

PRELIMINARY SPECIFIC PLAN ALMC NASHVILLE

NASHVILLE, DAVIDSON COUNTY, TN

PREPARED FOR:
MERIDIAN REALTY ADVISORS, L.P.
DALLAS, TX

CASE NO. 2017SP-068-001
REVISED JULY 31, 2017

J-26783.000

PREPARED BY:



DEVELOPMENT SUMMARY/SITE DATE
PROJECT NAME: ALMC NASHVILLE
MAP/PARCEL: MAP 172, PARCEL 09
SITE ADDRESS: EDMONSON PIKE, NASHVILLE, TN
SITE ACREAGE: 14.24 ACRE
COUNCIL DISTRICT: 04
COUNCIL MEMBER: ROBERT SWOPE
EXISTING USE: VACANT LAND
EXISTING ZONING: R-40
OVERLAYS: OV-FLD, OV-AIR
PROPOSED USE: ASSISTED LIVING
PROPOSED ZONING: SP
SP DISTRICT STANDARDS:
LOT SIZE: 6.75 ACRE
FAR: 29
ISR: 27
STREET SETBACK/SETBACK TYPES:
CLOVERLAND DR. = T3-R-AB2, 8 FT. GRASS STRIP, 6 FT. SIDEWALK
BUILDING HEIGHT:
3 STORIES
BUILDING DATA:
3-STORY ASSISTED LIVING, APPROXIMATELY 62,000 SF
1-STORY MEMORY CARE, APPROXIMATELY 22,000 SF
PARKING REQUIREMENTS:
1 SPACE PER 3 BEDS:
ASSISTED LIVING = 79 BEDS = 27 SPACES
MEMORY CARE = 44 BEDS = 15 SPACES
TOTAL = 42 SPACES
PARKING PROVIDED: 65 SPACES
DEVELOPER:
RON CIBULKA
MERIDIAN REALTY ADVISORS
1301 TURTLE CREEK BLVD., SUITE 1050
DALLAS, TX 75219
APPLICANT:
ALAN MAHER, PE
THOMAS & HUTTON
615 MAIN STREET
NASHVILLE, TN 37206

NOTES

- THE PURPOSE OF THIS SP IS TO PERMIT AN ASSISTED LIVING AND MEMORY CARE FACILITY.
- ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 76/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN MARCH OF 2018 AND WILL TAKE APPROXIMATELY 12 MONTHS TO BE COMPLETED.
- EFS, VINYL SIDING, AND UNTREATED WOOD SHALL BE PROHIBITED.



VICINITY MAP
SCALE: 1" = 1000'

Sheet List Table

Sheet Number	Sheet Title
C0	COVER SHEET
EX1.1	EXISTING CONDITIONS
C1.0	OVERALL SITE PLAN
C1.1	SITE PLAN
C2.1	WATER AND SEWER PLAN
C3.1	PAVING, GRADING, AND DRAINAGE PLAN
L0.0	SITE PLAN
L0.1	SITE PLAN
L0.2	SITE PLAN SECTION/ELEVATIONS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN

REVISION HISTORY

REV. NO.	REVISION	BY	DATE

SUBMITTAL HISTORY

SUBMITTED TO	DATE



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Call before you dig.

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T:\Users\Alan Maher\Documents\ALMC Nashville\Map 172 - Parcel 09 - J-26783.000 - 8/2/2017 - 12:04:53 PM

J-26783.000
ALMC NASHVILLE

NOTES

1. SURVEYOR'S LIABILITY FOR THE DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY WHOSE SIGNATURE APPEARS UPON THE SURVEY.
2. PARCELS NUMBERS SHOWN AS THUS (00) REFER TO TAX MAP 172, DAVIDSON COUNTY, TENNESSEE.
3. ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
4. A PORTION OF THE PROPERTY DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "AE" AND ZONE "X" AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBERS 47037C0386H & 47037C0388H, DATED APRIL 5, 2017.
5. PRIOR TO ANY CONSTRUCTION, EXCAVATION OR ANY DISTURBANCE OF THE EXISTING GROUND ELEVATION, THE OWNER AND / OR CONTRACTOR SHOULD ASSUME RESPONSIBILITY OF CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATION OF UNDERGROUND GAS LINES, TELEPHONE LINES, ELECTRIC CABLES, WATER LINES, ETC. TO AVOID ANY HAZARD OR CONFLICT. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR EXCAVATION TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. DIAL 811 FOR A ONE CALL CENTER.
6. UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATIONS THAT WERE APPARENT AND COPIED FROM APPROPRIATE GOVERNING AGENCIES MAPS AND ARE APPROXIMATE AT BEST. THERE MAY BE UTILITIES, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR.
7. TOPOGRAPHIC INFORMATION WAS DERIVED BY RANDOM SHOTS PER FIELD SURVEY; CONTOUR INTERVAL IS 1'. DATUM BASED ON NAVD 88.
8. ALL DEED & PLAT REFERENCES ARE MADE TO THE REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE (RODC) UNLESS NOTED OTHERWISE.
9. ACCORDING TO I.N. 200604110041534 (SUBJECT PROPERTY DEED), THE PROPERTY IS SUBJECT TO A PRIVATE CEMETERY LOCATED ON THE PROPERTY WITH RIGHT OF INGRESS AND EGRESS THERETO.
10. SURVEY FIELD DATA COLLECTED ON MARCH 31, 2017.

