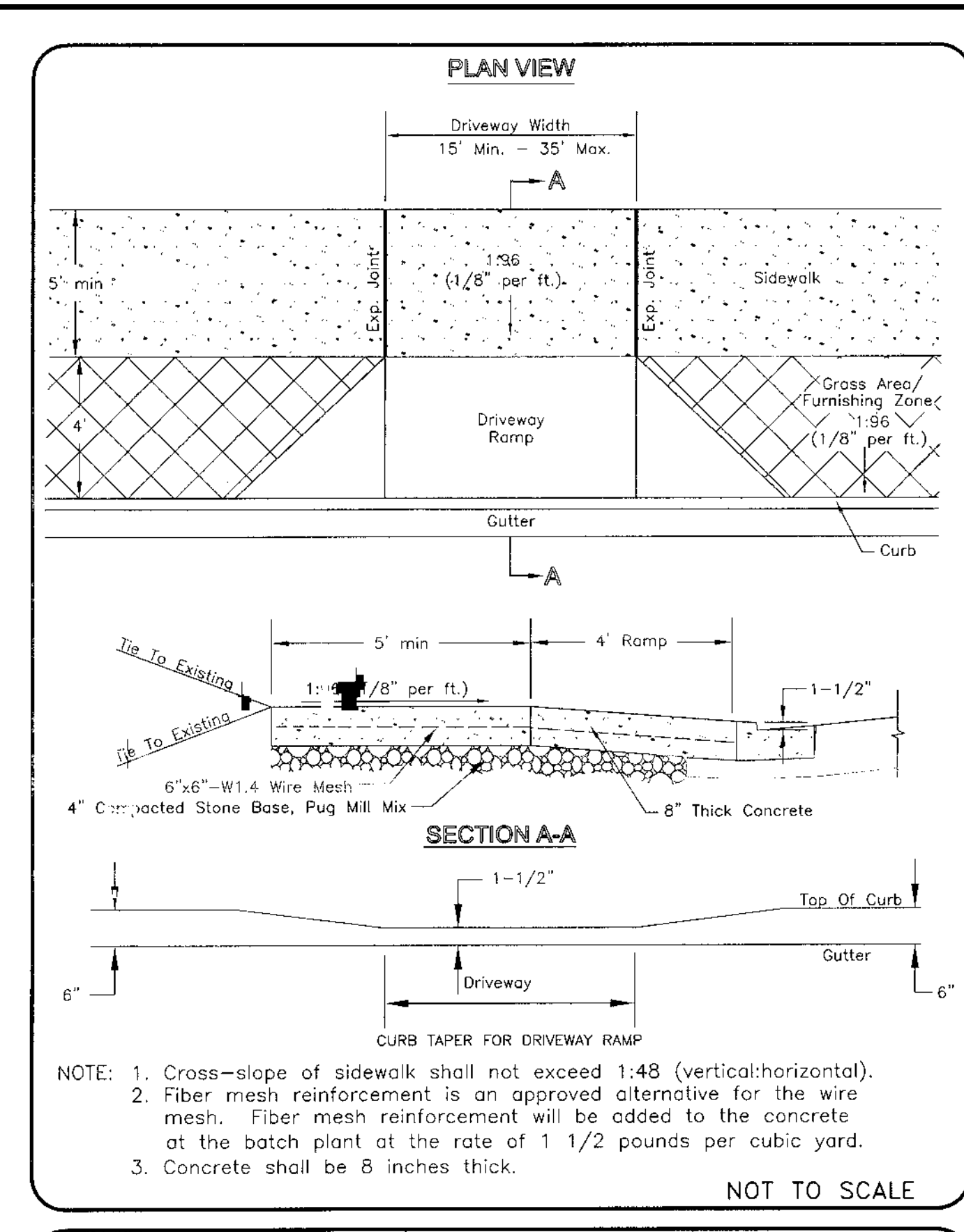
**C-9**



**11 SCREEN WALL AND WOODEN GATES**  
NOT TO SCALE

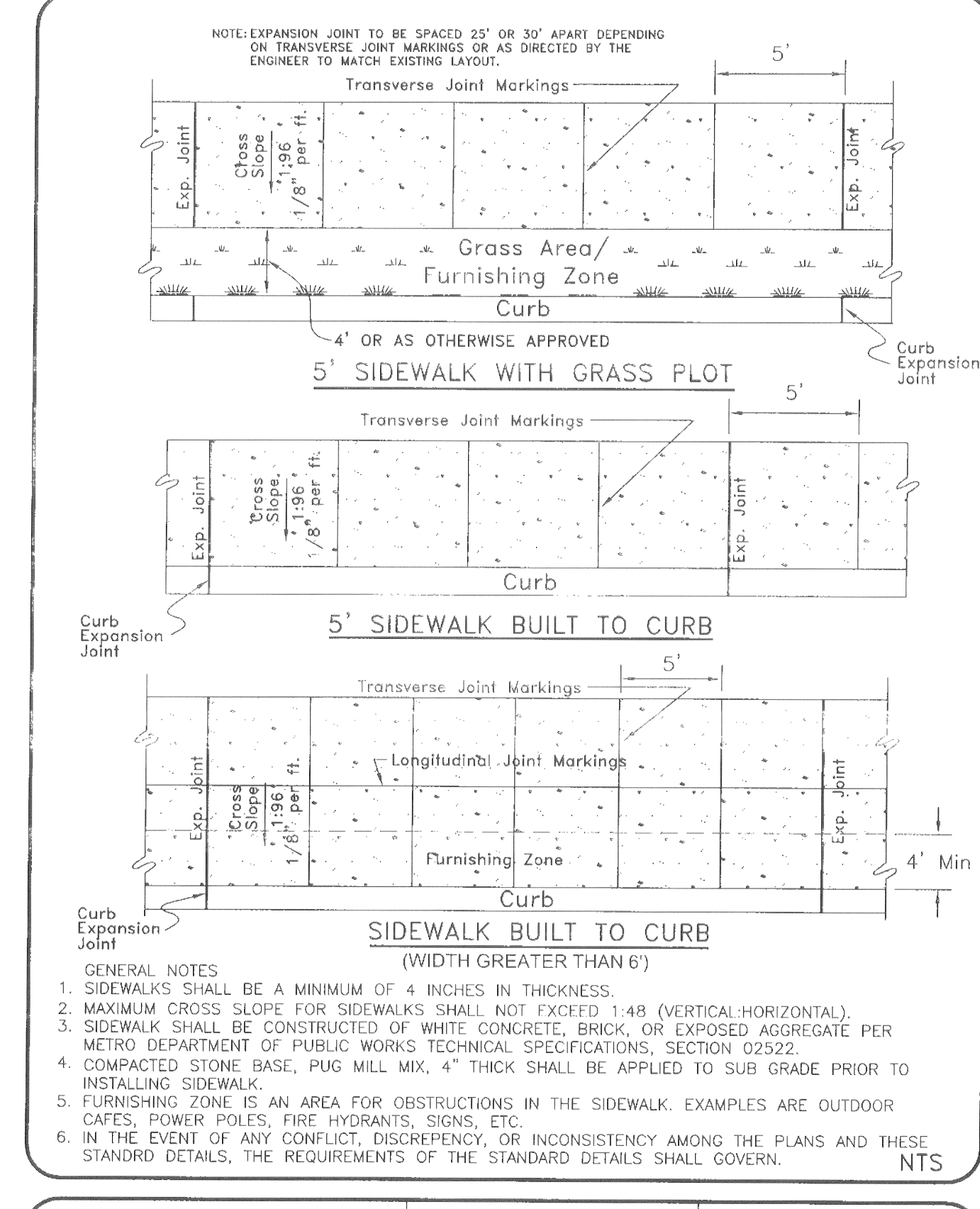


**12 WINGED HEADWALL / ENDWALL**  
NOT TO SCALE



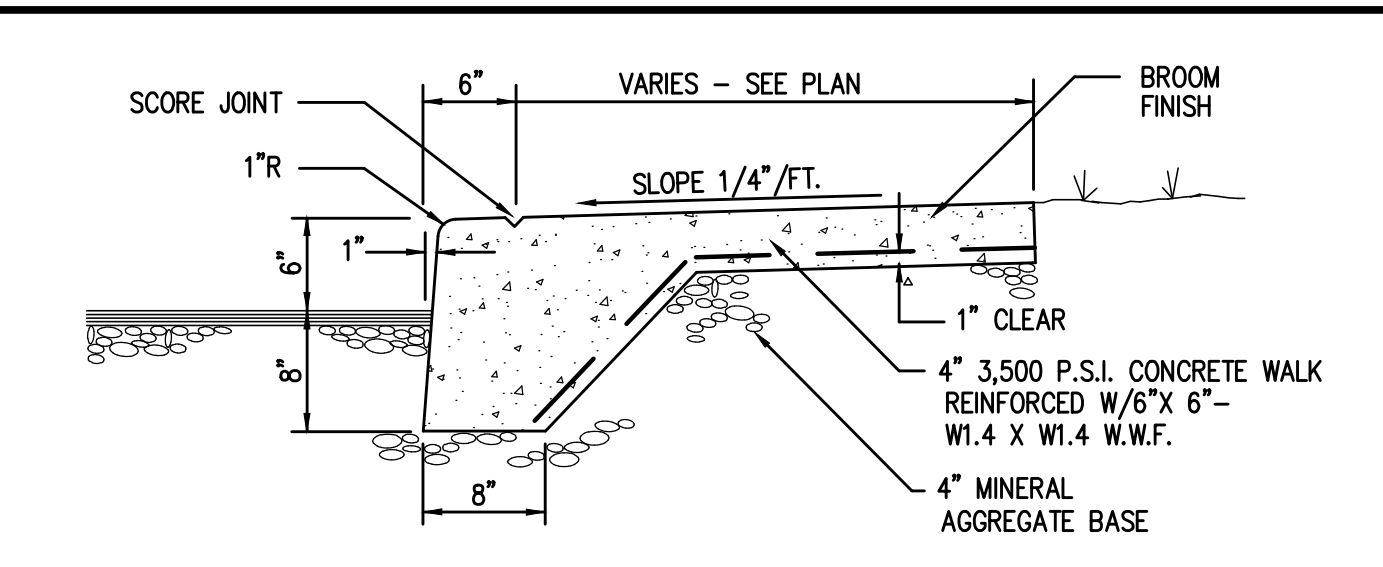
**9 DRIVEWAY RAMP ST-324**  
NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	NEW CONSTRUCTION COMMERCIAL DRIVEWAY RAMP	DWG. NO. ST-324
DIR. OF ENG.:	DATE:	REVISED: 07/27/02 REVISED: 05/08/03

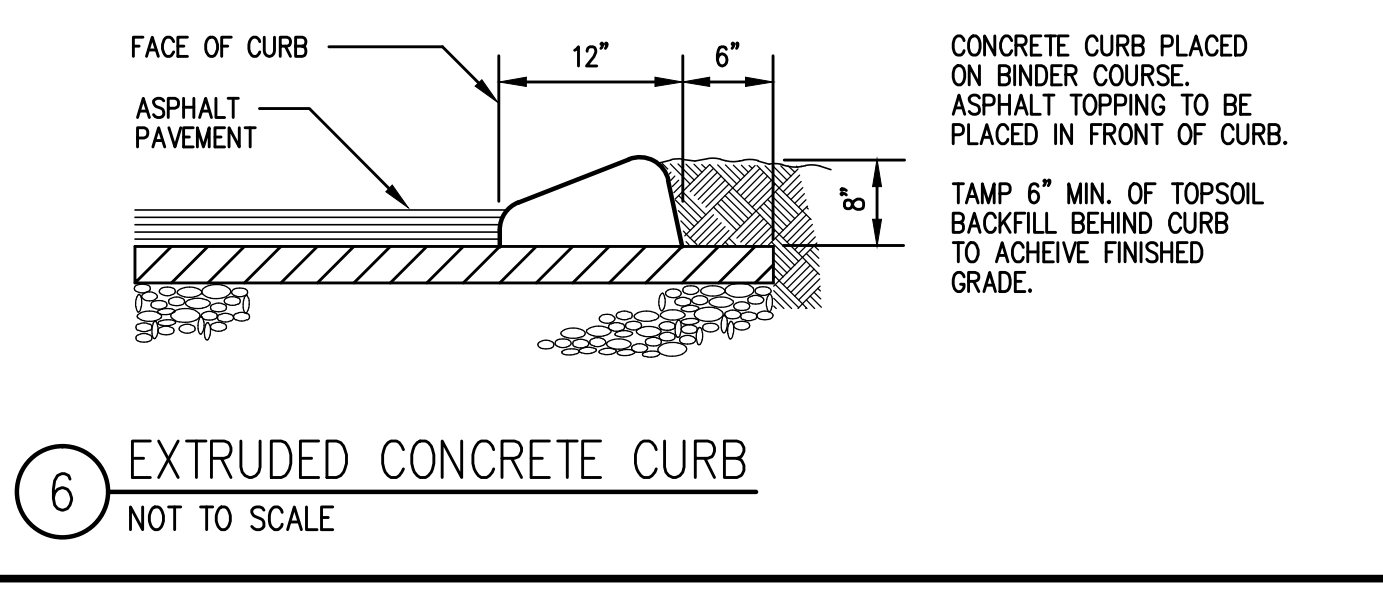


METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SIDEWALK CONSTRUCTION	DWG. NO. ST-210
DIR. OF ENG.:	DATE:	REVISED: 05/02/03 REVISED: 11/24/03 REVISED: 06/23/04

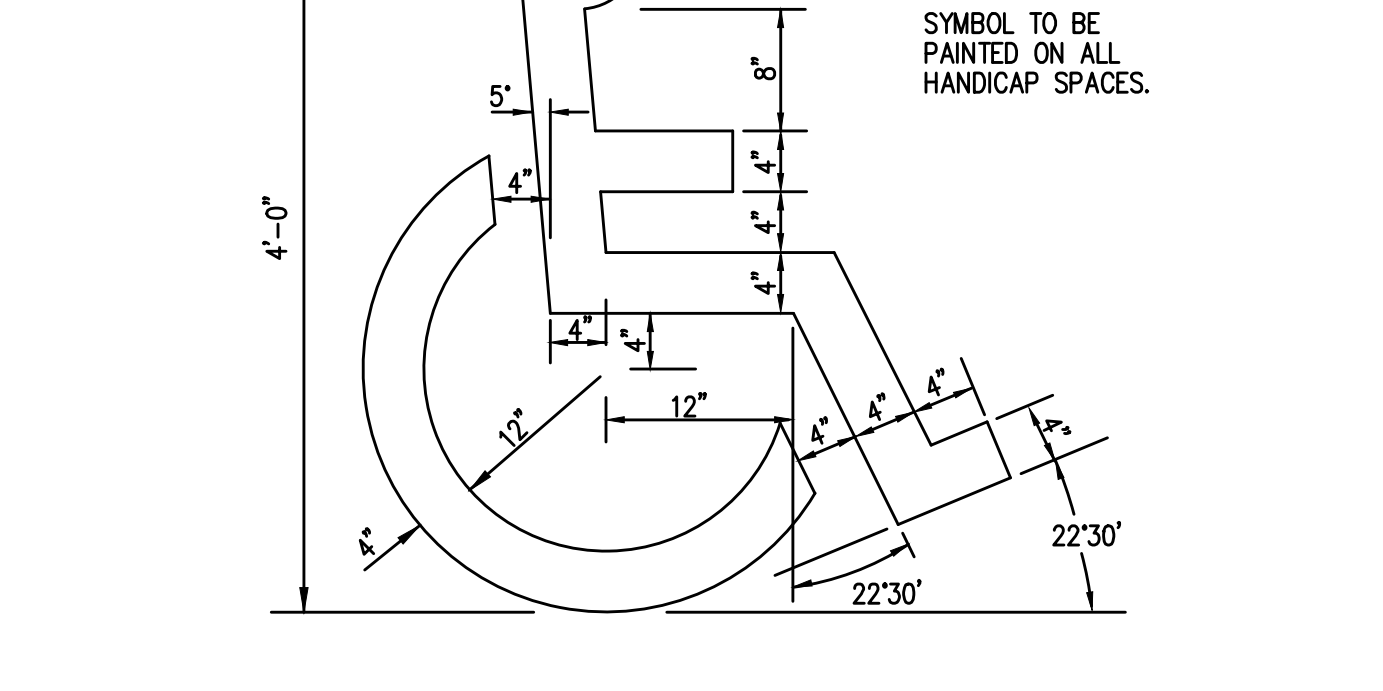
**10 SIDEWALK ST-210**  
NOT TO SCALE



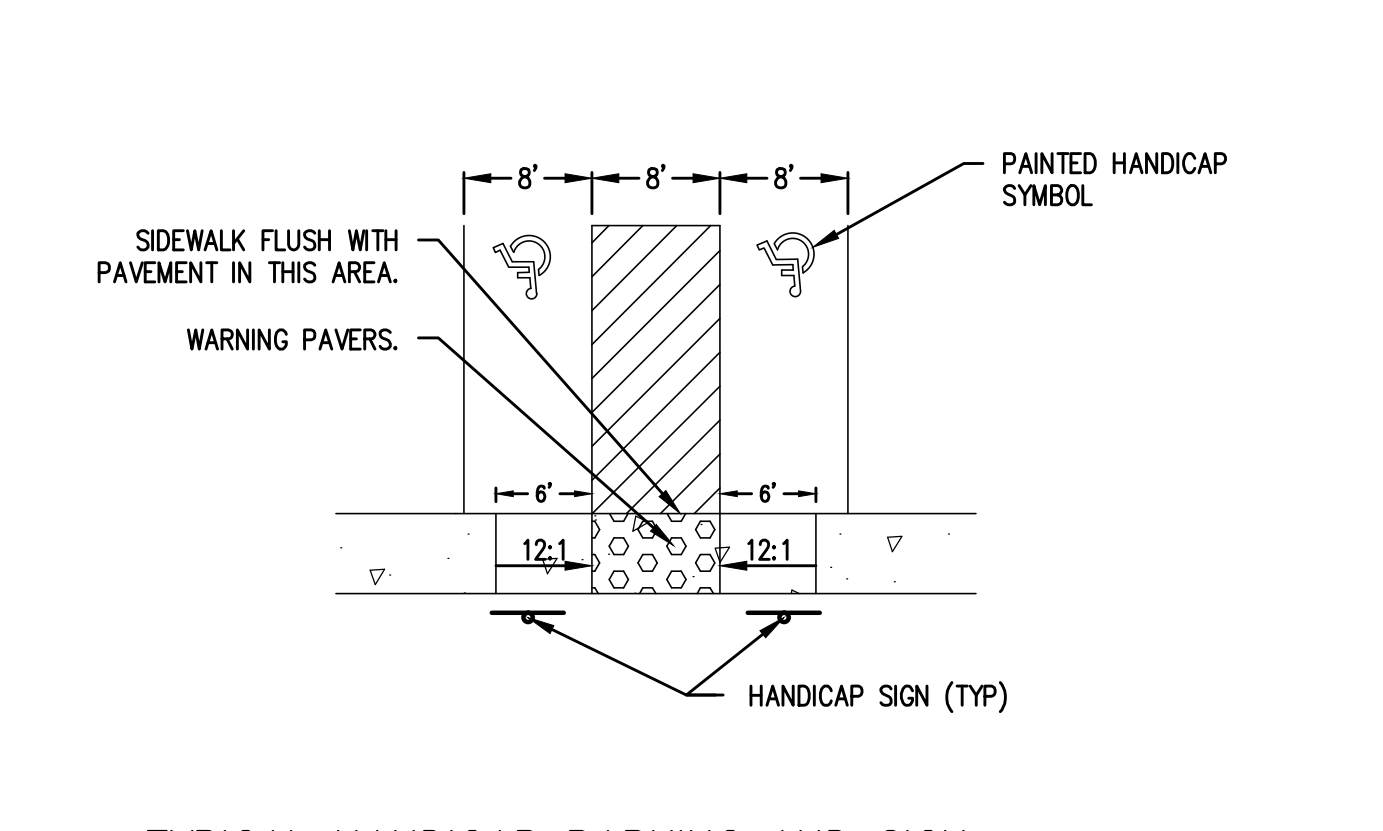
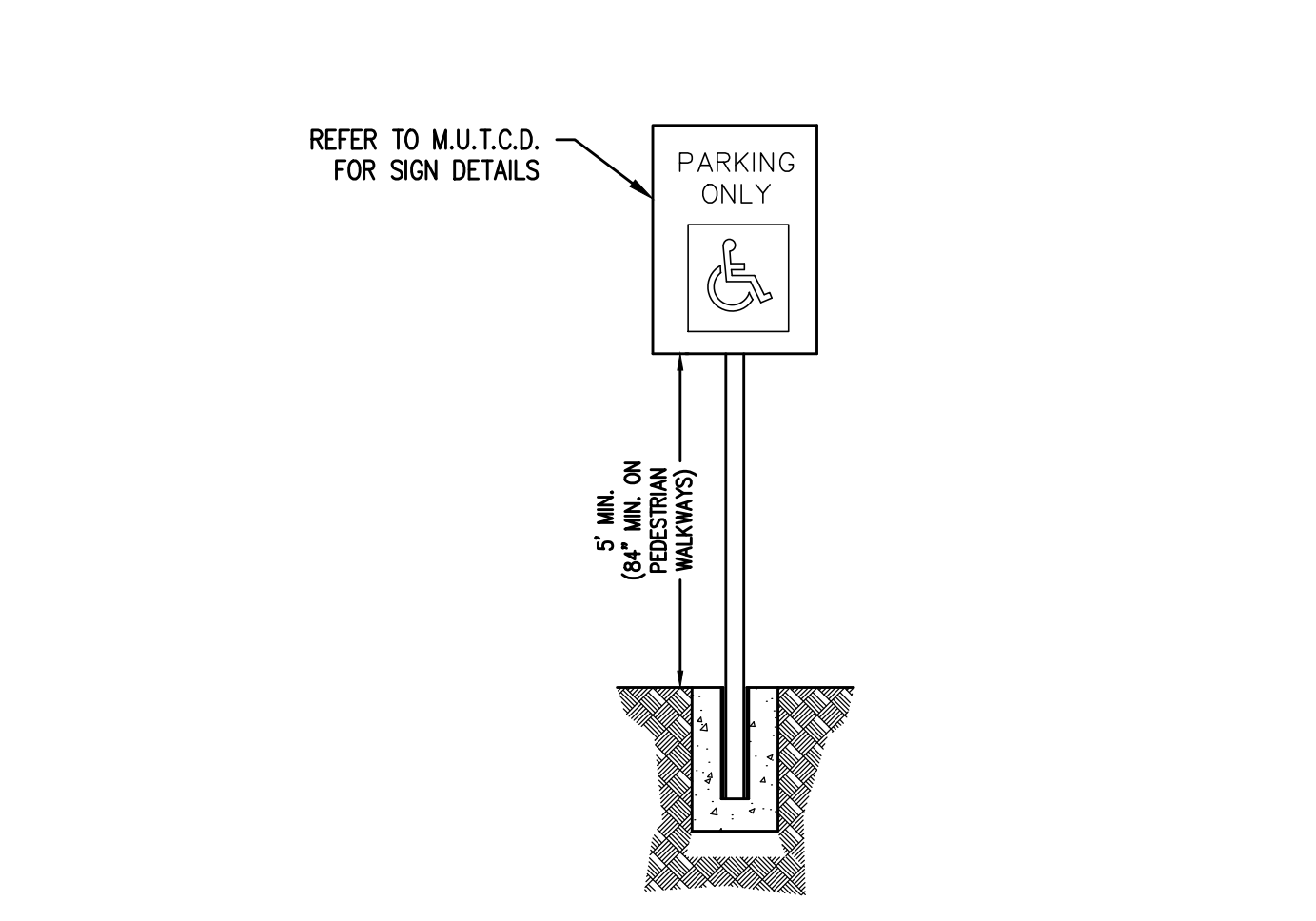
**5 INTEGRAL CURB & CONCRETE SIDEWALK**  
NOT TO SCALE



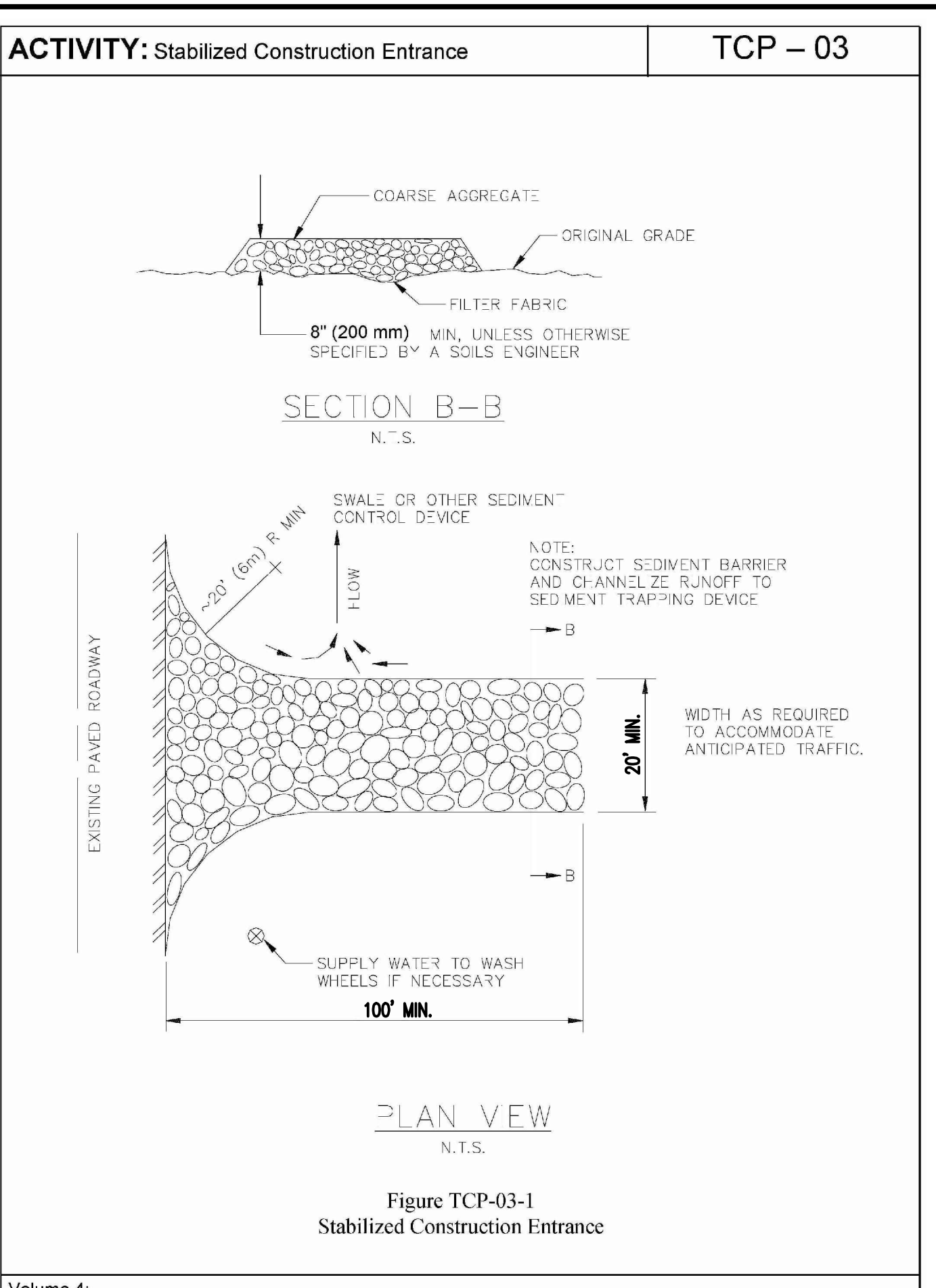
**6 EXTRUDED CONCRETE CURB**  
NOT TO SCALE



**7 HANDICAP SYMBOL**  
NOT TO SCALE

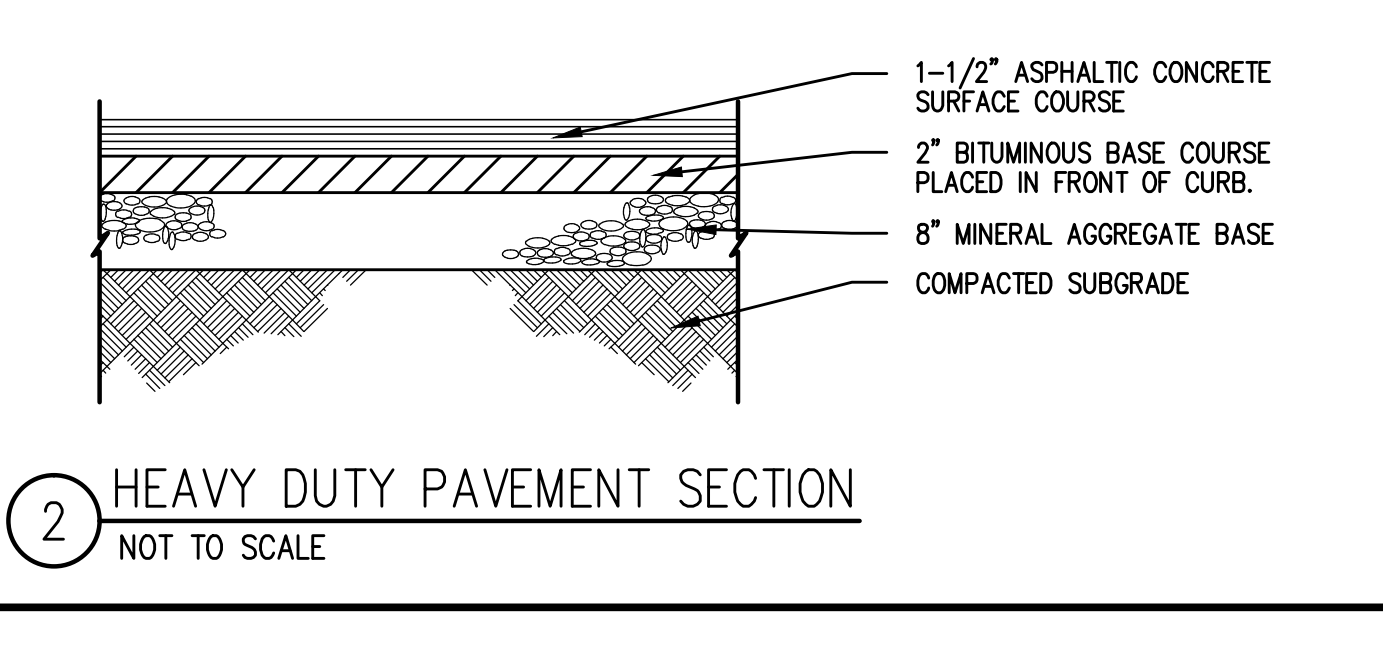


**8 TYPICAL HANDICAP PARKING AND SIGN**  
NOT TO SCALE

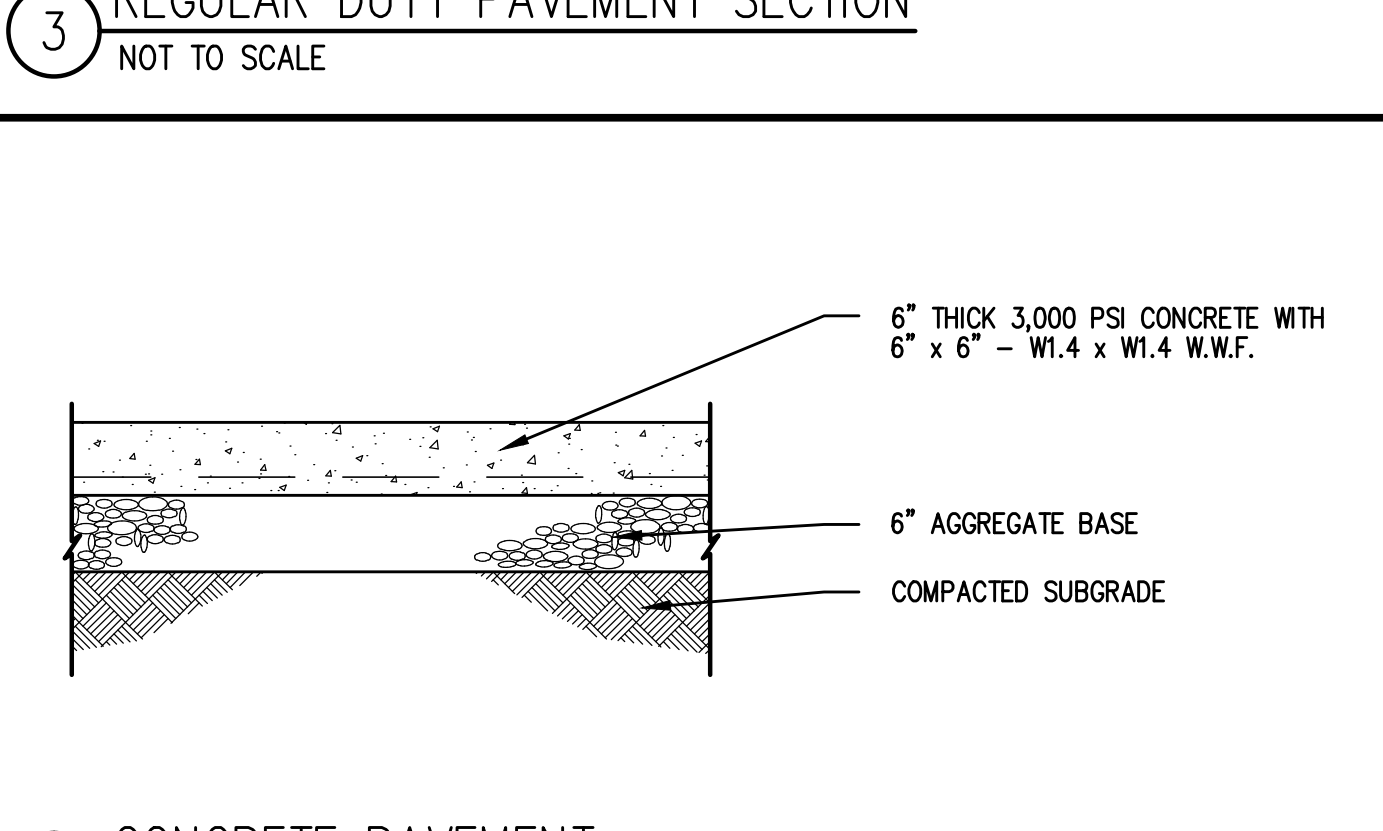


**1 TEMPORARY CONSTRUCTION ACCESS TCP-03**  
NOT TO SCALE

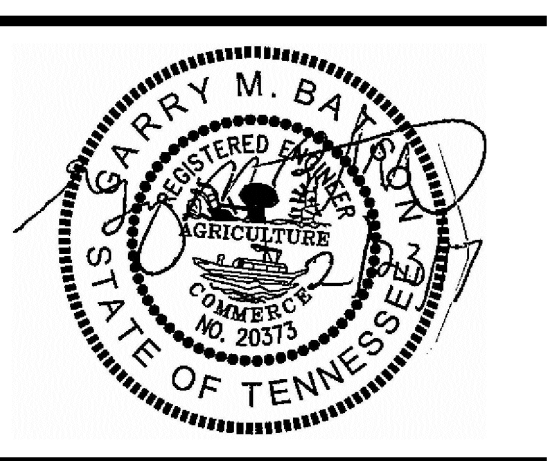
**2 HEAVY DUTY PAVEMENT SECTION**  
NOT TO SCALE