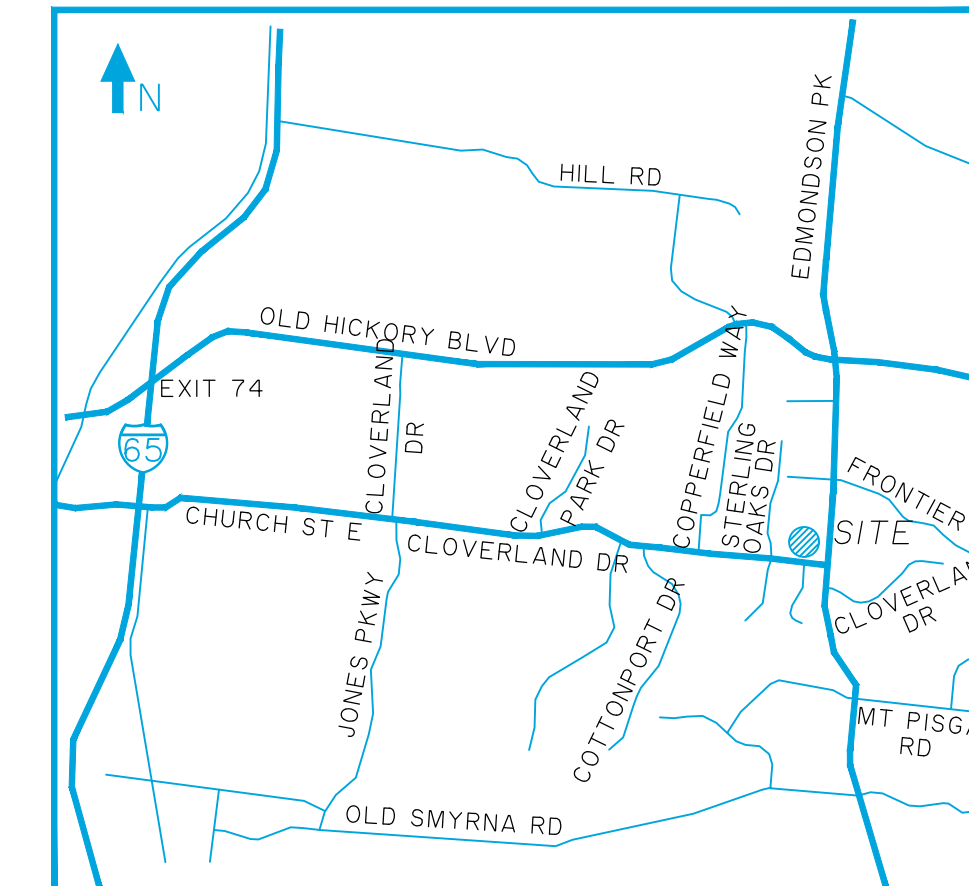
● SITE BM #1: TAG BOLT #1565 V22 ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST ROW INTERSECTION OF EDMONDSON PK AND CLOVERLAND DR. ELEV.: 630.18

● SITE BM #2: TAG BOLT #1640 V8 ON FIRE HYDRANT LOCATED NEAR THE NORTHEAST CORNER OF PROPERTY ELEV.: 631.34

● PROJECT BM: NAVD 88 (GPS DERIVED)

LEGEND

PARCEL NO.	(xx)
LOT NO.	(xy)
IRON ROD (OLD)	AR(O)
IRON ROD (SET)	AR(N)
PROPERTY LINE	---
PROPERTY LINE	x
CONTOUR LINE	-500-
OVERHEAD POWER LINE	OH
SANITARY SEWER LINE	8" S SAN
STORM SEWER LINE	15" S T
WATER LINE	8" W
GAS LINE	2" G
GUARDRAIL	○
TRAFFIC SIGNAL BOX	TSB
UTILITY POLE	○
GUY WIRE	☆
UTILITY POLE W/ LIGHT	○
SANITARY SEWER MANHOLE	○
CURB INLET	▤
FIRE HYDRANT	○
WATER METER	W
WATER VALVE	W
CONCRETE	■



PROPERTY DESCRIPTION

Being a tract of land lying in the 4th District of Davidson County, Nashville, Tennessee. Bounded on the south by the northern Right of Way (ROW) of Cloverland Drive (ROW width varies); bounded on the west by ROW of Sterling Oaks Cove and by Open Space and Lots 1 - 6 of Sterling Oaks, Phase 1, as recorded in Plat Book 8250, Page 998, Register's Office of Davidson County, Tennessee (RODC); bounded on the north by Gail Johnson and Joe D. Puckett as recorded in Instrument Number 200201230009093, RODC; and bounded on the east by the western ROW of Edmondson Pike (ROW width varies). Tract being more particularly described as follows:

POINT OF BEGINNING being a found iron rod with "VOLUNTEER" cap lying on the northwest ROW intersection of said Edmondson Pike and said Cloverland Drive; thence along said southern ROW of Cloverland Drive with the following: South 55°05'40" West 26.67 feet to a found iron rod with "VOLUNTEER" cap; thence North 83°08'18" West 613.85 feet to a found iron rod with "VOLUNTEER" cap; thence North 84°06'52" West 233.91 feet to a found iron rod with "VOLUNTEER" cap; thence along the common line of said Open Space and Lots 1 - 6 and ROW of Sterling Oaks Cove North 07°01'50" East 708.97 feet to a found iron rod with "VOLUNTEER" cap; thence along the common line of said Johnson and Puckett South 85°36'11" East 851.43 feet to a found iron rod with "VOLUNTEER" cap; thence along said western ROW of Edmondson Pike with the following: South 06°51'53" West 68.85 feet to a set iron rod with cap; thence South 06°09'55" West 306.57 feet to a found iron rod with "VOLUNTEER" cap; thence South 05°01'42" West 348.62 feet to the point of beginning.

Bearings based on Tennessee State Plane Coordinate System.
Tract contains 620,361 square feet or 14.24 acres.

SURVEYOR'S COMMENTS

COMMITMENT OF TITLE INSURANCE BY:
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
COMMITMENT NUMBER: 170273 /AB
COMMITMENT DATE: MARCH 6, 2017 AT 08:00 AM

SCHEDULE B - SECTION II
ITEM #
9. BOOK 7573, PAGE 241, AFFECTS PROPERTY AS SHOWN.
11. BOOK 5257, PAGE 282, AFFECTS PROPERTY AS SHOWN.
12. INSTRUMENT NUMBER 200603150030022 AFFECTS PROPERTY AS SHOWN.

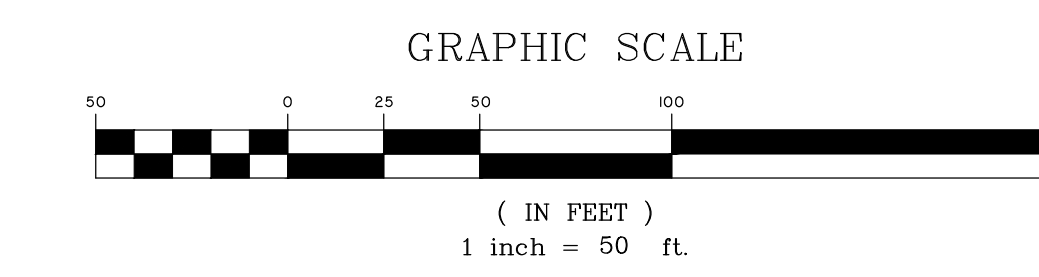
SURVEYOR'S CERTIFICATE

To: Meridian Realty Advisors, LP., a Texas limited partnership; Thoroughbred Lane Investment, LLC, a Tennessee limited liability company; and Old Republic National Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1,2,3,4,5,7(b)(1),8,11,12,13 and 14 of Table A thereof. The field work was completed on March 31, 2017.