**3 REGULAR DUTY PAVEMENT SECTION**  
NOT TO SCALE



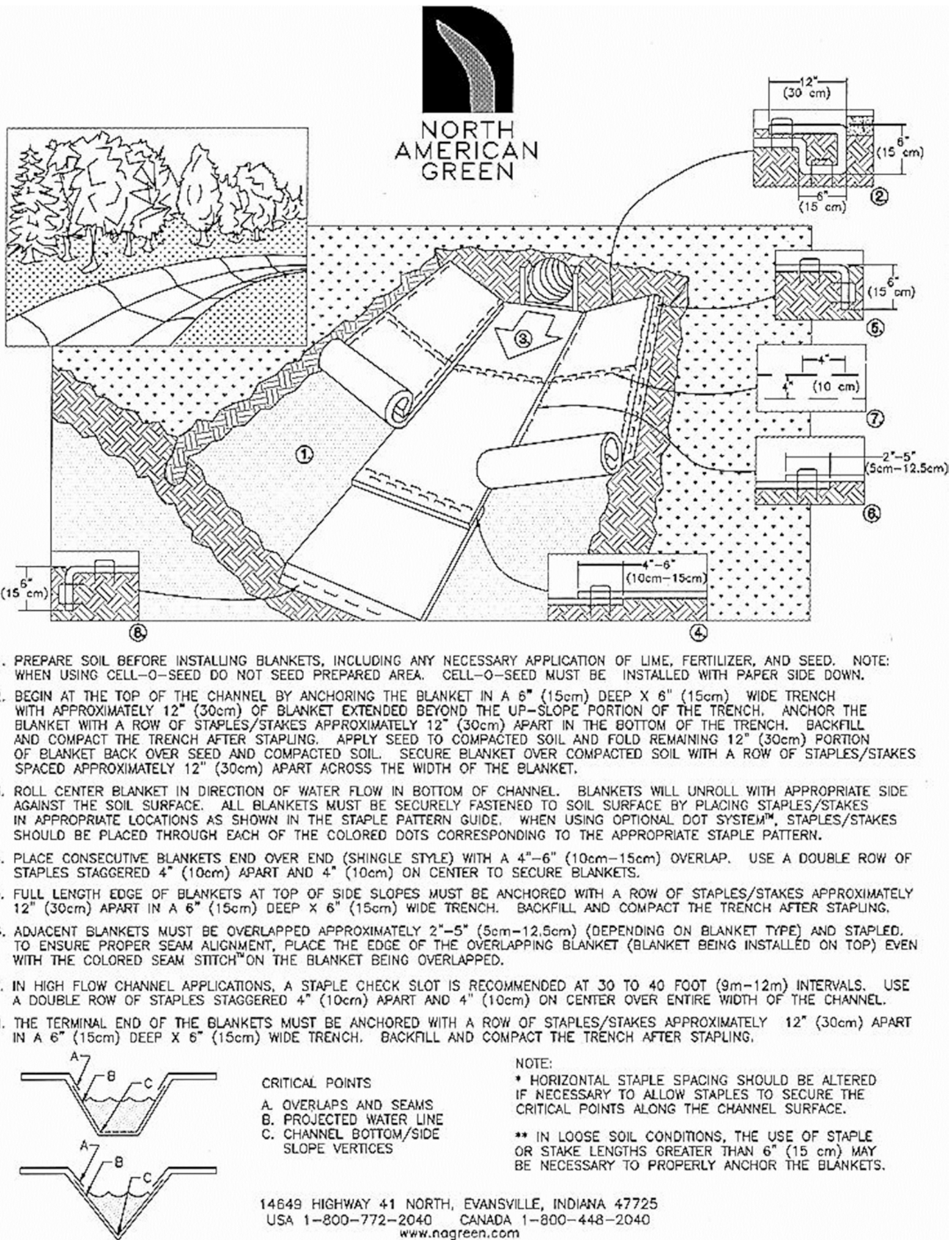
**4 CONCRETE PAVEMENT**  
NOT TO SCALE



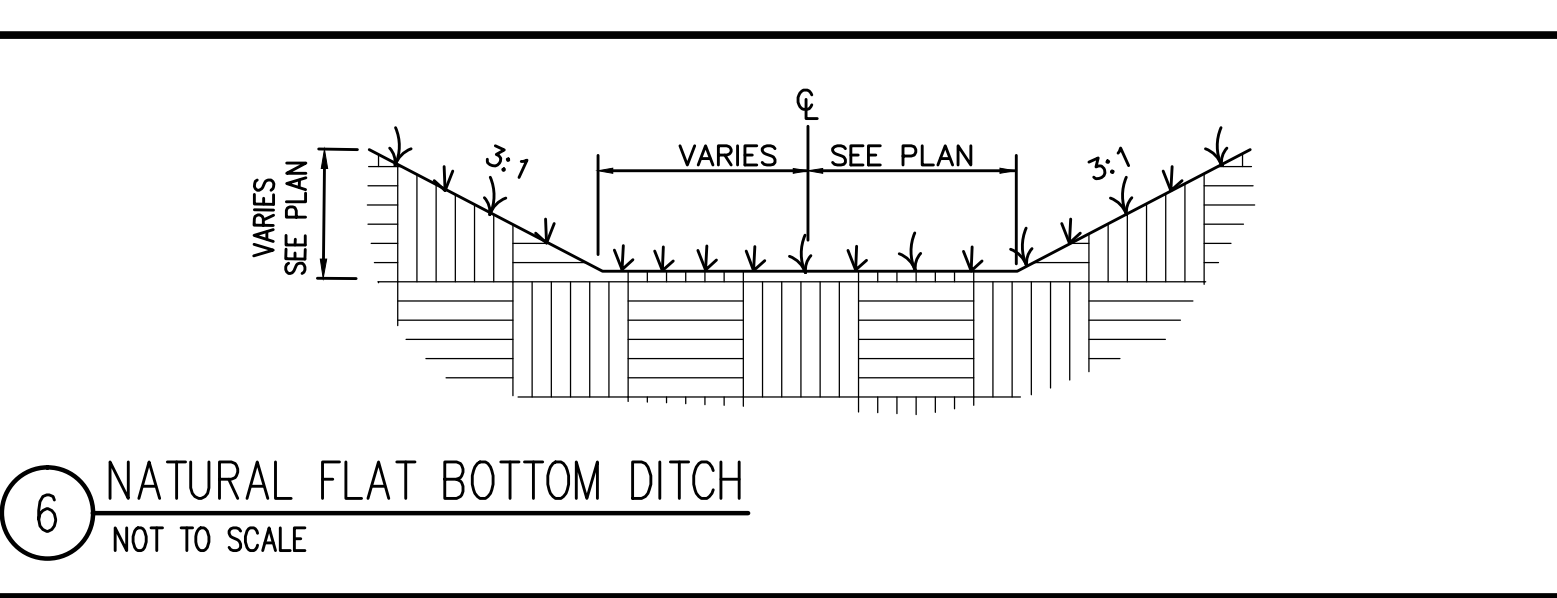
CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

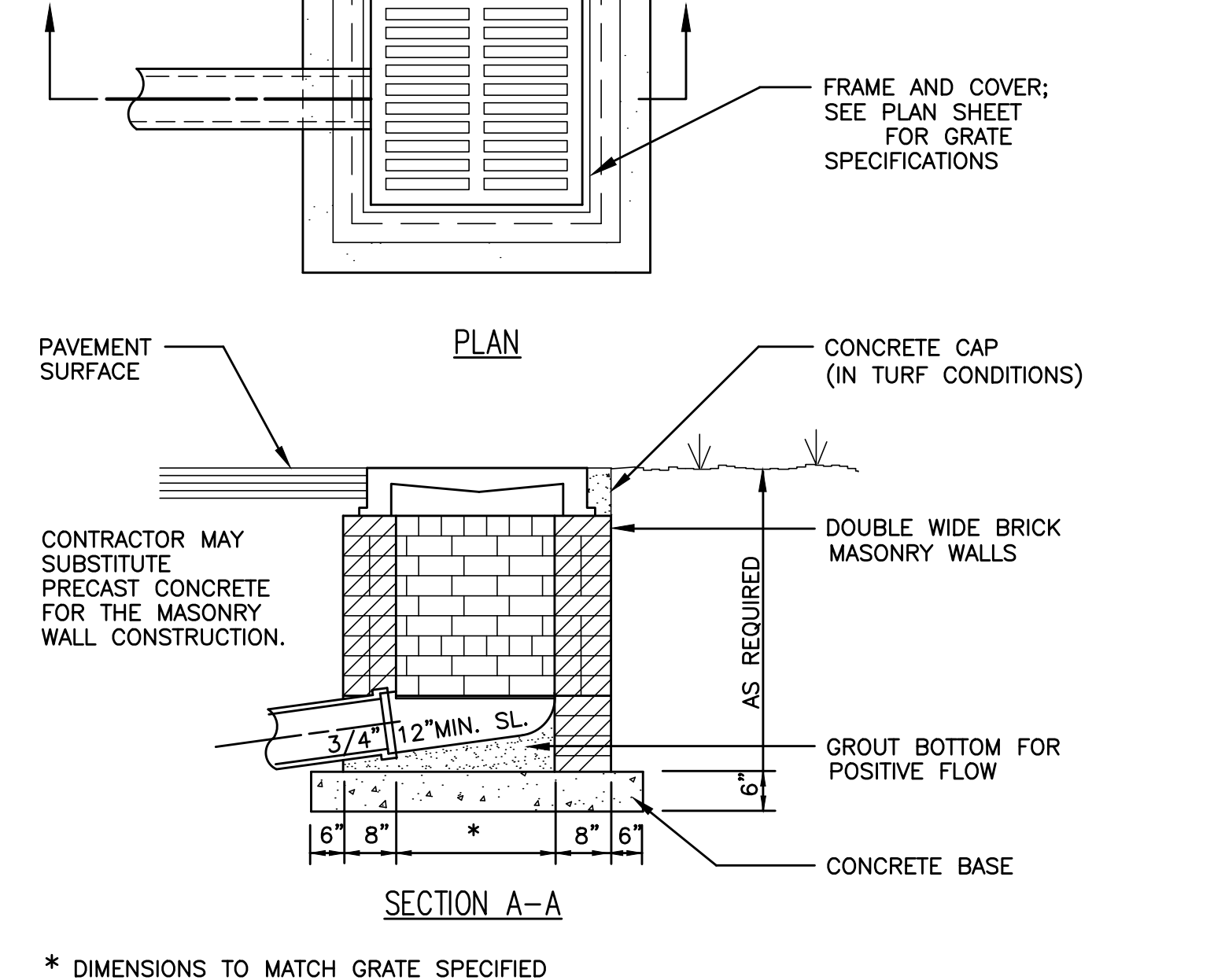
PROJECT NO. -  
DATE 28 JUN 2017  
DRAWN BY NN  
CHECKED BY GMB



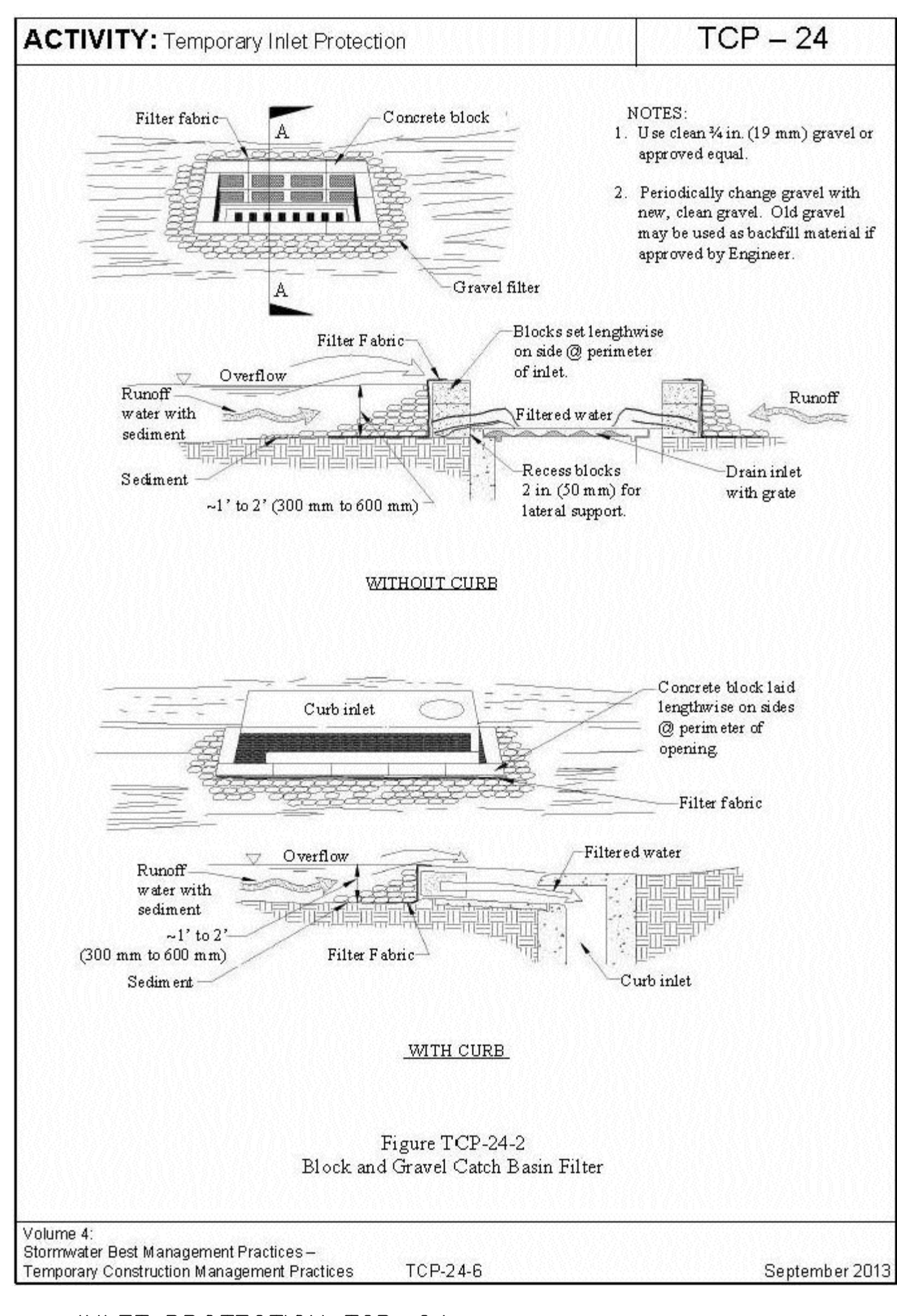
5 NORTH AMERICAN GREEN 350 MATTING  
NOT TO SCALE



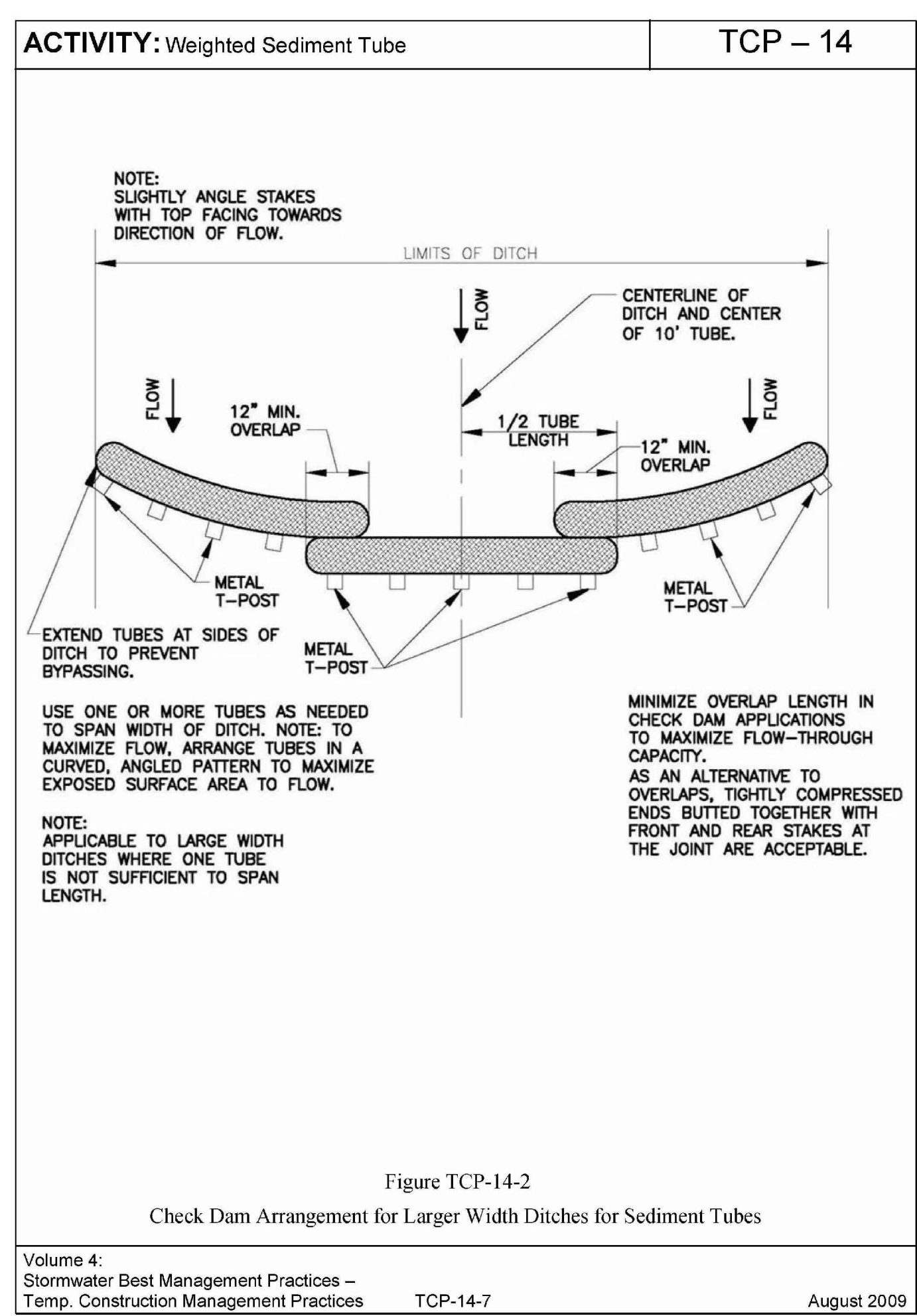
6 NATURAL FLAT BOTTOM DITCH  
NOT TO SCALE