Date of Plat or Map: April 6, 2017

By: _____ Date: _____
#####, ## Registered Land Surveyor no.
###



NO.	REVISIONS	BY	DATE

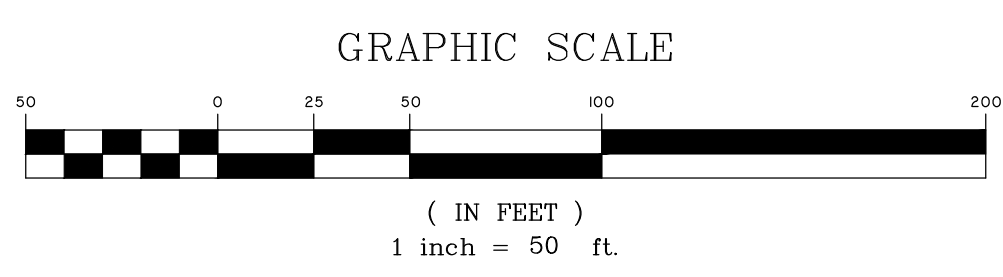
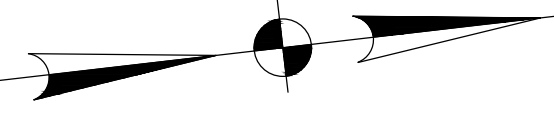
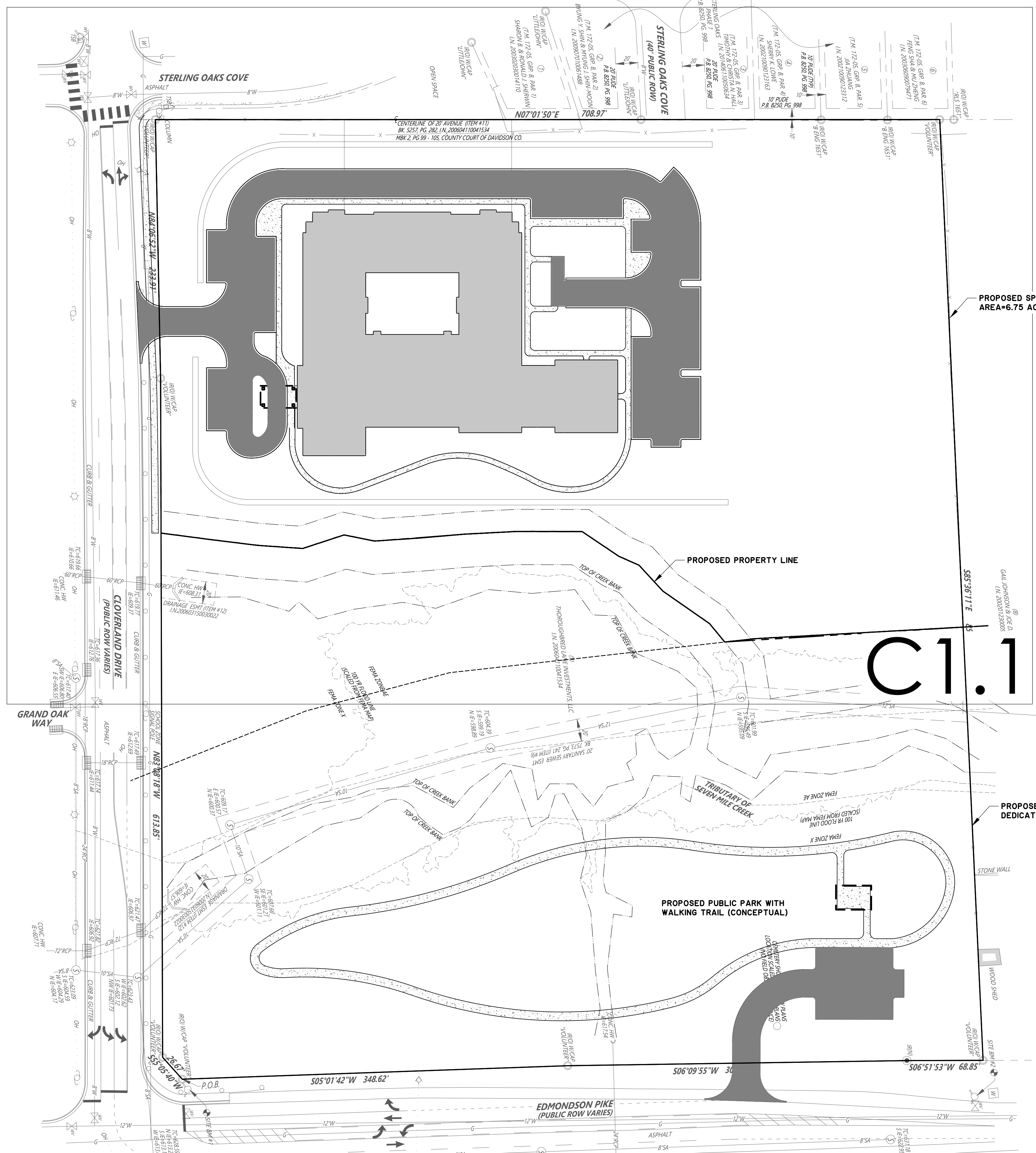
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NASHVILLE, DAVIDSON COUNTY, TN
ALMC NASHVILLE
EXISTING CONDITIONS

JOB NO: J-26783.000
DATE: _____
DRAWN: _____
DESIGNED: _____
REVIEWED: _____
APPROVED: _____
SCALE: 1" = 50'

EX1.1

C:\Users\janderson\OneDrive\Documents\OverallSitePlan.dwg - Aug 12, 2024 - 2:05:58 PM