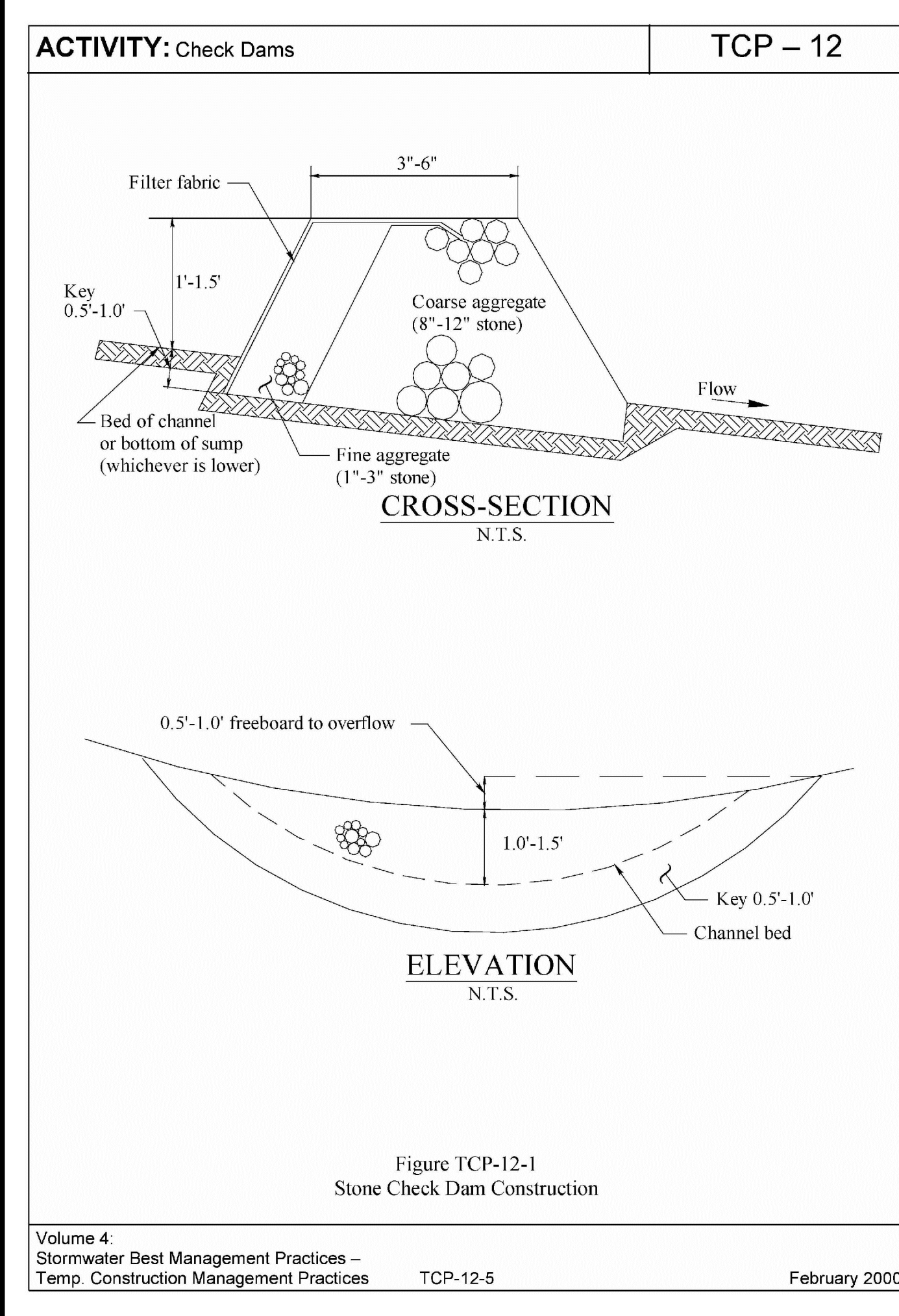
7 AREA DRAIN  
NOT TO SCALE



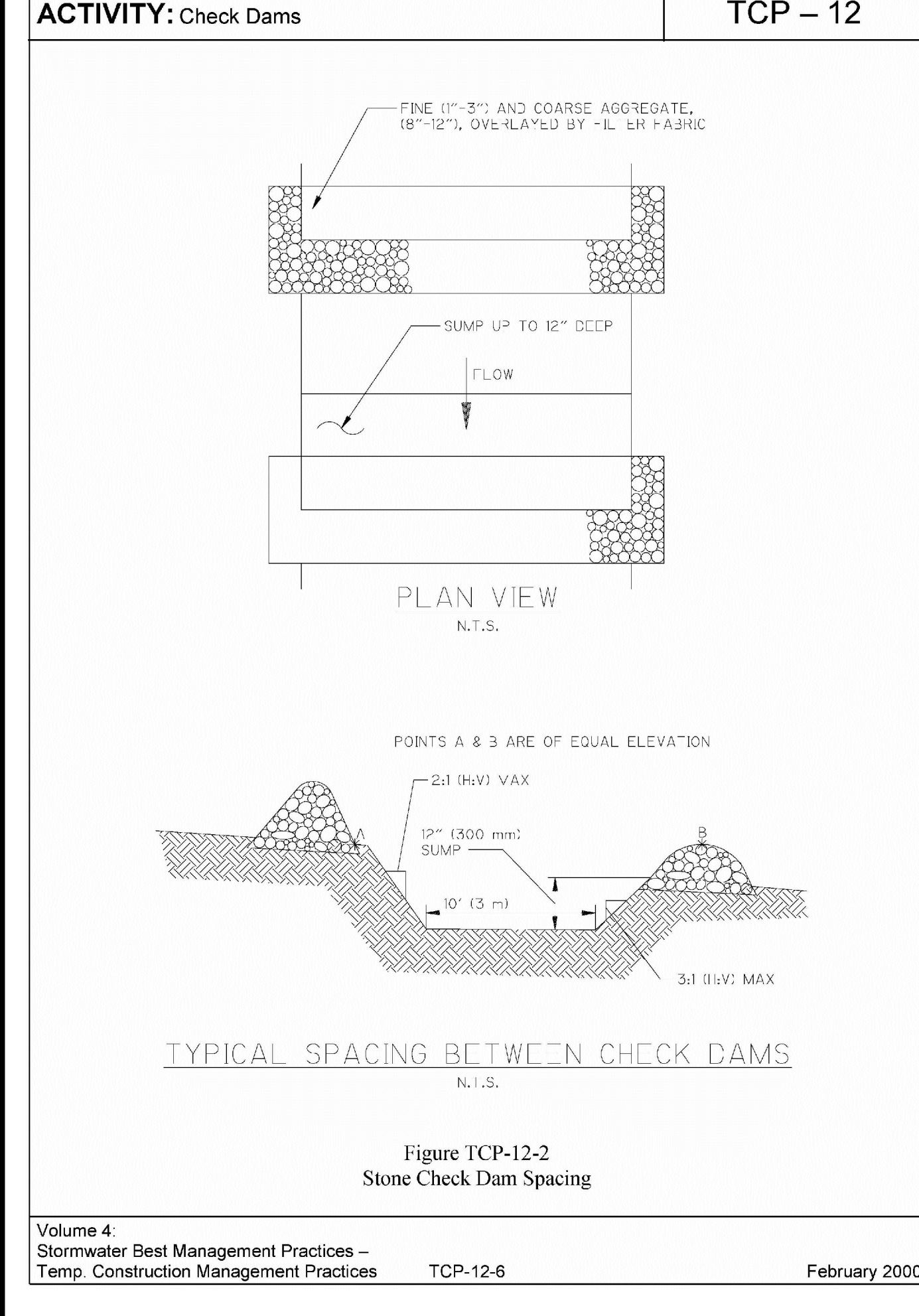
3 INLET PROTECTION TCP-24  
NOT TO SCALE



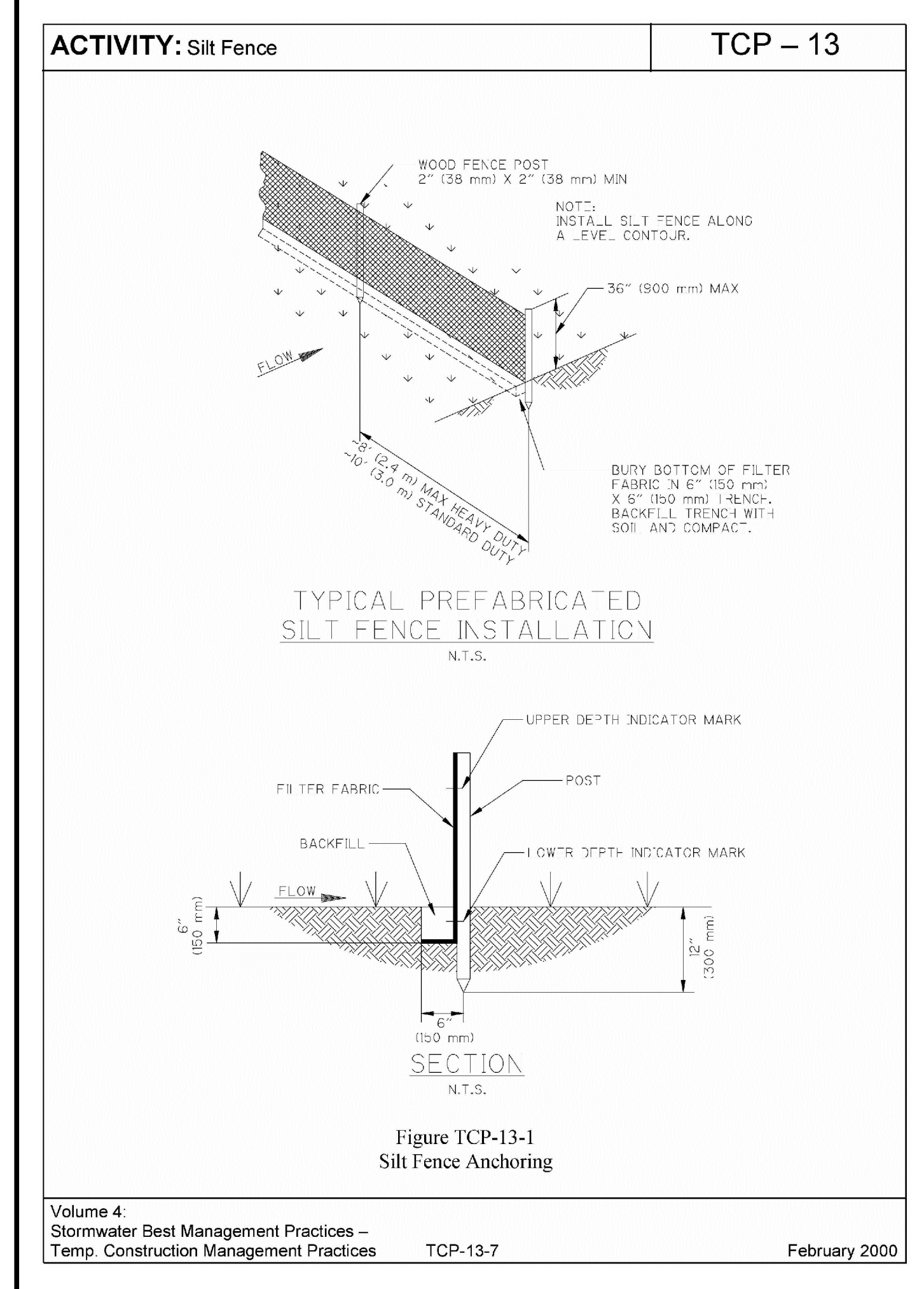
4 SEDIMENT TUBES  
NOT TO SCALE



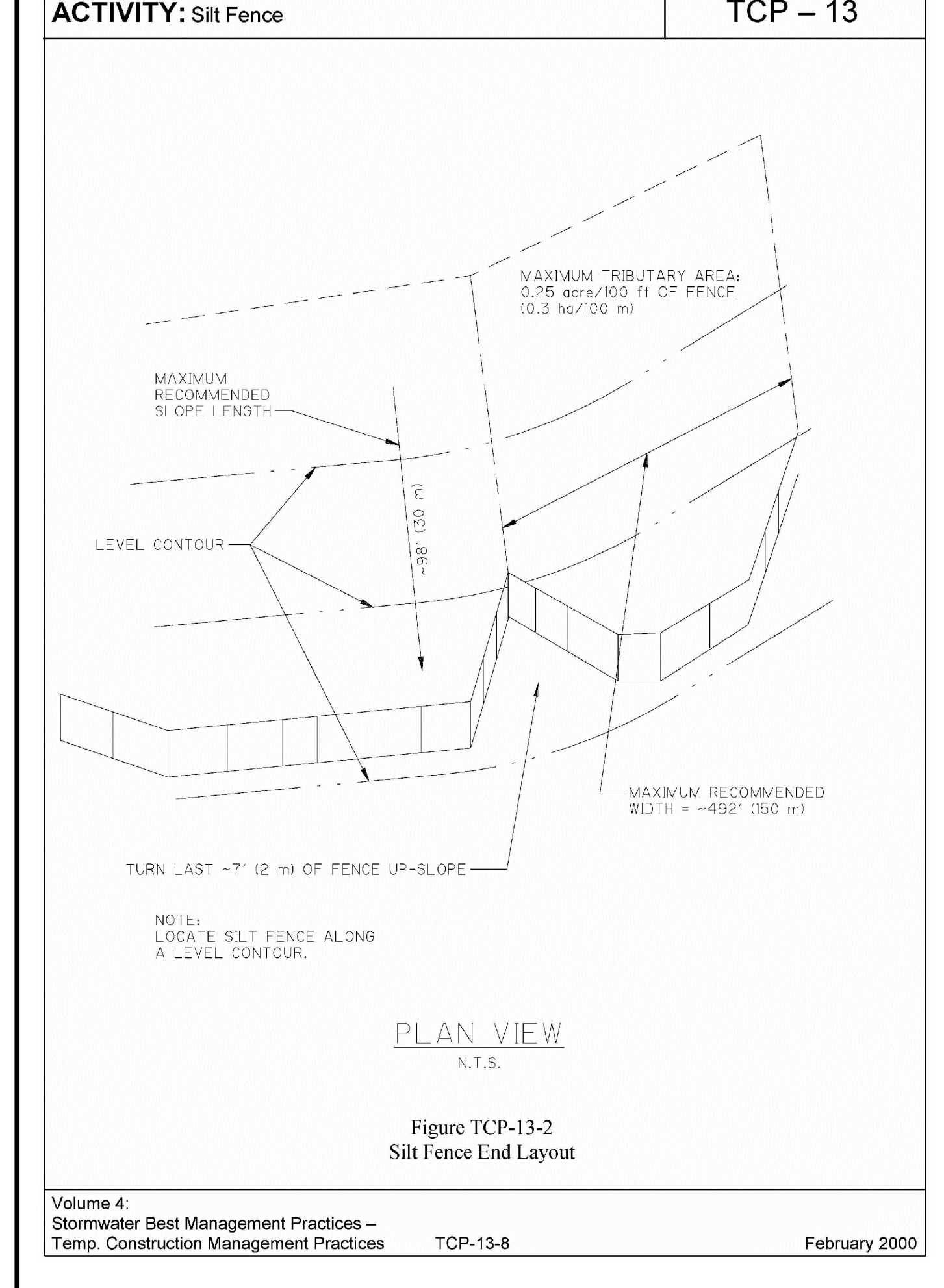
2 CHECK DAM TCP-12  
NOT TO SCALE



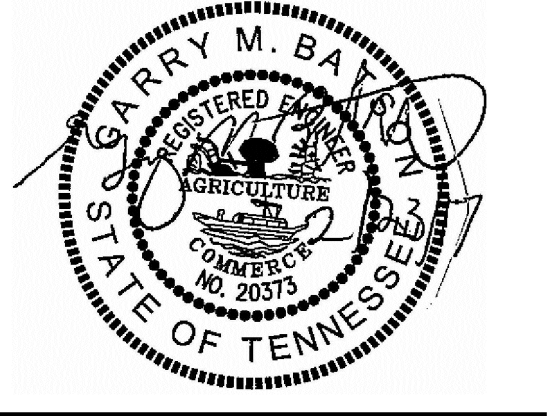
2 CHECK DAM TCP-12  
NOT TO SCALE



1 EROSION CONTROL TCP-13  
NOT TO SCALE



1 EROSION CONTROL TCP-13  
NOT TO SCALE



DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO.	-
DATE	28 JUN 2017
DRAWN BY	NN
CHECKED BY	GMB



## TRADITIONS PRELIMINARY SP PLAN

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO. 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

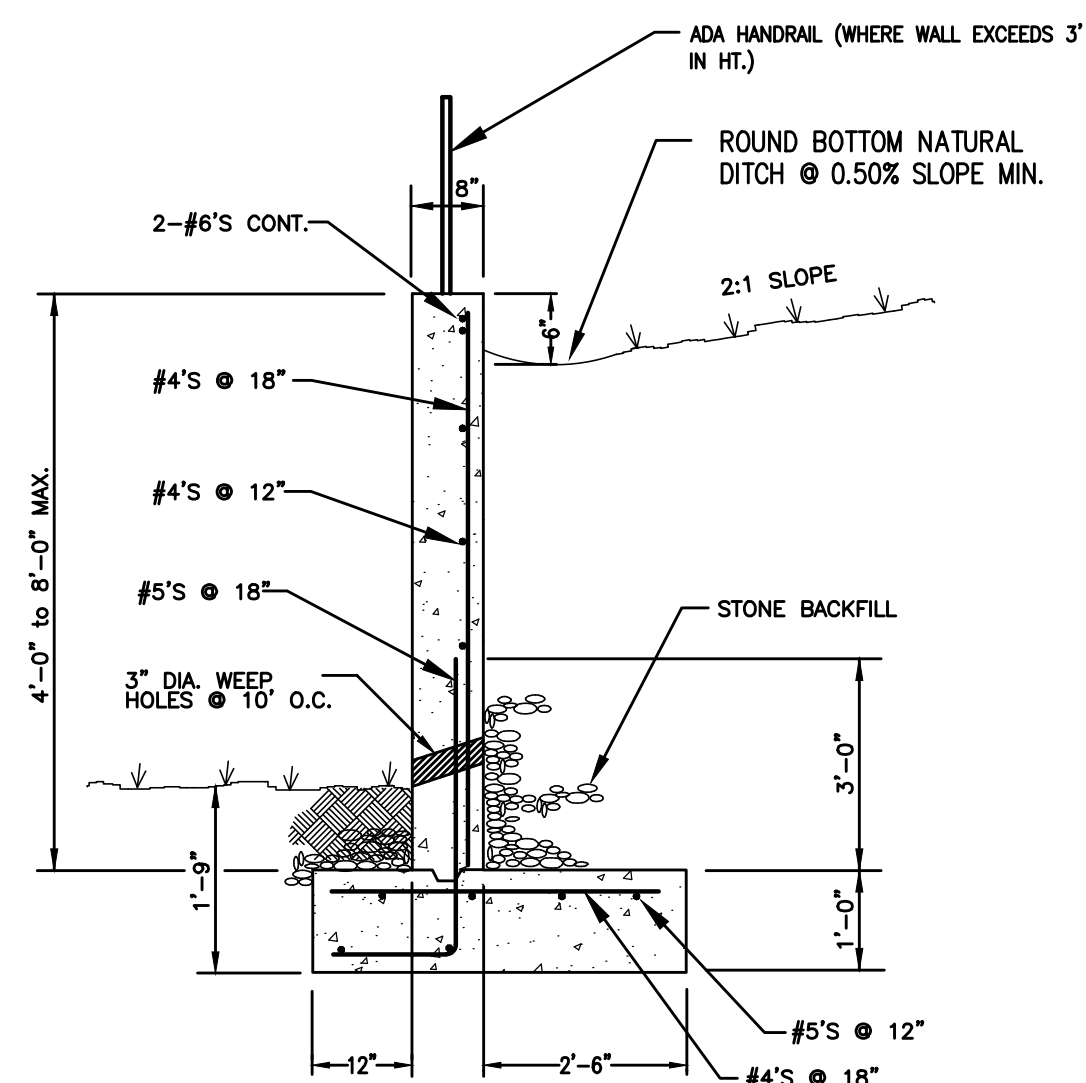
DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO. -  
DATE 28 JUN 2017  
DRAWN BY NN  
CHECKED BY GMB