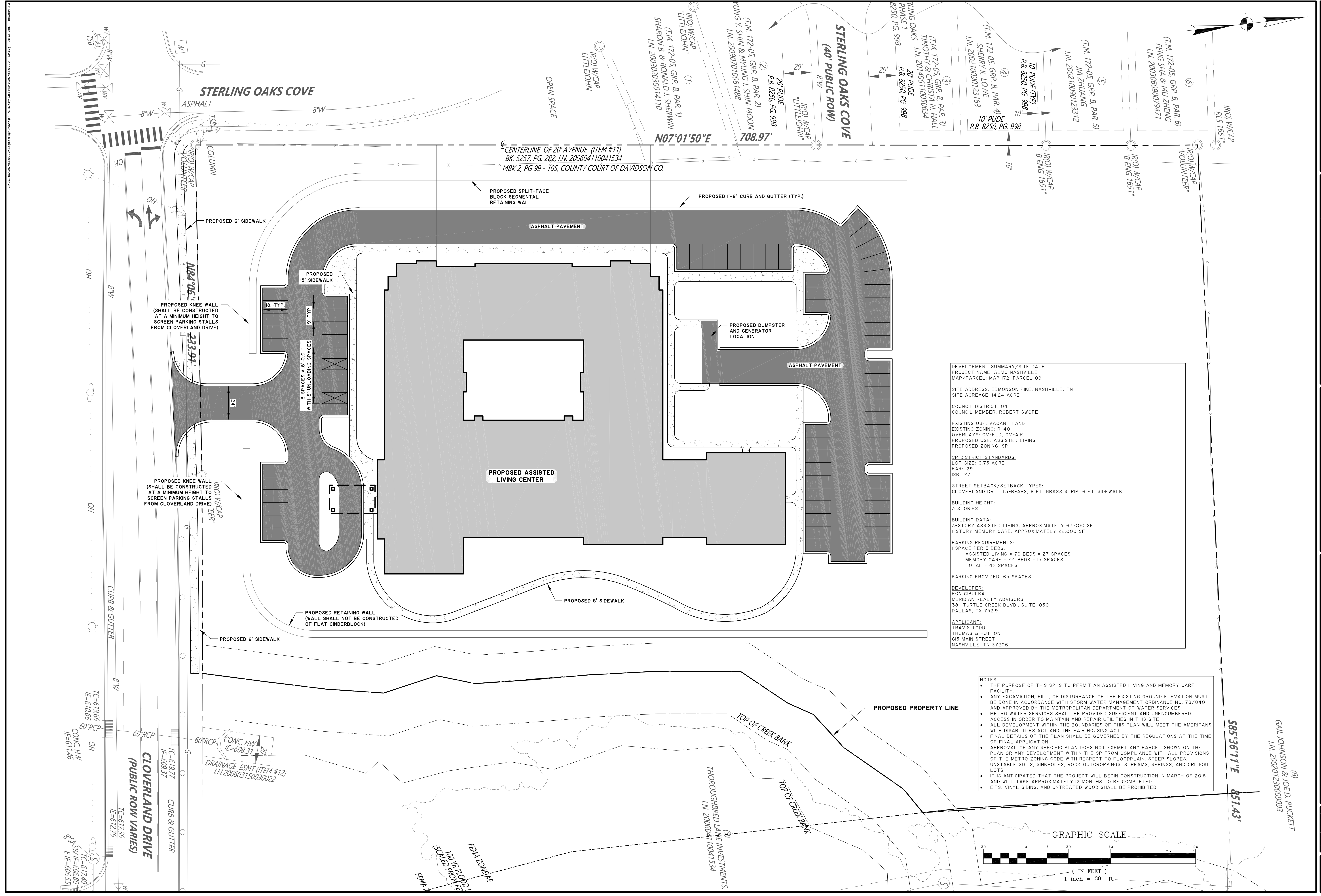
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MERIDIAN REALTY ADVISORS, L.P.
 NASHVILLE, DAVIDSON COUNTY, TN
 ALMC NASHVILLE
OVERALL SITE PLAN

JOB NO: J-26783,000
 DATE: _____
 DRAWN: _____
 DESIGNED: _____
 REVIEWED: _____
 APPROVED: _____
 SCALE: 1" = 50'

C1.0



DEVELOPMENT SUMMARY/SITE DATE
 PROJECT NAME: ALMC NASHVILLE
 MAP/PARCEL: MAP 172, PARCEL 09
 SITE ADDRESS: EDMONSON PIKE, NASHVILLE, TN
 SITE ACREAGE: 14.24 ACRE

COUNCIL DISTRICT: 04
 COUNCIL MEMBER: ROBERT SWOPE

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 EXISTING ZONING: R-40
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 PROPOSED USE: ASSISTED LIVING
 PROPOSED ZONING: SP

SP DISTRICT STANDARDS:
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 ISR: 27

STREET SETBACK/SETBACK TYPES:
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BUILDING HEIGHT:
 3 STORIES

BUILDING DATA:
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 1-STORY MEMORY CARE, APPROXIMATELY 22,000 SF

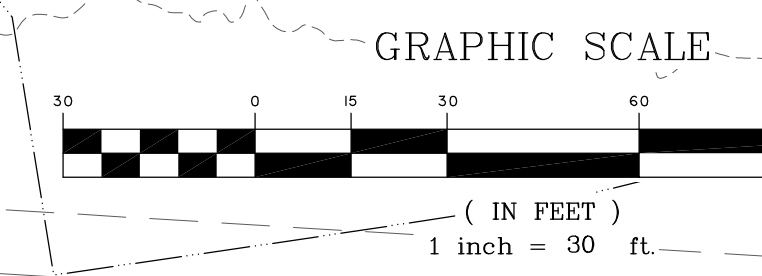
PARKING REQUIREMENTS:
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 ASSISTED LIVING = 79 BEDS = 27 SPACES
 MEMORY CARE = 44 BEDS = 15 SPACES
 TOTAL = 42 SPACES

PARKING PROVIDED: 65 SPACES

DEVELOPER:
 RON CIBULKA
 MERIDIAN REALTY ADVISORS
 381 TURTLE CREEK BLVD., SUITE 1050
 DALLAS, TX 75219

APPLICANT:
 TRAVIS TODD
 THOMAS & HUTTON
 615 MAIN STREET
 NASHVILLE, TN 37206

- NOTES**
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 - EIFS, VINYL SIDING, AND UNTREATED WOOD SHALL BE PROHIBITED