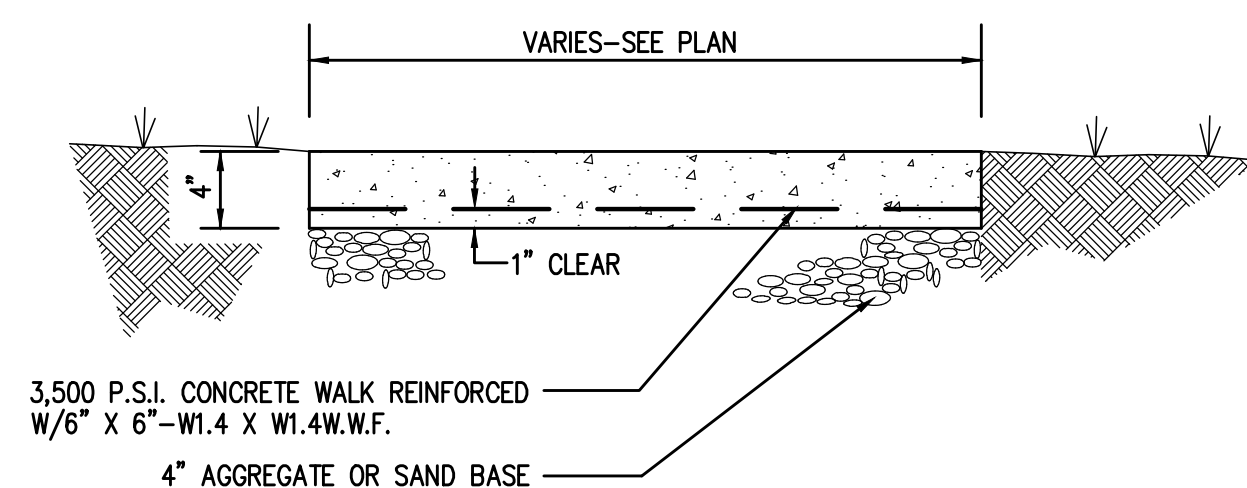
### STANDARD DETAILS

# C-12

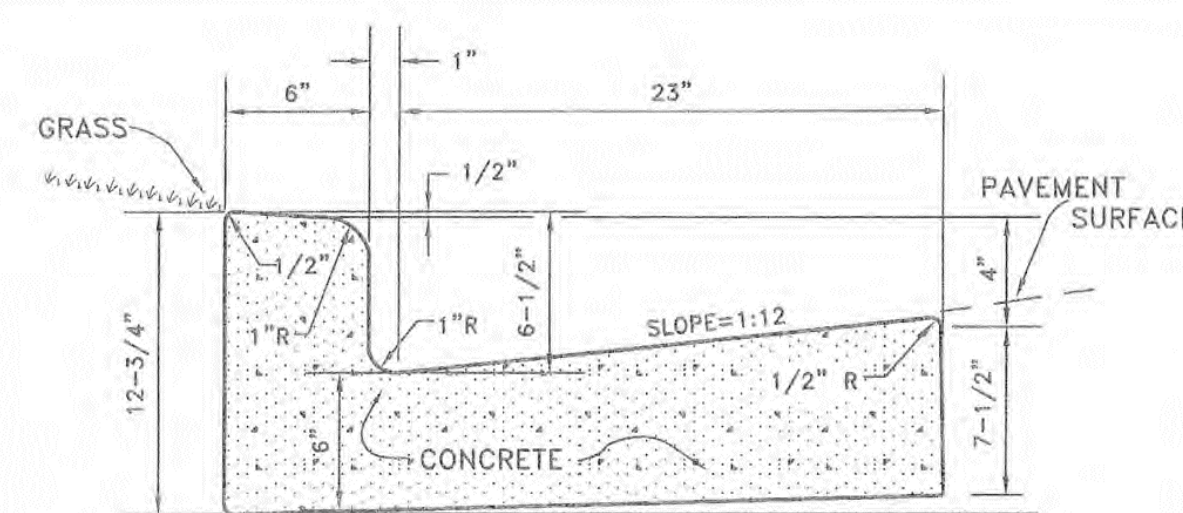
- NOTES:
- HEIGHT OF WALL IS MEASURED FROM TOP OF FOOTING TO TOP OF BACKFILL.
  - SITE BEHIND WALL TO BE GRADED TO DIVERT WATER RUNOFF FROM BEHIND WALL.
  - BACKFILL WITH FINE DRAINING STONE.
  - HANDRAIL WILL BE REQUIRED ON ALL WALLS OVER 36-INCHES.
  - ASSUMED SOIL BEARING CAPACITY: 2000 PSF



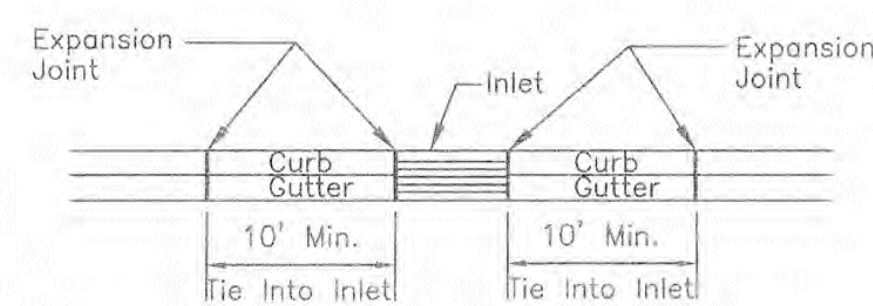
4 CONCRETE RETAINING WALL SECTION  
NOT TO SCALE



5 CONCRETE SIDEWALK  
NOT TO SCALE



TYPICAL CROSS-SECTION



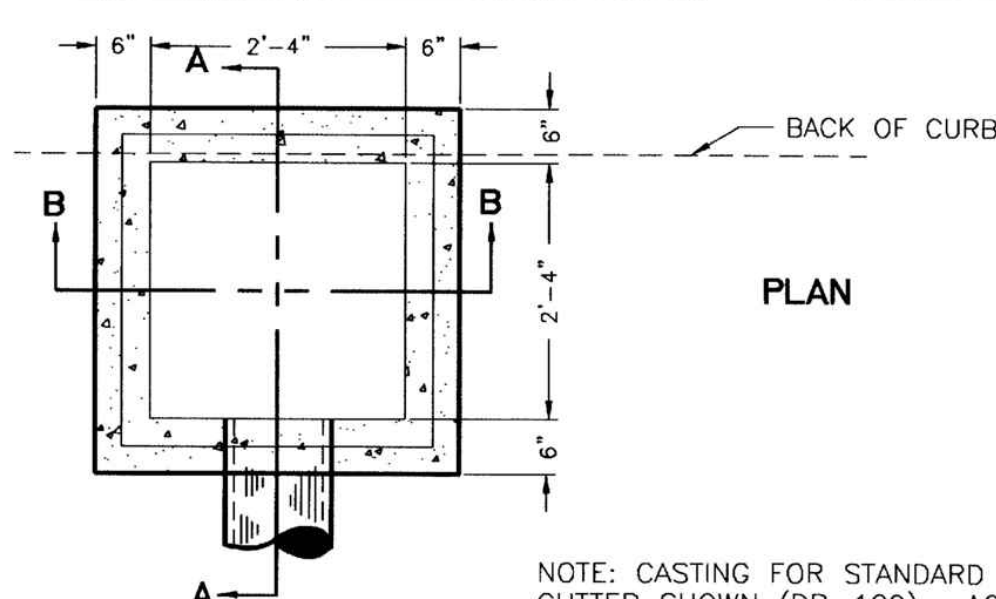
FRONT VIEW

- GENERAL NOTES
- Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
  - Expansion joints will also be required at tangent points, ramps, and inlets.
  - Contraction joints are to be cut into curb and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 10 feet.
  - There will be a minimum of 10 feet tie in at curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
  - Cost of contraction joints to be included in the unit bid price for concrete curb with gutter.

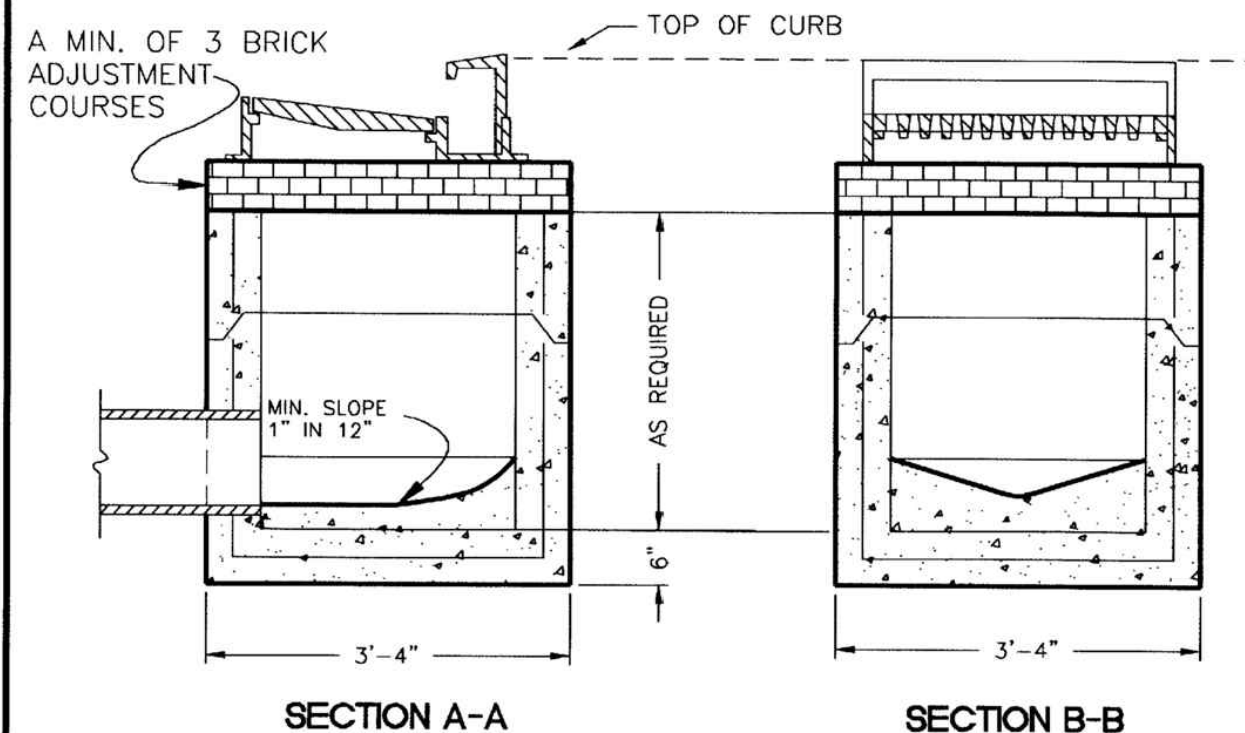
NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
DIR. OF ENG.: Mark May	DATE: 5/12/03	REVISED: 07/21/00 REVISED: 05/02/03

2 CURB & GUTTER ST-200  
NOT TO SCALE



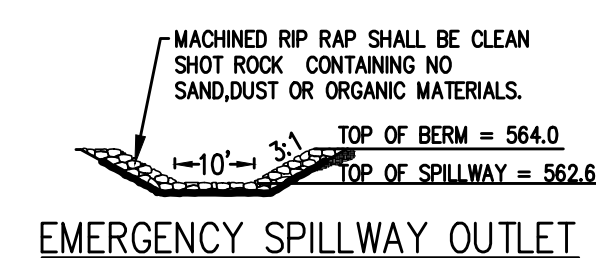
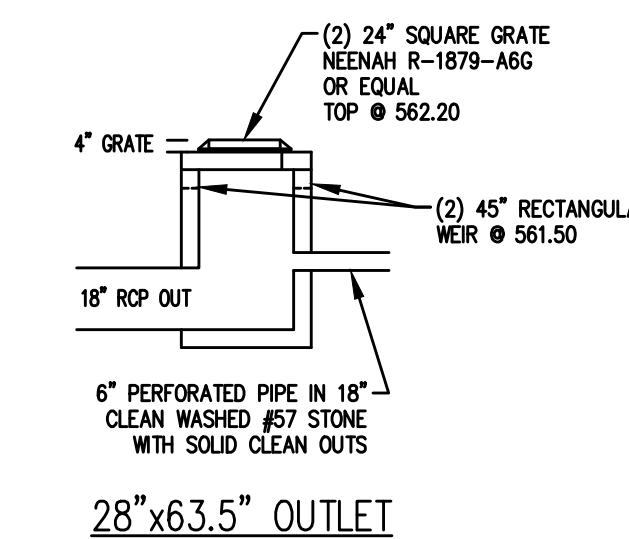
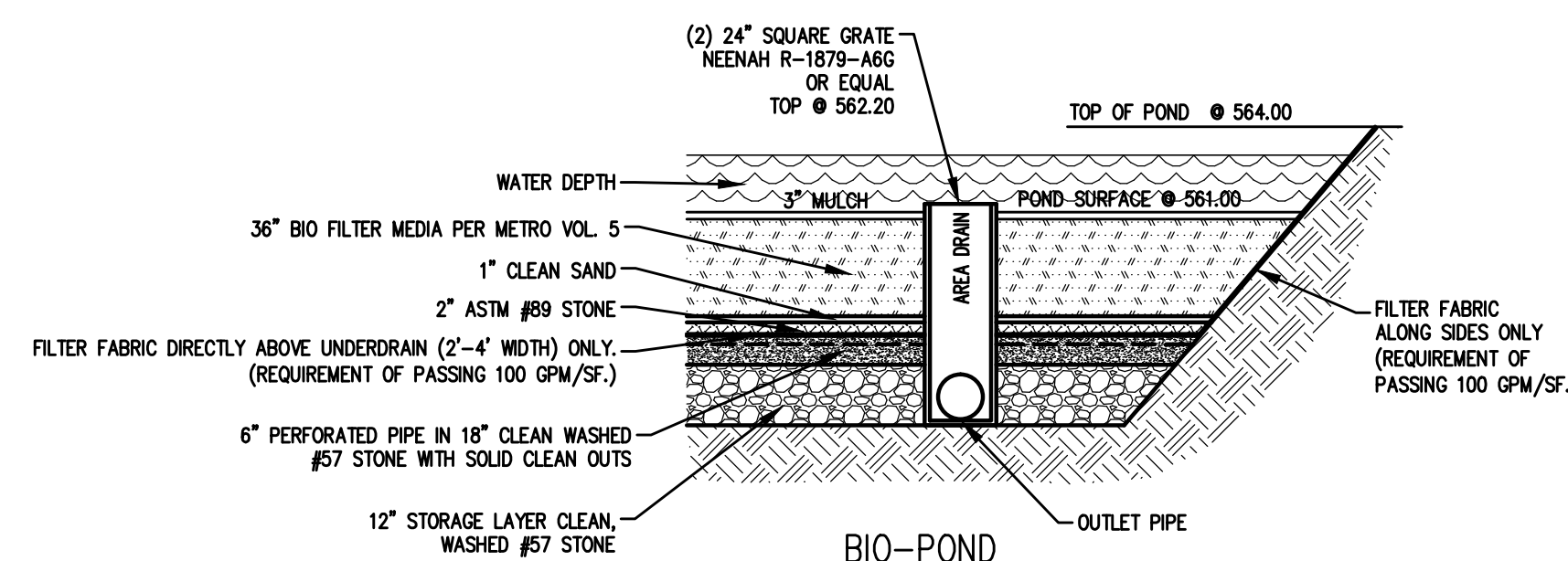
NOTE: CASTING FOR STANDARD CURB AND GUTTER SHOWN (DR-129). ACCEPTABLE SUBSTITUTES WHERE USE IS DIRECTED ARE DR-130, DR-132, AND DR-133.



3 SINGLE INLET DR-105  
NOT TO SCALE

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	SINGLE INLET (PRECAST)	DWG. NO. DR-105
ASST. DIR. ENG.: [Signature]	DATE: 3/14/00	REVISED: 02/08/00

3 SINGLE INLET DR-105  
NOT TO SCALE



1 EMERGENCY SPILLWAY OUTLET  
NOT TO SCALE

CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS DEVELOPMENT REVIEW AT LEAST 24 HOURS PRIOR TO THE INSTALLATION OF THE PLANTING SOIL FILTER BED. AT THE COMPLETION OF INSTALLATION, THE ABOVE REFERENCED PERSON WILL COLLECT ONE SAMPLE PER BIORETENTION BED FOR ANALYSIS AND CONFIRMATION OF THE SOIL CHARACTERISTICS AS DEFINED BY GP-01, FILTER MEDIA AND SURFACE COVER, SECTION 6.6, PAGE 20.

FILTER MEDIA TO CONTAIN  
70% - 85% SAND  
10% - 20% SILT & CLAY, WITH CLAY < 10% &  
5% - 10% ORGANIC MATTER

1 BIO-POND  
NOT TO SCALE

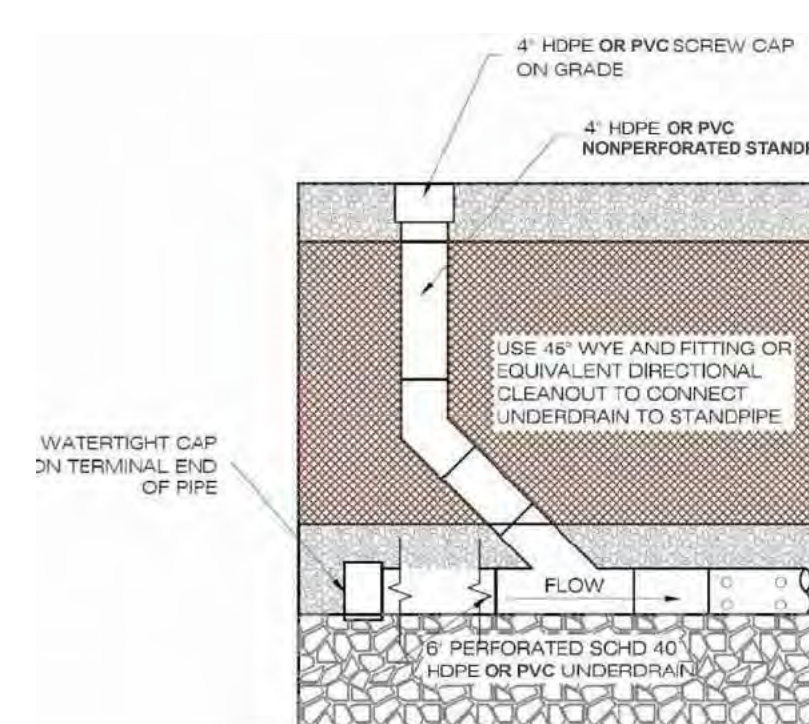


Figure 1-B. 1.4" Cleanout Detail (source: VADCR, 2010)

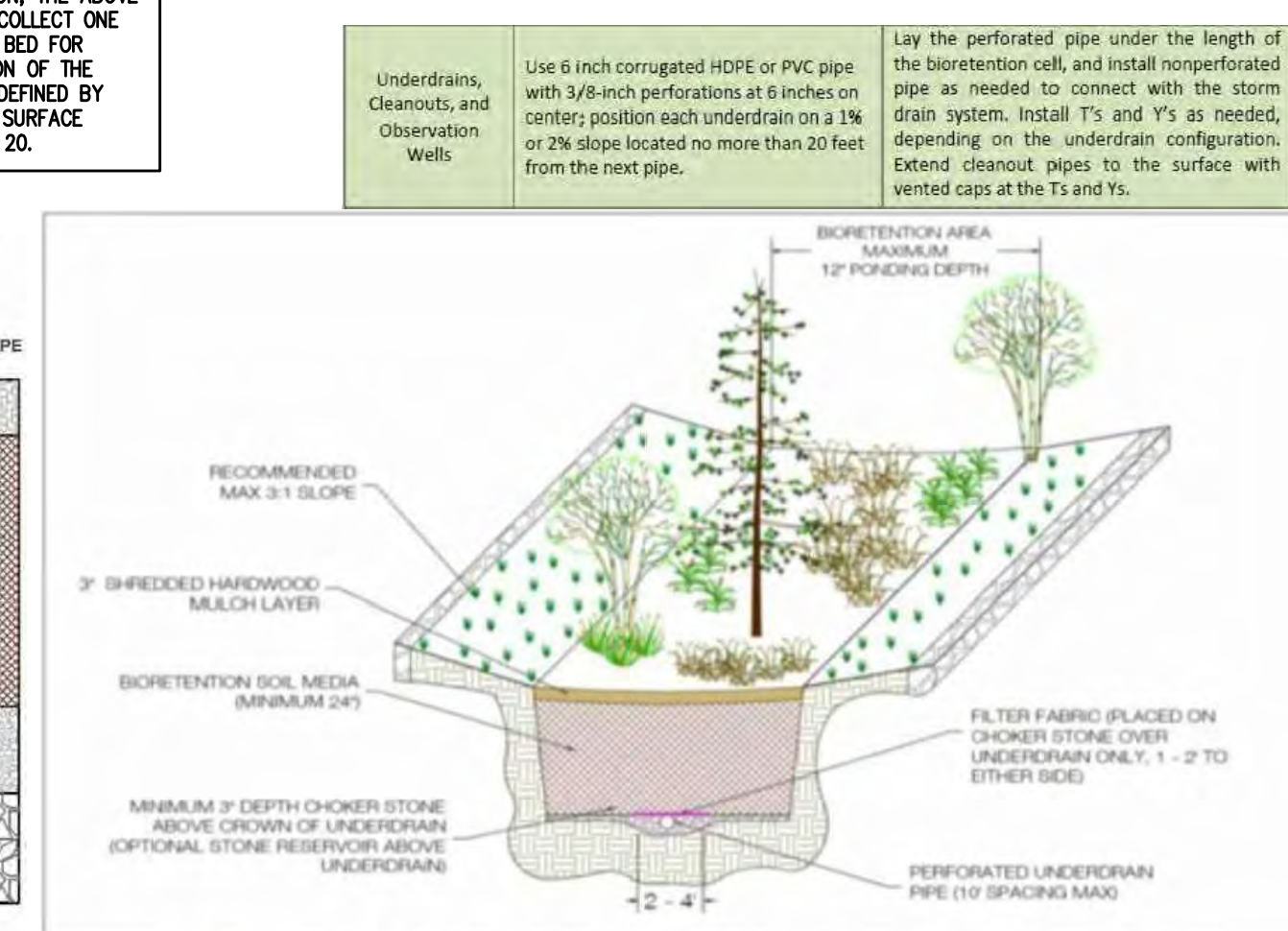
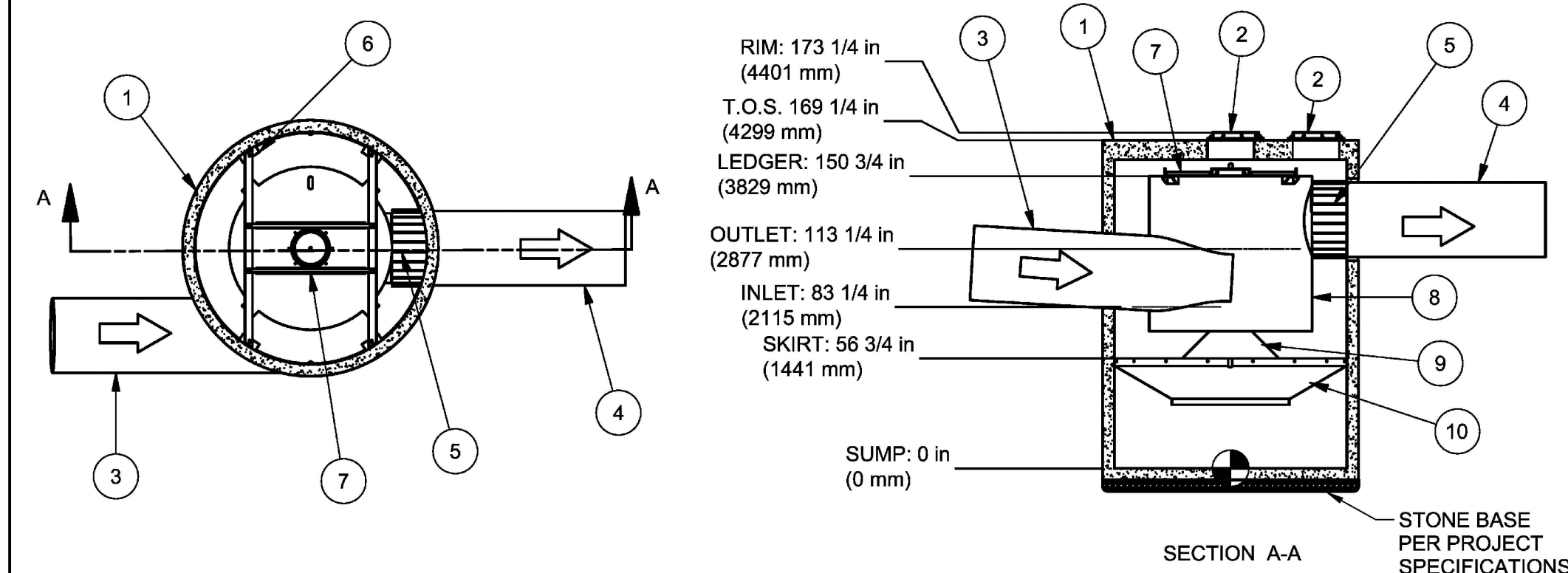


Figure 1.4. Typical Bioretention Basin Level 1 (source: VADCR, 2013)

**NOT FOR CONSTRUCTION - CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC DRAWINGS**



**Notes**  
 1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.  
 2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING DOWNSTREAM DEFENDER MANHOLE.  
 3. TYPICALLY DOWNSTREAM DEFENDERS WILL BE DELIVERED TO THE PROJECT SITE WITH A TOP SLAB ELEVATION 12" BELOW FINISHED GRADE. PURCHASER SHALL BE RESPONSIBLE FOR GRADE RINGS OR BLOCK AND MORTAR NECESSARY TO MEET FINAL GRADE.

REVISION HISTORY		
REV	BY	DATE DESCRIPTION
B	JLL	1/7/13 Metric Dim.

Date: 9/14/2011 Scale: 1/8" = 1'-0"  
 Drawn: EMH Checked: KJM Approved:

Title: 10-FT (3.05m) DIAMETER DOWNSTREAM DEFENDER  
 GENERAL ARRANGEMENT

**Hydro International**  
 Stormwater Solutions  
 94 Hutchins Drive  
 Portland, Maine 04102  
 Tel: (207) 756-6200  
 Fax: (207) 756-6212  
 stormwaterinquiry@hydro-int.com

Parts List		
ITEM	DESCRIPTION	SIZE
1	PRECAST MANHOLE (BY HYDRO VIA PRECASTER)	120 in
2	FRAME AND COVER	24 in
3	INLET PIPE (BY OTHERS)	30 in
4	OUTLET PIPE (BY OTHERS)	30 in
5	PIPE COUPLING (BY OTHERS)	
6	LEDGER ANGLE	
7	SUPPORT FRAME	
8	DIP PLATE	
9	CENTER SHAFT AND CONE	
10	BENCHING SKIRT	

**CAPACITIES:**  
 1. Peak treatment flow: 25.0 cfs (708 l/s)  
 2. Sediment storage capacity: 8.70 Cu. yd. (6.65 cu. m.)  
 3. Oil storage capacity: 1050 Gal. (3975 liters)

**ADDITIONAL DESIGN INFORMATION:**  
 1. The outlet pipe stub (not shown) is a roto-molded product with an I.D. of 30 in. that cannot be modified. To avoid the use of a reducer or expander on the outlet a 30 in. outlet pipe should be used if possible. The orientation of the outlet pipe can be adjusted to suit site conditions.  
 2. Maximum pipe size is 30 in. The inlet pipe invert should be placed one inlet pipe diameter below the outlet pipe invert. The I.D. of the inlet pipe should be placed tangent to the I.D. of the manhole. The orientation of the inlet pipe can be adjusted to suit site conditions. Headloss at 25.0 cfs with a 30 in. inlet: 15 in. (381 mm). Headloss will increase with smaller inlet pipes.  
 3. Sediment shall be stored in a zone that is isolated from the main flow path and protected from re-entrainment by the benching skirt.  
 4. Dimensions are general and intended for guidance only.

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CAD Ref: D10GA  
 Project No.  
 Drawing No. D10GA Rev. B

1 10 FT. Ø DOWNSTREAM DEFENDER  
 NOT TO SCALE

**Notes:**  
 A 6" VALVE DOUBLE GATE IRON BODY OPEN LEFT  
 B 6" METER WITH FLANGE CONNECTION 2" TEST TEE OF BRASS  
 C 2" x 6" BRASS NIPPLE & 2" BRASS GATE VALVE  
 D 6" BRASS CHECK VALVE AS PER METRO WATER (ONLY IF BACKFLOW ARE NOT AT METER BOX)  
 E STRAINER REQUIRED WHEN TURBINE METER USED  
 F 6" GATE VALVE WITH BOX AND CASTING

REFERENCE DETAIL AS REQUIRED FOR RADIO READ UNIT LOCATION IN FRAME AND COVER. ONLY ONE FRAME AND COVER MAYBE REQUIRED RADIO READ READY.

NOTES:  
 SEE METRO GOVERNMENT ORDINANCE NO. 65-412, SEC. 39-290, PAGE 47 FOR REGULATIONS REGARDING CHECK AND RELIEF VALVES.  
 METERS ARE TESTED PER AWWA STANDARD AND A SHUT OFF OF SERVICE WILL BE NECESSARY IF INTERRUPTED WATER SERVICE PRESENTS A PROBLEM WE RECOMMEND A BATTERY INSTALLATION FOR YOUR WATER METERS.

RADIO READ UNIT TO BE INSTALLED ON SERVICE LINES AS INDICATED BY METRO WATER SERVICES PERMIT OFFICE.

CONCRETE: 4500 PSI @ 28 DAYS REINFORCED WITH #4 BARS

RADIO READ UNIT TO BE INSTALLED AS PER MANUFACTURES SPECIFICATIONS.

**METRO WATER SERVICES**  
 METER BOX FOR 6" METER FOR 6" SERVICE  
 NOT TO SCALE DATE: 05/05/08 DWG. NO. WDET018D

*Hal Baltheop*  
 LICENSED DISTRIBUTION OPERATOR  
 DIRECTOR OF WATER AND SEWERAGE SERVICES

**Notes:**  
 BACKFLOW DEVICE TO REMAIN ACCESSIBLE AT ALL TIMES.  
 TEST COCKS ARE TO BE PROVIDED WITH NIPPLES & CAPS.  
 STRAINER REQUIRED ON ALL DOMESTIC BACKFLOW DEVICES. CHECK WITH FIRE MARSHALL FOR COMBINATION LINES.  
 THIS DRAWING INDICATES MINIMUM CLEARANCE AND ACCESS ONLY.  
 SECURITY PROCEDURES MAY BE DESIRABLE.  
 INSULATION/HEAT RECOMMENDED TO PREVENT FREEZING.  
 WALL CONSTRUCTION AND OUTSIDE FINISH IS OPTIONAL WITH OWNER.  
 INLET PIPING MUST BE OF COPPER AND/OR BRASS. COPPER OR BRASS PIPE TO EXTEND A MINIMUM OF 36" OUTSIDE THE BOX.  
 A MIN. CLEARANCE 12" PLUS PIPE DIAMETER

METRO WATER SERVICE APPROVED ALUMINUM BOX ENCLOSURE WITH EASY ACCESS DESIGN IS RECOMMENDED.

**METRO WATER SERVICES**  
 BACKFLOW PREVENTER BOX FOR 1-1/2" THROUGH 2" (DOMESTIC & FIRE LINES)  
 NOT TO SCALE DATE: 07/10/08 DWG. NO. CDETBF03

*Hal Baltheop*  
 LICENSED DISTRIBUTION OPERATOR  
 WATER SERVICES DIRECTOR  
*Stephen Helffer*  
 FIRE CHIEF  
*Paul Bennett*  
 CODES ADMINISTRATION DIRECTOR  
 PLANNING EXECUTIVE DIRECTOR

**Notes:**  
 A 2" VALVE DOUBLE GATE IRON BODY OPEN LEFT  
 B 1-1/2" OR 2" METER WITH FLANGE CONNECTION 2" TEST TEE OF BRASS  
 C 2" x 6" BRASS NIPPLE & 2" BRASS GATE VALVE  
 D 2" BRASS CHECK VALVE AS PER METRO WATER (ONLY IF BACKFLOW ARE NOT AT METER BOX)  
 E 2" COPPER  
 F STRAINER REQUIRED WHEN TURBINE METER USED

REFERENCE DETAIL AS REQUIRED FOR RADIO READ UNIT LOCATION IN FRAME AND COVER. ONLY ONE FRAME AND COVER MAYBE REQUIRED RADIO READ READY.

RADIO READ UNIT TO BE INSTALLED ON SERVICE LINES AS INDICATED BY METRO WATER SERVICES PERMIT OFFICE.

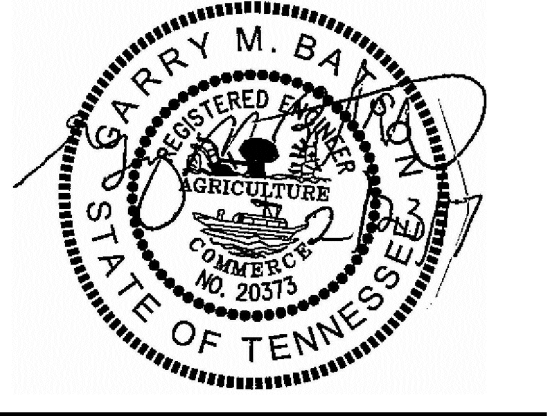
CONCRETE: 4500 PSI @ 28 DAYS REINFORCED WITH #3 BARS

RADIO READ UNIT TO BE INSTALLED AS PER MANUFACTURES SPECIFICATIONS.

**METRO WATER SERVICES**  
 METER INSTALLATION FOR 1-1/2" OR 2" METERS  
 NOT TO SCALE DATE: 05/05/08 DWG. NO. WDET018A

*Hal Baltheop*  
 LICENSED DISTRIBUTION OPERATOR  
 DIRECTOR OF WATER AND SEWERAGE SERVICES

5150 REMINGTON DRIVE  
 BRENTWOOD, TENNESSEE 37027  
 (615) 424-4840 • FAX (615) 370-9363



**TRADITIONS**  
 PRELIMINARY SP PLAN  
 6922 NOLENSVILLE PIKE  
 NASHVILLE, TN

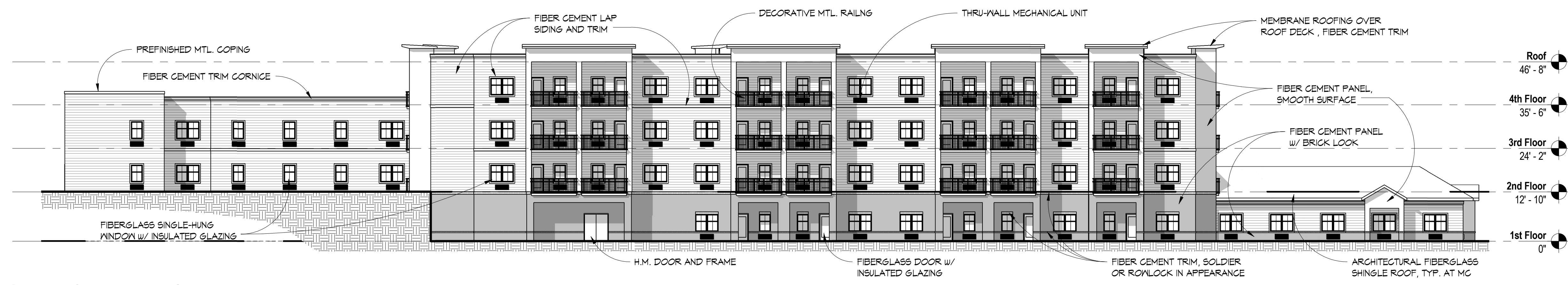
CASE NO. 2017SP-070-001  
 MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017
COMMENT 2	28 JUL 2017

PROJECT NO. -  
 DATE 28 JUN 2017  
 DRAWN BY NN  
 CHECKED BY GMB

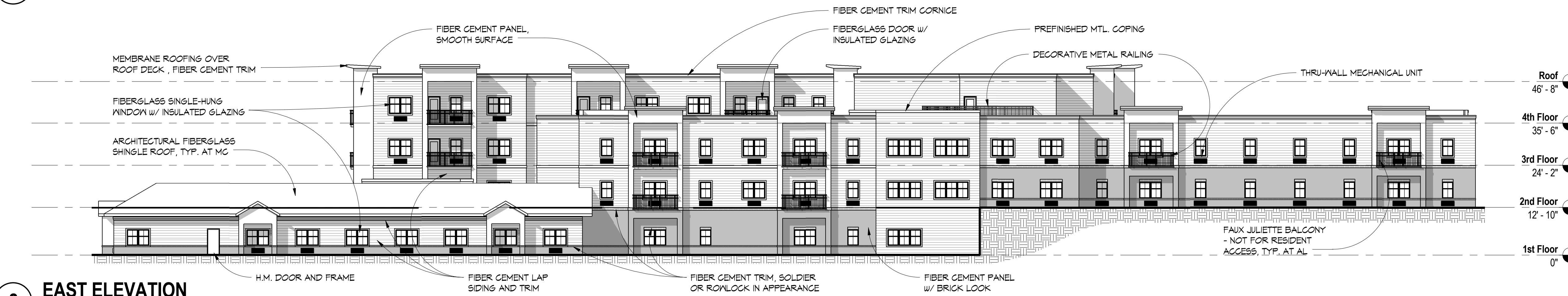
STANDARD DETAILS





**1 WEST ELEVATION**

SCALE: 1/16" = 1'-0"



**2 EAST ELEVATION**

SCALE: 1/16" = 1'-0"