NO.	REVISIONS	BY	DATE

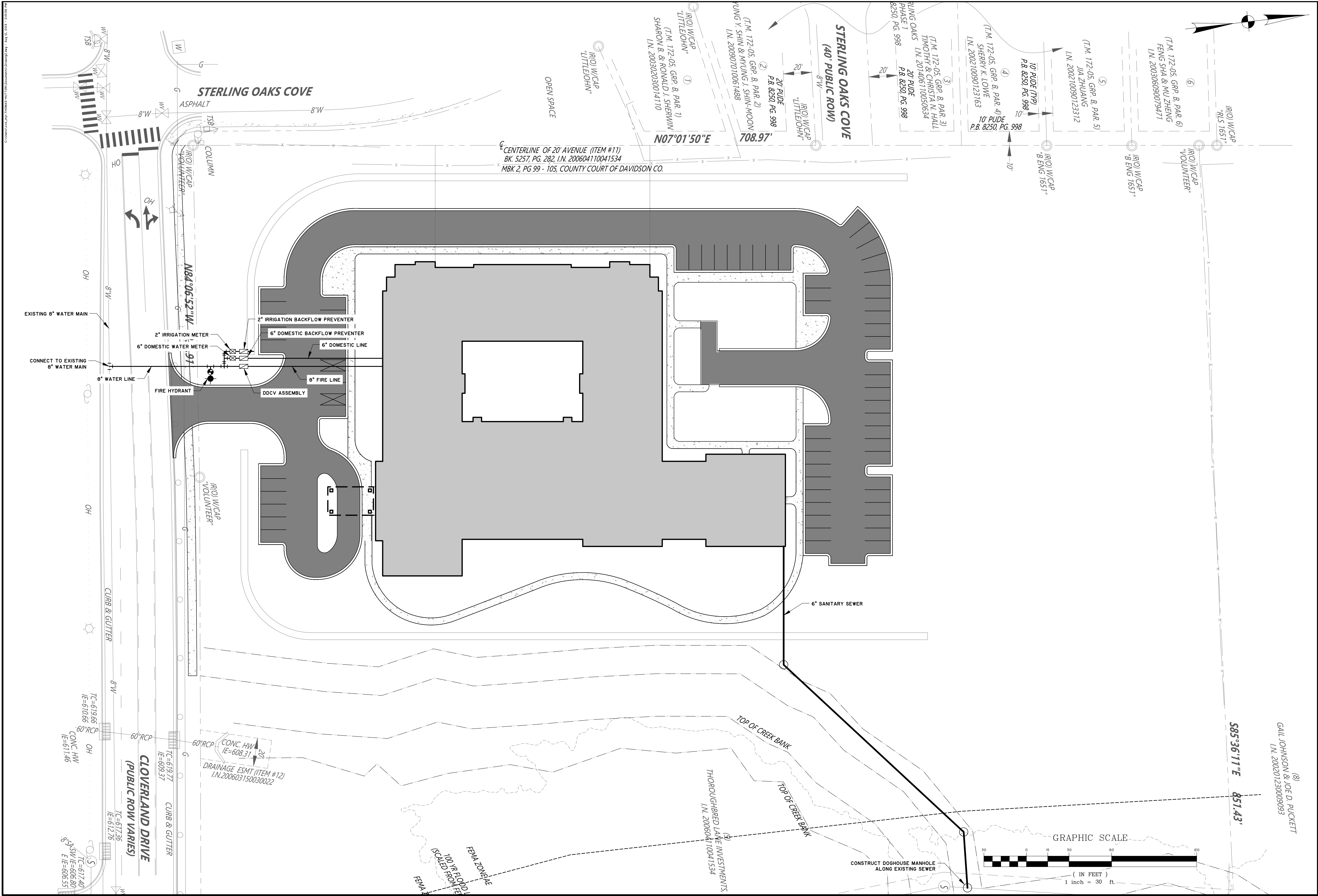
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 ALMC NASHVILLE
SITE PLAN

JOB NO:	J-26783.000
DATE:	
DRAWN:	
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 30'

C1.1



NO.	REVISIONS	BY	DATE

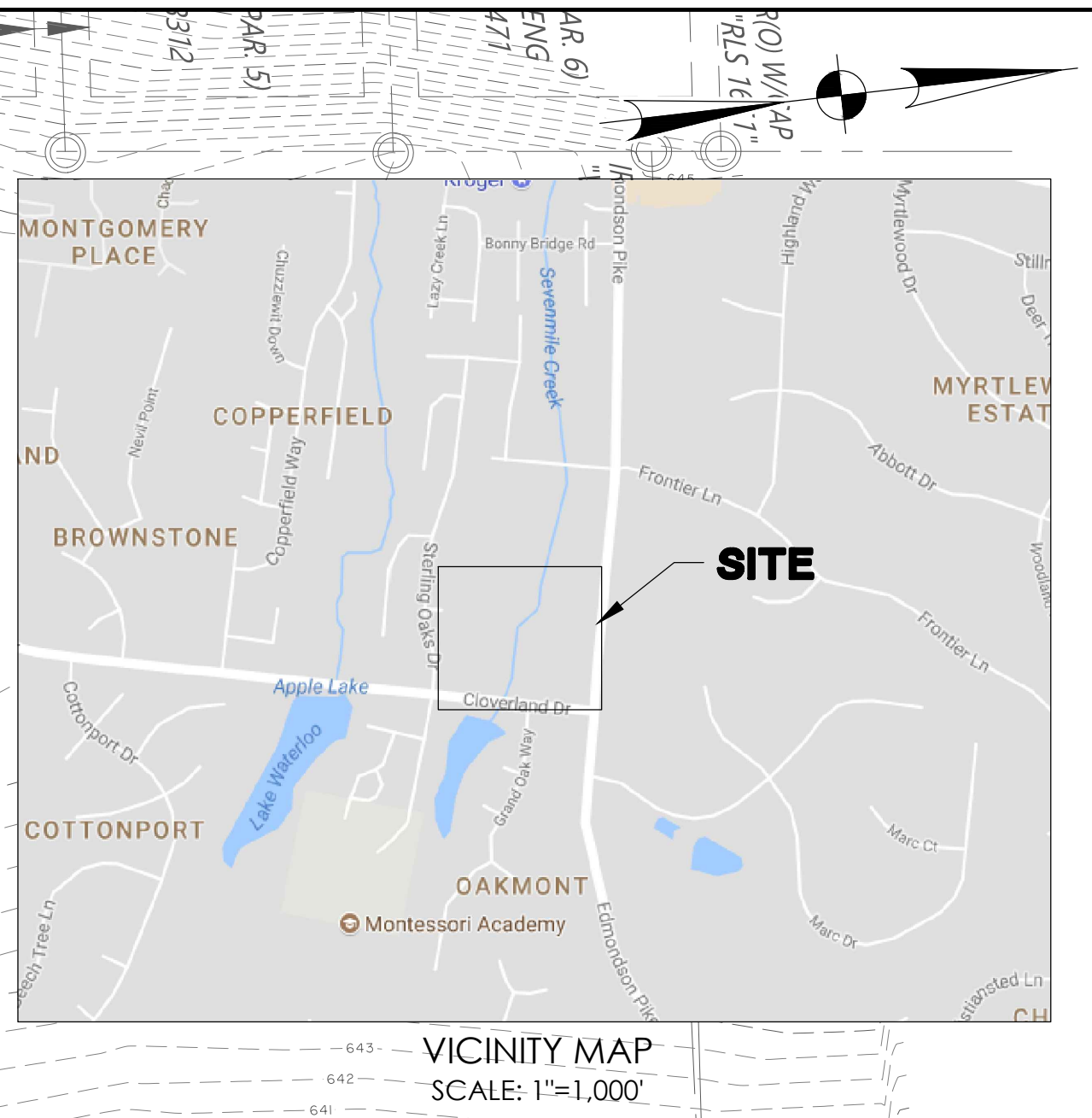
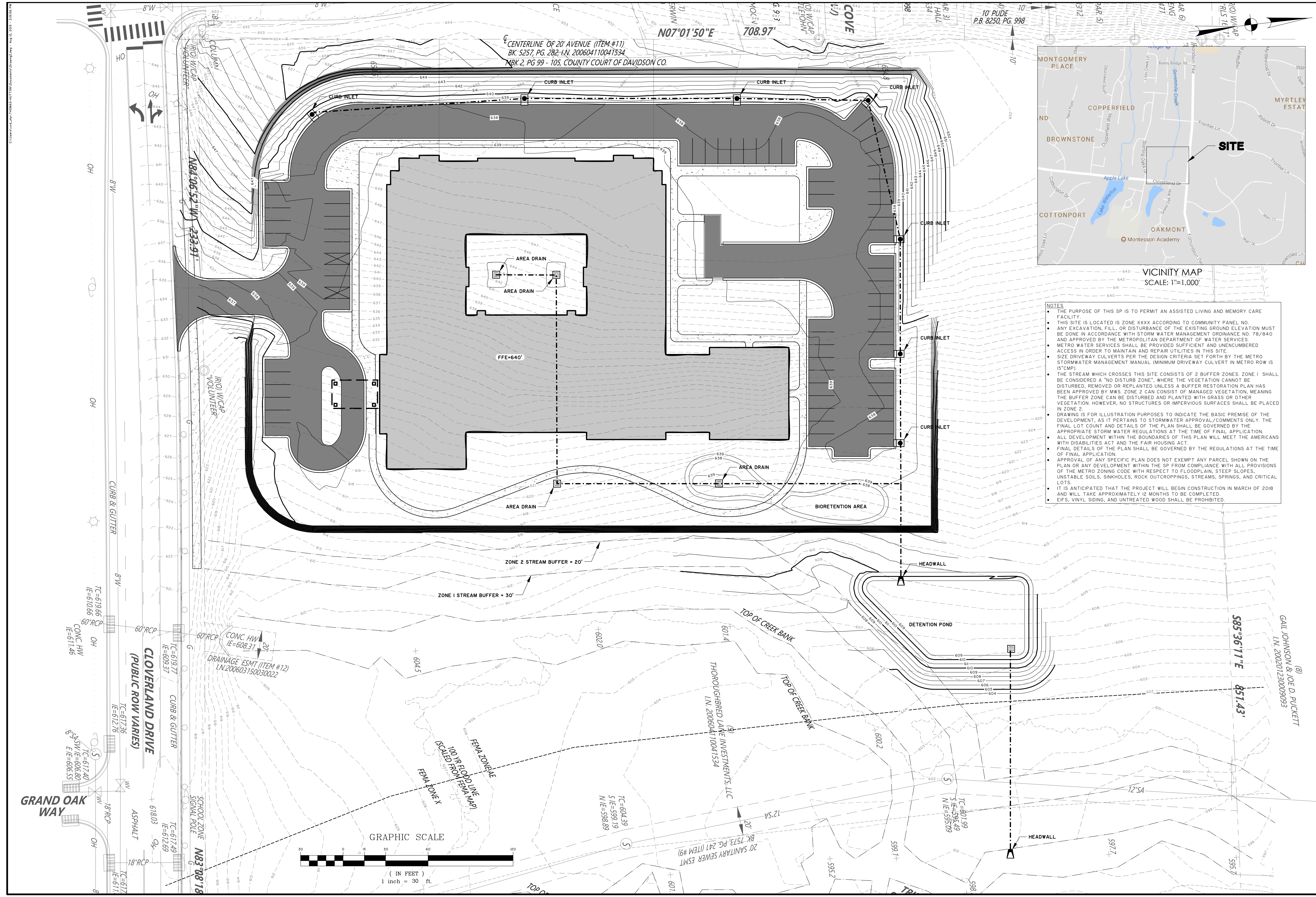
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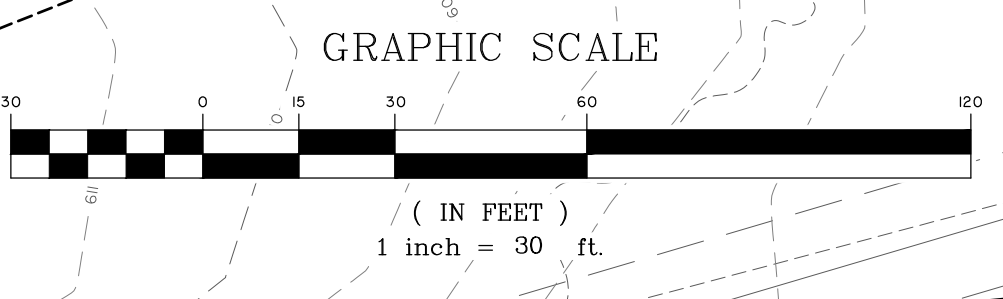
MERIDIAN REALTY ADVISORS, L.P.
 NASHVILLE, DAVIDSON COUNTY, TN
 ALMC NASHVILLE
WATER AND SEWER PLAN