**3 SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"



**5 NORTH ELEVATION**

SCALE: 1/16" = 1'-0"



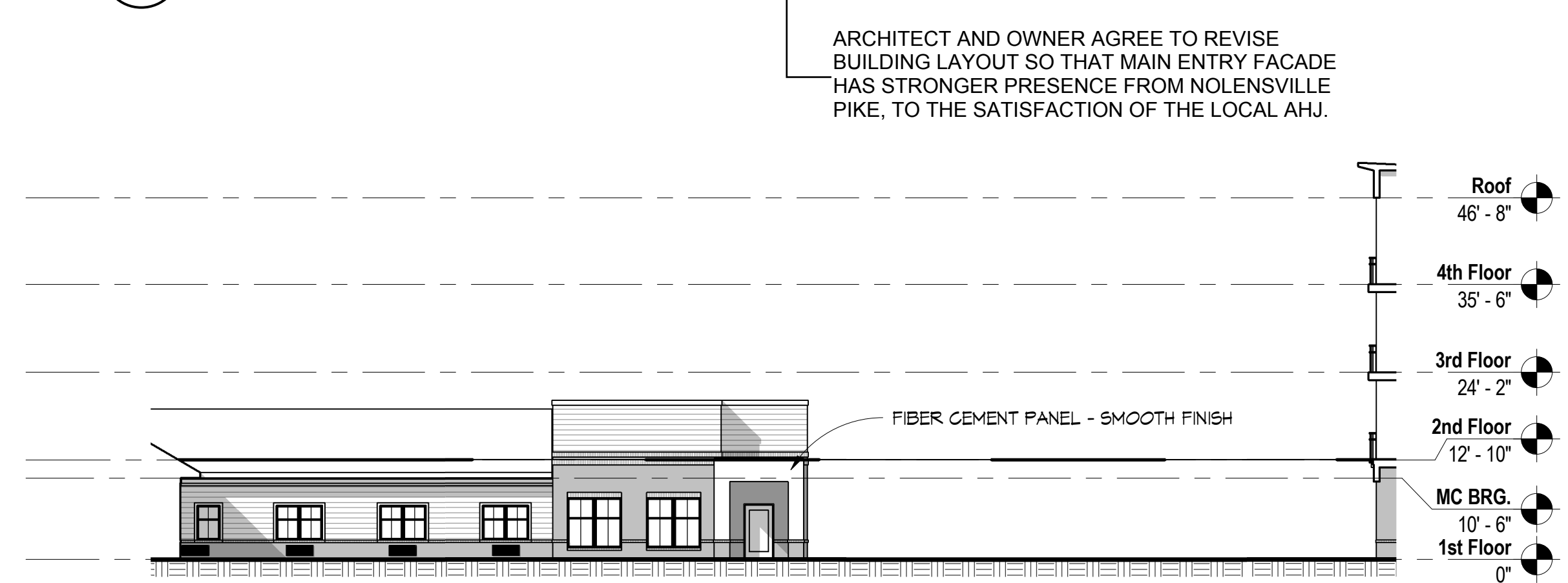
**7 WEST ELEVATION - MC**

SCALE: 1/16" = 1'-0"



**4 SOUTH ELEVATION - ENTRY**

SCALE: 1/16" = 1'-0"



**6 NORTH ELEVATION - MC**

SCALE: 1/16" = 1'-0"



**8 EAST ELEVATION - IL**

SCALE: 1/16" = 1'-0"

ARCHITECT AND OWNER AGREE TO WORK WITH PLANNING AND ZONING TO REVISE THE FACADES ORIENTED TOWARD NOLENSVILLE PIKE ACCORDINGLY, ADJUSTING ARCHITECTURAL FEATURES SO TO PRESENT AS PRINCIPLE FRONTAGE, DIFFERENTIATED FROM TYPICAL SIDE AND REAR ELEVATIONS OF THE BUILDING, TO THE SATISFACTION OF THE LOCAL AHJ.

ARCHITECT AND OWNER AGREE TO REVISE BUILDING LAYOUT SO THAT MAIN ENTRY FACADE HAS STRONGER PRESENCE FROM NOLENSVILLE PIKE, TO THE SATISFACTION OF THE LOCAL AHJ.

DOCUMENT CHANGES

Description	Date

Issue Description	SP SUBMITTAL
Original Issue Date	07/19/17
Project No.	16145.00
Drawn By	MDS
Checked By	MDS
Drawing Title	

EXTERIOR ELEVATIONS

Sheet Number

**A2.01**

GRAPHIC SCALE: 1/32" = 1'-0"  
GRAPHIC SCALE: 1/16" = 1'-0"  
GRAPHIC SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE: 1/8" = 1'-0"  
GRAPHIC SCALE: 3/16" = 1'-0"  
GRAPHIC SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE: 3/8" = 1'-0"  
GRAPHIC SCALE: 1/2" = 1'-0"  
GRAPHIC SCALE: 3/4" = 1'-0"  
GRAPHIC SCALE: 1" = 1'-0"  
C:\New Projects\16145\16145 - Nolensville - New AL, MC, IL, Central\_SS\_ARCH\DWG\_ExtElev.dwg  
6/20/2017 2:52:20 PM

**LANDSCAPE NOTES**

- The landscape contractor shall verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Topsoil shall be removed from stockpiles and spread in the areas shown on the plans. The depth of topsoil shall be a minimum of 4 inches in lawn areas and a minimum of 12 inches in landscape planting areas.
- After the topsoil is in place it shall be fine graded removing all roots, sticks, stones and debris greater than 2 inches in any dimension. The topsoil shall be fine graded to the lines and grades shown on the plans. The landscape contractor shall be responsible for the fine grading of all planting areas.
- The topsoil soil shall have a pH of 5.5 to 7.6 and an organic content of 3 to 20%. The gradation of the topsoil shall be 100% passing 2 inch sieve, 85 to 100% passing the 1 inch sieve, 65 to 100% passing the 1/2 inch sieve and 20 to 80% passing the No. 200 sieve.
- Lime of type recommended for soil conditioning shall be used to treat acidic soils.
- Lawn fertilizer shall be 55% nitrogen, 10% phosphorus and 10% potash where 50% of the nitrogen is derived from ureaform source. A) When placing by hydroseeding application fertilizer shall be placed at 80 pounds per acre, hydromulch at 1,200 pounds per acre, water at 500 gallons per acre and seed at a minimum of 220 pounds per acre. All over spray areas shall be properly cleaned and restored at no expense to the contract. B) If placing by mechanical means, fertilizer shall be placed at 25 pounds per 1,000 square feet, seed at 5 pounds per 1,000 square feet, and straw mulch at 2 tons per acre. Place fertilizer and seed, then lightly rake and the roll with 200 pound roller. Mulch the area and then water. Straw may need to be secured to prevent it blowing away.
- Water lawn areas as needed to promote growth. The contractor will be responsible to water, reseed or work when necessary to insure the growth of the lawn until a complete and uniform stand of grass has grown and been cut at least twice.
- Unless otherwise noted on the drawings, all areas not receiving structures, pavement, rip rap, landscaping or other improvements or future improvements shall be considered lawn areas and receive topsoil and seeding per drawings and above stated requirements.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- Planting beds shall be prepared by loosening the top 1 foot of topsoil. Plants shall be located per the plans. The holes shall be excavated (per the details on the drawings) with the center slightly higher to promote drainage. Use a topsoil backfill mix of 4 parts topsoil, 1 part peat moss, 1/2 part well rotted manure, and 10 pounds 5-10-5 planting fertilizer and properly mixed per cubic yard. Berm around plants to form a bowl shape.
- All landscaping shall be guaranteed for one year after final acceptance. Any plantings in need of replacement will be guaranteed from the time of replacement if after final acceptance.

**BIO-RETENTION NOTES:**

- Verify that the bio retention areas have been constructed in compliance of the requirements of the Construction Documents prior to beginning work.
- Care shall be taken to minimize compaction to soils within the limits of the bio retention area(s).
- No machinery (other than walk behind roto-tillers) shall be used within the limits of the bio retention area(s).
- Dig a test percolation pit 1'x1'x1' deep and fill with water. Monitor to verify that all water has drained from the pit within a 24 hour period. If water remains after 24 hours, cease all work on the bio retention area and contact Civil Engineer for further instructions.
- The work required for construction of the bio-retention area(s) consists of removal of weeds, preparation of planting areas, mulching and clean up.
- Contractor is responsible for keeping Bio-Retention area free from sediment resulting from storm-water runoff.
- The Contractor shall conduct all site preparation activities to not allow "sediment loss" to the Bio-Retention Areas.
- Provide or verify installation of a silt fence prior to commencement of construction around the circumference of the Bio-Retention areas.
- Begin construction of Bio-Retention basins after adjacent areas have been stabilized with stone or vegetation.
- Comply with the Water Quality Control Act of 1971, including revisions, and other applicable laws, ordinances, and regulations.
- The Contractor shall correct, at his own expense, any work that does not comply with the requirements of the Contract.
- The Contractor shall assume responsibility for protection of public streets, curbs, and utilities from damages from the Contractor's operations. Plan work to avoid ponding, flooding, and sediment loss on site and upon adjacent property.
- Meet the requirements of all rules and regulations governing the respective utilities. Protect active utilities from damage during construction.
- If active utilities are encountered in the course of excavation other than those indicated on the Survey, protect them from damage and relocate them in accordance with the Engineer's written instruction. Remove inactive utilities if such are encountered.
- The finish surface shall be free from any lumps of earth, rocks, stones, debris, or other improper materials, no trees, trunks, shrubs, stumps, undergrowth, or building rubbish will be permitted in the grading.
- Remove weeds with three applications (at 2 week intervals) of a systemic herbicide such as Roundup during the period that weeds are actively growing and prior to preparing the bio retention area for planting.
- Scarify top 6" of soil by hand or with a walk behind roto-tiller prior to the planting of bio retention area. Tractors or other heavy machinery are not to be utilized at anytime within the limits of the bio retention area.

**SUBSTITUTION NOTE:**

- Requirements shown are as per City Zoning Ordinance. Substitutions are not allowed unless approved by Heibert+Ball Land Design.
- After installation, the landscape will be maintained by the owner.
- Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**

In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**UTILITY SCREENS**

All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

**PLANT STANDARDS**

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on the drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury
- Root ball meets all ANSI standards and is appropriately sized

**DEFICIENCIES NOT ACCEPTED:**

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**

**CALCULATIONS WORKSHEET FOR TREE DENSITY REQUIREMENTS METRO ORD # 094-1104**

AREA OF LOT: 3.96 ACRES  
 BUILDING COVERAGE: 1.24 ACRES  
 AREA OF REQUIRED COMPLIANCE: 2.72 ACRES x 14.0

**REQUIRED TREE DENSITY UNITS: 38.08**

**PROPOSED NEW TREES:**  
 2" CAL @ 0.5 77 x 0.5 = 38.5

**CREDIT FOR NEW TREES: 38.5**

**PROVIDED TREE DENSITY UNITS: 38.5**

**IRRIGATION TO BE PROVIDED BY HOSE BIBS TREE CUT PERMIT REQUIRED**

**CASE # TBD MAP: 181 / PARCEL: 85 & 180**

**SP NOTES:**

- TREE DENSITY REQUIREMENTS WILL BE MET ONSITE
- TREE CUT PERMIT WILL BE REQUIRED
- NO LANDSCAPE BUFFERS YARDS WILL BE REQUIRED

**PRELIMINARY SP PLANTING SCHEDULE**

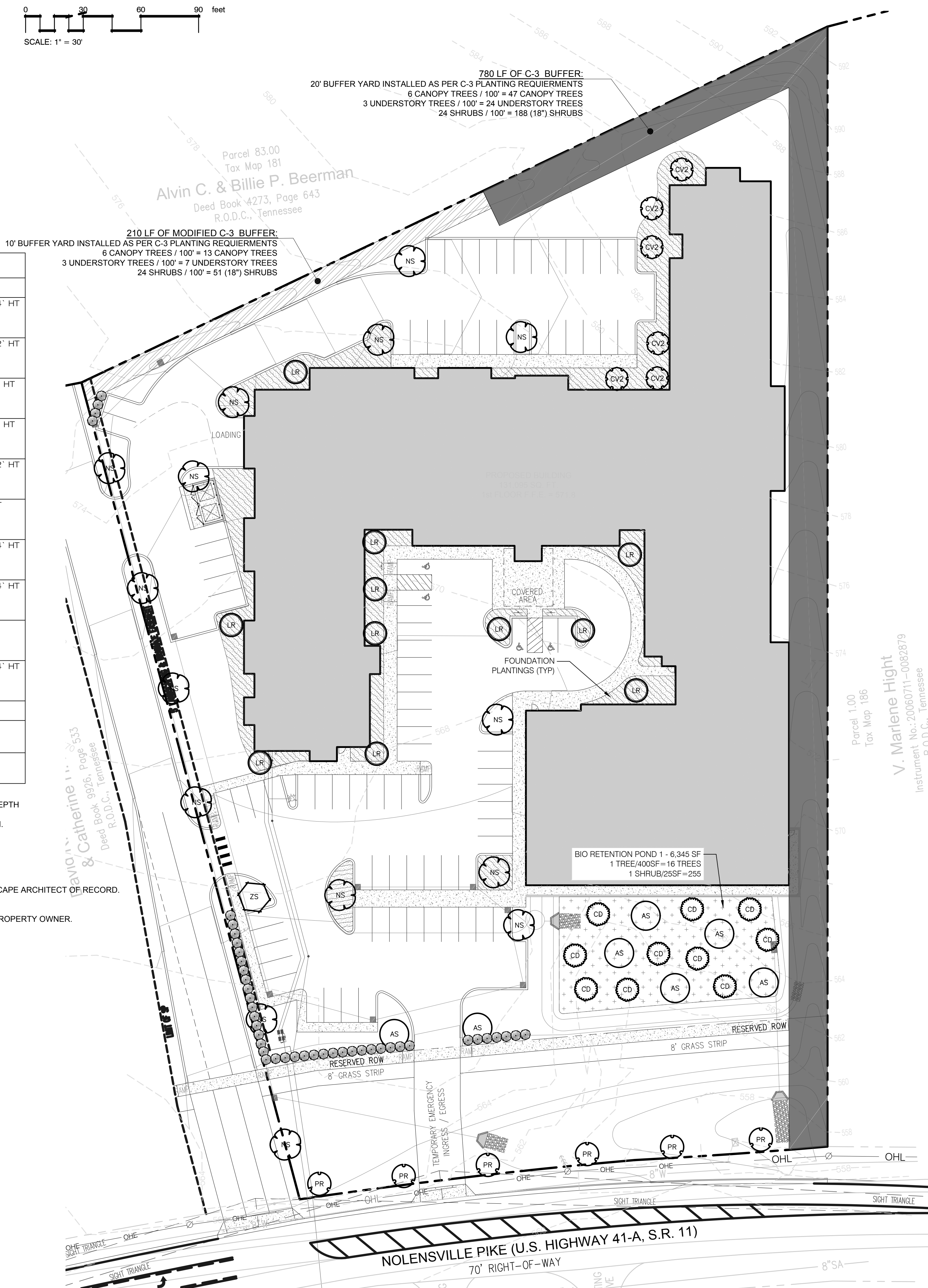
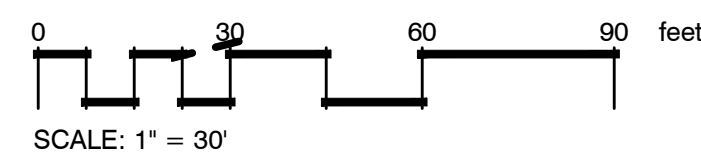
TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
AS	CANOPY TREE	B & B	2"Cal	12'-14' HT
CD	UNDERSTORY TREE	B & B	2"Cal	10'-12' HT
CV2	UNDERSTORY TREE	B & B	2"Cal	8'-10' HT
EG	EVERGREEN TREE	B & B	2"Cal	8'-10' HT
LR	COLUMNAR TREE	B & B	2"Cal	10'-12' HT
EG	EVERGREEN TREE	B & B	2"Cal	10' HT
NS	CANOPY TREE	B & B	3"Cal	12'-14' HT
PR	UNDERSTORY TREE	B & B	3"Cal	12'-14' HT
SR	SCREENING SHRUB	B & B		18' HT
ZS	CANOPY TREE	B & B	2"Cal	12'-14' HT
SHRUB AREAS	COMMON NAME / BOTANICAL NAME	CONT		
	Bio-Retention Plantings	Varies		
	Evergreen and deciduous shrubs, grasses, and groundcover suitable for Bio-Retention areas	Varies		
	Foundation Plantings	Varies		
	Mix of evergreen and flowering shrubs of various heights	Varies		

**PLAN NOTES:**

- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS NOT SPECIFIED AS SOD SHALL BE SEEDED WITH REBEL III TALL FESCUE

**PLANTING SCHEDULE NOTES**

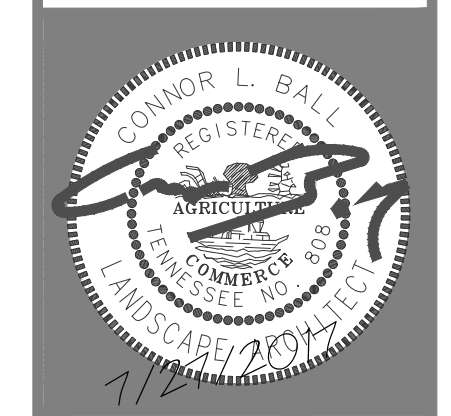
- SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE URBAN FORESTER
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



**Heibert+Ball**  
**LAND DESIGN**  
 1894 Gen. Geo. Patton Dr.  
 Suite 400  
 Franklin, TN 37067  
 Tel: 615.376.2421  
 www.hblanddesign.com

PROPOSED SITE FOR:  
**TRADITIONS SP PLAN**  
 6922 NOLENSVILLE PIKE NASHVILLE, TENNESSEE

Parcel 1.00  
 Tax Map 186  
 V. Marlene Hight  
 Instrument No.: 20060711-0082879  
 R.O.D.C., Tennessee



RELEASE DATE: 06/07/17  
 REV 1:  
**1.0**  
**LANDSCAPE PLAN**

**ZONING REVIEW CHECKLIST**  
NONRESIDENTIAL AND MULTIFAMILY CONSTRUCTION

APPLICATION #	PROJECT NAME
MAP # / PARCEL #	EXAMINER
USE - CHAPTER 17.08 AND 17.16 **A - APPROVED, D - DENIED, I - INCOMPLETE, P - PENDING, C - CONDITIONAL**	
DETERMINE THE USE: ASSISTED LIVING FACILITY	
PROPERTY ZONING: AR2A	SURROUNDING ZONING: AR2A
USE CHARTS (P, PC, SE, A): NONE REQUIRED	
SITE CRITERIA **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
SUBDIVISION PLAT (NOTE ANY SPECIAL REQUIREMENTS SUCH AS EASEMENTS, SETBACK RESTRICTIONS AND ETC.)	
MINIMUM LOT SIZE: N/A	BUILDING FOOTPRINT: 131,086 SQ. FT.
FAR	0.80% MAXIMUM 0.80% REQUESTING
ISR - ADJUSTMENTS / SLOPES OVER 11%	0.80% MAXIMUM 0.80% REQUESTING
STREET SETBACK / STREET TYPE(S): 40 FT.	
SIDE YARD: 20 FT.	
REAR YARD: 20 FT.	
HEIGHT STANDARDS: 21	NUMBER OF FLOORS: 4
PARKING AND ACCESS - CHAPTER 17.20 **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
RAMP LOCATION AND NUMBER: ONE SOUTHWEST	
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30'): 30+ FT.	
DISTANCE TO INTERSECTIONS: 50' MINOR STREET: 400 FT. 185' ARTERIAL STREET: NONE	
100' COLLECTOR: NONE 250' CONTROLLED ACCESS RAMP: NONE	
REQUIRED PARKING BASED ON USE: 74 REQUIRED 90 PROVIDED	
REQUIRED LOADING BASED ON USE: NONE REQUIRED NONE PROVIDED	
SURFACING OVER 5 SPACES 1750 SQ. FT.: PROVIDED	
SPACE SIZES, ASLE WIDTHS, ANGLE DATA: 9 FT x 18 FT, 24 FT, 90'	
QUEUING LANES: PROVIDED	
OVER 10 SPACES 20' QUEUING AT EXIT: PROVIDED	
NUMBER OF COMPACT SPACES / %: NONE / 0%	
NUMBER OF HANDICAPPED SPACES: 4	
SIDEWALKS REQUIRED: INTERNAL PROVIDED PUBLIC PROVIDED	
LANDSCAPING STANDARD - CHAPTER 17.24 **SUPPLEMENTAL CHECKLIST ALSO REQUIRED FOR UDO**	
REQUIRED BUFFER YARDS: NONE REQUIRED	
BUFFER YARD ADJUSTMENT: NONE REQUIRED	
PERIMETER LANDSCAPING (CAN NOT BE OVER FUTURE R.O.W.): NONE REQUIRED	
STANDARD FOR 4 OR MORE LANES: NONE REQUIRED	
STANDARD FOR LESS THAN FOUR LANES: PROVIDED	
SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WIDTH W/ TREES - 2.5' W/ TREE ISLANDS: NONE REQUIRED	
INTERIOR LANDSCAPING MINIMUM BY AREA: PROVIDED	
OPAQUE FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA: NONE REQUIRED	
SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED): PROVIDED	
TREE DENSITY:	

CHAPTER 17.16 ADDRESSES THOSE SPECIAL FEATURES REQUIRED FOR PC, SE AND A USE. ALL SPECIAL REQUIREMENTS ARE TO BE REVIEWED AS PART OF THE ZONING PLAN REVIEW AND SPECIAL FEATURES IDENTIFIED ON PLANS.

CHAPTER 17.28 ENVIRONMENTAL AND OPERATIONAL STANDARDS. CHAPTER ADDRESSES DEVELOPMENT STANDARDS FOR ENVIRONMENTALLY SENSITIVE LOTS AND CAN REQUIRE ADDITIONAL CALCULATIONS. IT ALSO ADDRESSES THE NOISE LIGHT, AND OTHER POLLUTIONS CONTROLS ALONG WITH STORAGE OF FLAMMABLE GOODS.

CHAPTER 17.36 SIGN REGULATIONS. SIGN PERMITS ARE APPLIED FOR ON SEPARATE APPLICATIONS AND ARE NOT PART OF THE ZONING REVIEW FOR BUILDING PERMIT.

CHAPTER 17.40 THIS SECTION OUTLINES SPECIAL RESTRICTIONS AND ENABLING LANGUAGE FOR OVERLAY DISTRICTS. ADDRESSES THE ADMINISTRATIVE PROVISIONS OF THE CODE ALONG WITH POWERS OF THE BOARD OF ZONING APPEALS.

FLOOR	S	1BR	SH	2BR	TOTAL
FIRST	L	2	5	-	8 UNITS (9 BEDS)
	AL	-	-	-	-
	MC	24	-	-	24 UNITS (24 BEDS)
SECOND	L	5	11	-	17 UNITS (18 BEDS)
	AL	8	10	5	24 UNITS (25 BEDS)
THIRD	L	5	11	-	17 UNITS (18 BEDS)
	AL	6	11	5	23 UNITS (24 BEDS)
FOURTH	L	5	11	-	17 UNITS (18 BEDS)
TOTAL	L	17	38	-	59 UNITS (63 BEDS)
	AL	14	21	10	47 UNITS (49 BEDS)
	MC	24	-	-	24 UNITS (24 BEDS)

**GENERAL SITE NOTES:**

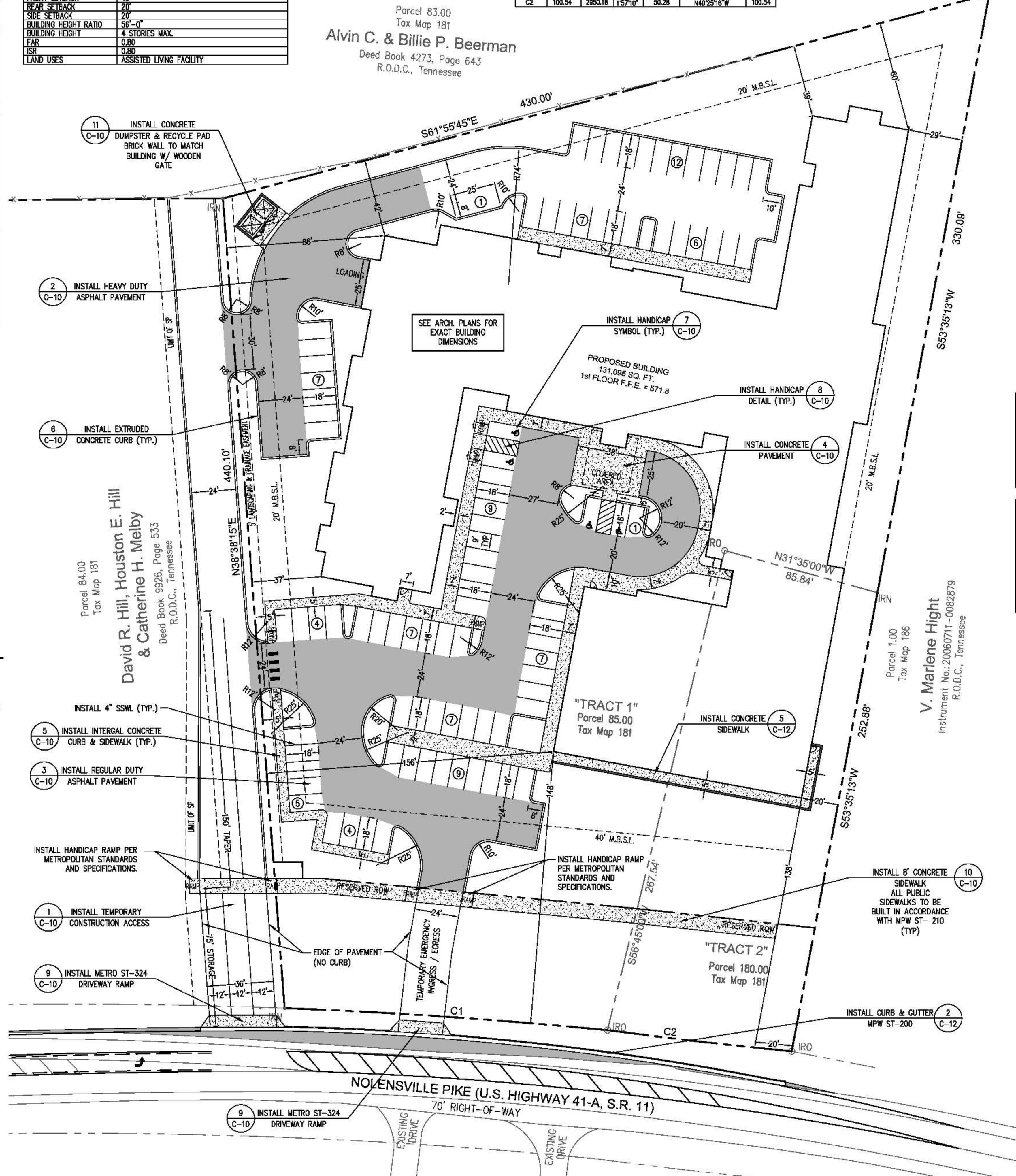
- THE PURPOSE OF THIS SP IS TO PERMIT AN ASSISTED CARE LIVING FACILITY AND A MAXIMUM OF 59 MULTI-FAMILY RESIDENTIAL UNITS. (SEE TABLE ABOVE)
- FEDERAL COMPLIANCE: ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: [HTTP://WWW.ADA.GOV](http://www.ada.gov) U.S. JUSTICE DEPT.: [HTTP://WWW.JUSTICE.GOV/CRT/HOUSING/FAIRHOUSING/ABOUT\\_FAIRHOUSINGACT.HTM](http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm)
- DIMENSIONS SHOWN ARE TO THE FACE-OF-CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS, PORCHES, RAMPS, SIDEWALKS, AND PRECISE BUILDING DIMENSIONS.
- ALL CURB RETURN RADII TO BE A MINIMUM OF 3 FEET UNLESS NOTED OTHERWISE HEREON.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL DEBRIS, MATERIAL AND RUBBISH RESULTING FROM THE PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL PROCEDURES SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE LOCATION OF ALL PROPERTY LINES AND EXISTING UTILITIES, THE LEGAL DESCRIPTION, TOPOGRAPHIC CONTOURS, AND SPOT ELEVATIONS, AND ALL PHYSICAL FEATURES INCLUDING STRUCTURE LOCATIONS WERE PROVIDED BY: JAMES TERRY & ASSOCIATES, LAND SURVEYORS 2601 ELM HILL PIKE, SUITE R NASHVILLE, TENNESSEE 37214 PHONE: (615) 490-6920
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES (INCLUDING STORM DRAINAGE PIPES OR STRUCTURES) BEFORE COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY ACC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS.

**GENERAL PLAN CONSISTENCY:**

- THE EXISTING PROPERTY HAS A SMALL RESIDENTIAL HOUSE ON ONE OF THE TWO LOTS. THE LARGER LOT IS VACANT. THE GENERAL PLAN CALLS FOR THIS PROPERTY BEING DEVELOPED RESIDENTIAL WHICH THE PROPOSED ASSISTED LIVING SITE IS ALLOWED.
- THE NORTHERN PROPERTY LINE OF THE SP ALSO IS THE LINE IN THE GENERAL PLAN WHERE THE PROPERTY TO OUR NORTH IS PLANNED FOR COMMERCIAL USE.

PROPOSED DEVELOPMENT / LAND USES SITE DATA TABLE	DESCRIPTION	SPECIFIC PLAN (SP)
PROPOSED USE(S)	ASSISTED LIVING FACILITY	
FRONT SETBACK	40'	
REAR SETBACK	20'	
SIDE SETBACK	20'	
BUILDING HEIGHT RATIO	56'-0"	
BUILDING HEIGHT	4 STORIES MAX.	
FAR	0.80	
ISR	0.80	
LAND USES	ASSISTED LIVING FACILITY	

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD DIRECTION CHORD
C1	173.46	2850.16	324.27°	87.75	N43°06'04"W 173.43
C2	100.54	2850.16	137°10'	80.28	N40°25'46"W 100.54



**BUILDING MATERIAL LIST**

**DOORS**  
EXTERIOR SERVICE DOORS ARE TO BE FLUSH STEEL DOORS IN GALVANIZED HOLLOW METAL FRAMES.  
EXTERIOR ENTRY DOORS AND DOORS IN VESTIBULE AT MEMORY CARE TO BE FULL-GLASS STOREFRONT TYPE DOORS.  
ENTRY DOORS AT L/L ENTRY VESTIBULE ARE TO BE BI-PARTING AUTOMATIC GLASS ENTRY DOORS.  
EXTERIOR DOORS AT PORCHES AND COURTYARDS ARE TO BE A FIBERGLASS FRENCH STYLE PATIO DOORS.

**WINDOWS**  
EXTERIOR WINDOWS TO BE FIBERGLASS SINGLE-HUNG IN STANDARD FACTORY COLOR. (MARVIN INTEGRITY OR APPROVED SIMILAR).  
WINDOWS IN MEMORY CARE UNIT TO HAVE OPENING RESTRICTORS TO PREVENT OPENING BEYOND 4".

**WALL CLADDING**  
EXTERIOR WALLS ARE TO BE A COMBINATION OF FIBER CEMENT PANELS (SMOOTH OR BRICK-LOOK) AND FIBER CEMENT LAP-SIDING BOARD AND/OR BOARD AND BATTEN. NICHIHA OR APPROVED SIMILAR.  
TRIM AND SOFFIT MATERIALS ARE TO BE A PAINTED FIBER CEMENT BOARD (NICHIHA OR APPROVED SIMILAR).  
PER CURRENT ENERGY CODE REQUIREMENTS, EXTERIOR WALLS AT THE AL/L ARE TO BE INSULATED WITH R-13 BATT INSULATION AND CONTINUOUS R-7.5 RIGID INSULATION AND WALLS AT THE MC ARE TO HAVE R-21(5.25" HIGH-DENSITY) BATT INSULATION.

**ROOFING**  
ROOFING AT MEMORY CARE SLOPES AND GABLES IS TO BE A 20-YEAR FIBERGLASS SHINGLE; FLAT ROOF AREAS TO BE A SINGLE-PLY MEMBRANE. GABLED ROOFS WILL BE DRAINED TO GUTTERS AND DOWNSPOUTS. FLAT ROOF AREAS WILL NEED RAINWATER LEADERS RUN THROUGH THE BUILDING.  
SLOPED ROOFS WILL BE INSULATED WITH VENTED, INSULATED PANELS ABOVE TRUSSES AND FLAT ROOFS TO HAVE TAPERED RIGID INSULATION BOARDS ON DECKING, CONTINUOUS R-20 AT ALL LOCATIONS.

**OTHER**  
PORCH CONCRETE FLOOR SLABS ARE TO BE FINISHED WITH A CHEMICAL STAIN PROCESS.

THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

THE SPECIFIC PLAN PROCESS IS A MULTI-STEP PROCESS. IF THE PRELIMINARY SP IS APPROVED, THERE ARE ADDITIONAL STEPS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT. THESE STEPS INCLUDE: FINAL SITE PLAN AND BUILDING PERMIT REVIEW. THE FINAL SITE PLAN IS SUBMITTED THROUGH THE NORMAL PLANNING COMMISSION REVIEW PROCESS. FOR BUILDING PERMIT REVIEW, WHEN APPLYING FOR A BUILDING PERMIT YOU MUST SUBMIT 3 COPIES OF PLANS AND A REVIEW FEE OF \$250 DIRECTLY TO THE PLANNING FRONT COUNTER FOR PROCESSING. WE DO NOT NEED THE COMPLETE BUILDING PERMIT SET. PLEASE SUBMIT ONLY SITE PLAN, LANDSCAPING PLAN, GRADING PLAN, AND BUILDING ELEVATIONS.

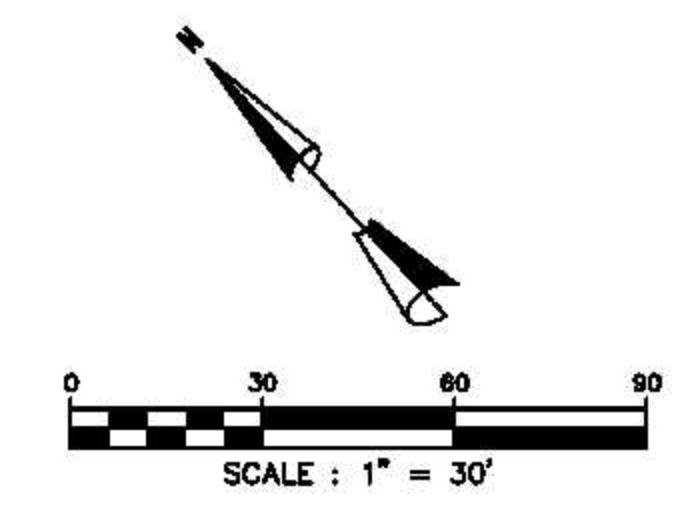
**PARKING SUMMARY**

86	REGULAR PARKING SPACES
4	HANDICAP PARKING SPACES
90	TOTAL PARKING SPACES
74	REQUIRED PARKING SPACES

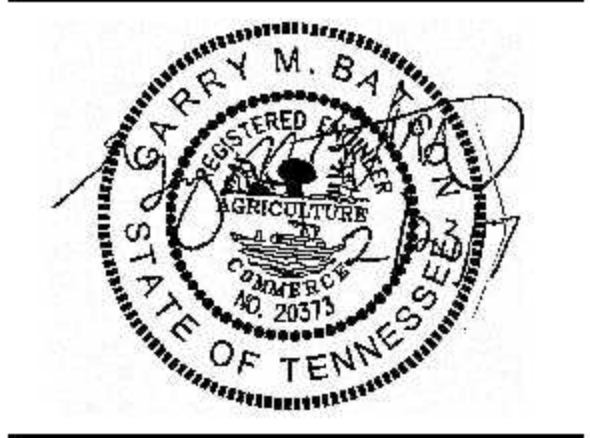
1 PER BED FOR 58 INDEPENDENT AND  
1 PER 3 BEDS FOR 48 ASSISTED LIVING  
= 74 PARKING SPACES

**LEGEND**

[Symbol]	HEAVY DUTY PAVEMENT
[Symbol]	REGULAR DUTY PAVEMENT
[Symbol]	CONCRETE SIDEWALK/PAVEMENT
(24)	INDICATES NUMBER OF PARKING SPACES IN ROW
(2) C-4	DETAIL "2" ON SHEET "C4"
SSWL	4" SINGLE SOLID WHITE LINE



5150 REMINGTON DRIVE  
BRENTWOOD, TENNESSEE 37027  
(615) 424-4840 • FAX (615) 370-9363



**TRADITIONS**  
**PRELIMINARY**  
**SP PLAN**

6922 NOLENSVILLE PIKE  
NASHVILLE, TN

CASE NO: 2017SP-070-001  
MAP: 181 PARCEL: 85 & 180

DESCRIPTION	DATE
COMMENT 1	19 JUL 2017

PROJECT NO. -  
DATE 28 JUN 2017  
DRAWN BY NN  
CHECKED BY GMB

**SITE LAYOUT PLAN**