JOB NO:	J-26783,000
DATE:	
DRAWN:	
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 30'

C2.1



- NOTES**
- THE PURPOSE OF THIS SP IS TO PERMIT AN ASSISTED LIVING AND MEMORY CARE FACILITY.
 - THIS SITE IS LOCATED IN ZONE XXXX ACCORDING TO COMMUNITY PANEL NO.
 - ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15\"/>



NO.	REVISIONS	BY	DATE

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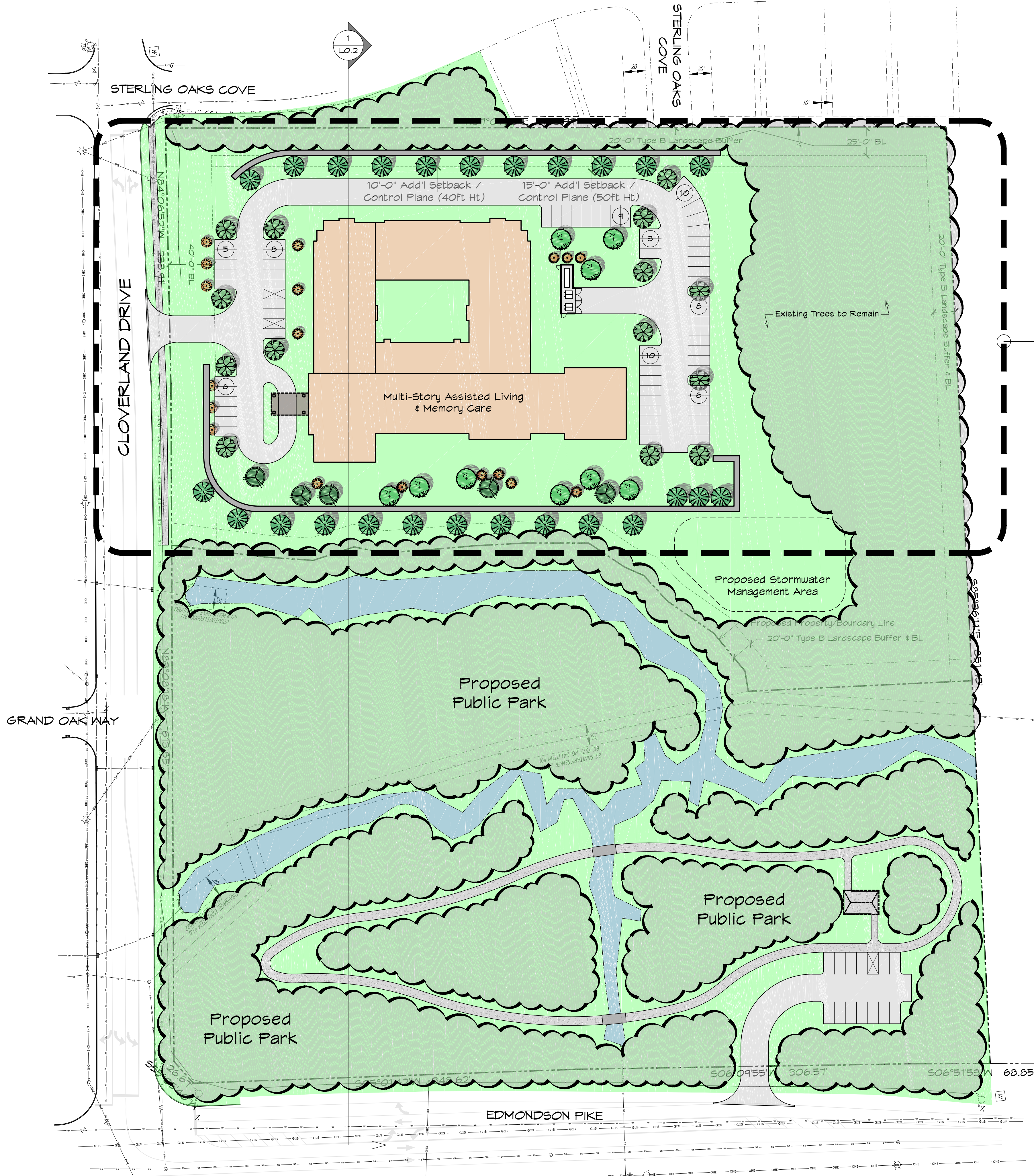
ALMC NASHVILLE

PAVING, GRADING, AND DRAINAGE PLAN

JOB NO: J-26783.000
 DATE: _____
 DRAWN: _____
 DESIGNED: _____
 REVIEWED: _____
 APPROVED: _____
 SCALE: 1" = 30'

C3.1

I:\00-Projects\00 - Site Analysis\2017\Meridian Nashville TN\10_Landscape Architecture\01 Project Drawings\00 P_CAD Files\01_MP_Zoning Exhibit\2017-07\14\LO Site 2\436.dwg Sun, Jul 16, 2017, 3:15pm



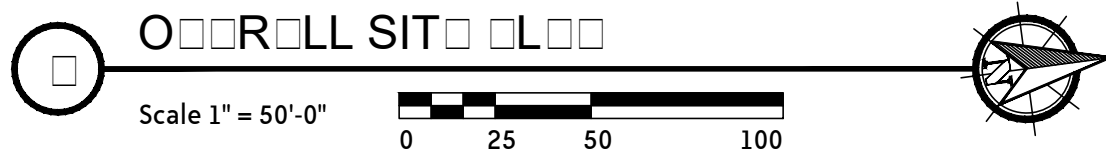
GENERAL NOTES
BASIC INFORMATION
Listing Zoning: Residential
Proposed Zoning: Single-Family
Site Area: [] Acres
Proposed Site Area: [] Acres
Proposed Sublot Area: [] Acres
Proposed Assisted Living: []
Use Allowed by Right: []
JURISDICTION
City of Nashville, Davidson County Metropolitan Board of Zoning Appeals
PROPOSED BUILDING
Type: Residential
Use: Medical Use
Detail: Assisted Living
Story: Assisted Living: [] ately [] sf
Story: Memory Care: [] ately [] sf

SITE DATA
PERCENTAGES
Gross Site Area: [] sf of [] Acres
Gross LMC Site Area: [] sf of [] Acres
Gross Sublot Area: [] sf of [] Acres
Gross Building Area: [] sf of [] Acres
Building Footprint: [] sf of [] LMC site area
Planting Area: [] sf of [] LMC site area
Total Permeable Area: [] sf of [] ISR
Total Open Space: [] sf of [] LMC site area

DEVELOPMENT REGULATIONS
DENSITY
Max Floor to Area Ratio: [] per []
Max Site Coverage: [] per []
SETBACKS
Front: Cloverland Drive: [] ft
Side: East: Remainder: [] ft
Side: West: Sterling Oaks: [] ft
Rear: North: [] ft

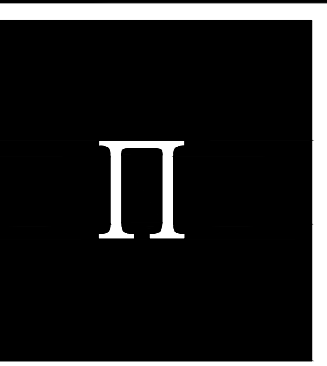
BUFFERS
Stream: Mile Creek: [] ft
Stream: Open Channel: [] ft
Side: East: Remainder: [] ft
Side: West: Sterling Oaks: [] ft
Rear: North: [] ft
BUILDING
Max Building Height: [] ft
[] ft Control Plane
[] ft Control Plane

MARKING
SPECIES
Bedrooms: [] Required, [] Provided
Assisted Living: [] Required, [] Provided
Memory Care: [] Required, [] Provided
Total
[] Required, [] Provided



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NOT BE RESPONSIBLE FOR GROUNDS UTILITIES OR ELECTRICAL, GAS, WATER, SEWER, OR OTHERS. CONSULT PROJECT ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE FLAGGED AND IDENTIFIED. LANDSCAPE CONTRACTOR RESPONSIBILITY.



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architecture + master planning
interiors + landscape architecture

**MERIDIAN REALTY
ALMC NASHVILLE**
Nashville, Tennessee

MASTER PLANNING
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OR CONSTRUCTION
PURPOSES

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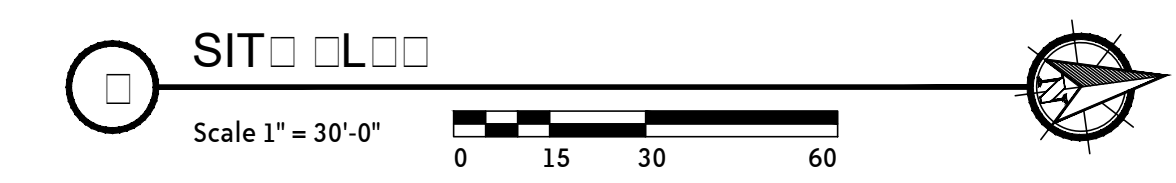
DATE:
July 14, 2017
PROJECT NUMBER:
SHEET TITLE:

SITE PLAN

SHEET:

L0.1

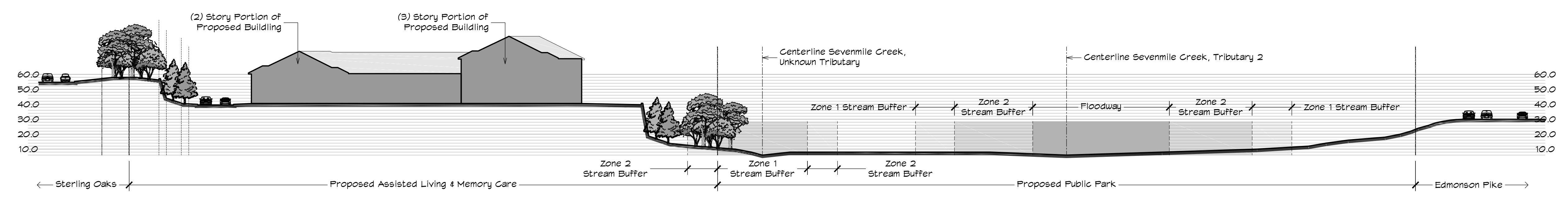
NO: 2 OF: 3



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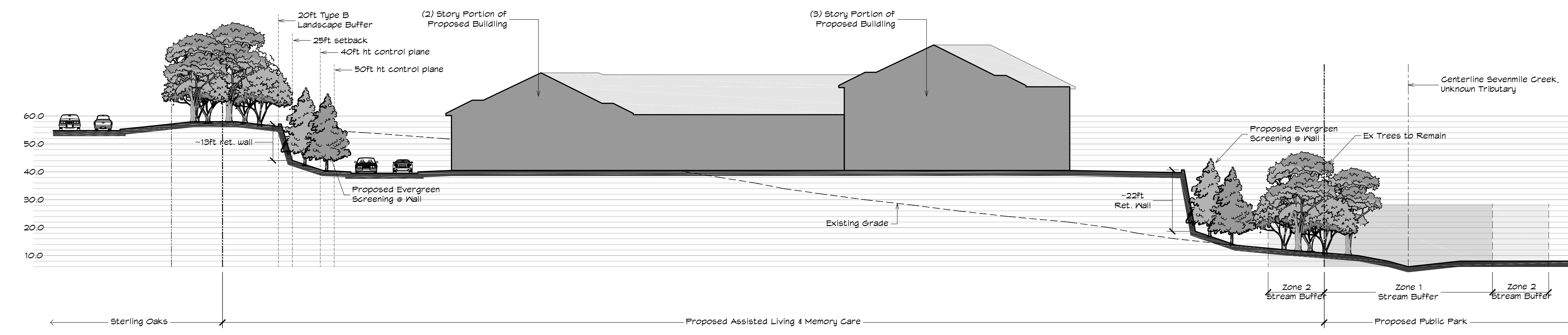
NOT BE RESPONSIBLE FOR UTILITIES OR CONDITIONS OF EXISTING UTILITIES OR OTHERS. CONSULT PROJECT ENGINEER PRIOR TO CONSTRUCTION. ALL UTILITIES TO BE FLAGGED AND IDENTIFIED. LOADS AND CONDITIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.

I:\00-Projects\00_Site Analysis\2017\Meridian Nashville TN\10_Landscape Architecture\00 Project Drawings\00 P CAD Files\01_MP Zoning Exhibit\2017-07\14\LO Site 24x36.dwg Sun, Jul 16, 2017, 3:17pm



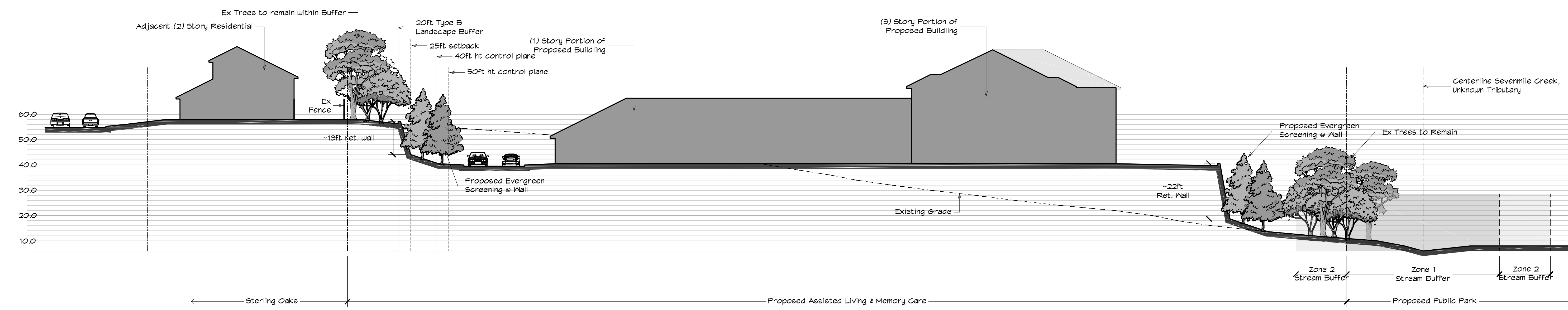
CLOSURE Dr CORALL SIT SECTION LOTTIO

 Scale 1" = 40'-0"



CLOSURE Dr SECTION LOTTIO STRLIG OOKS DR ROW

 Scale 1" = 20'-0"



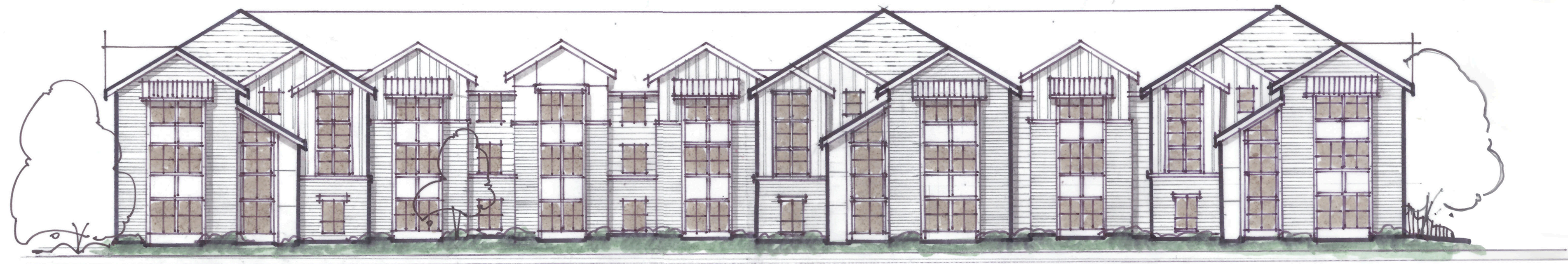
CLOSURE Dr SECTION LOTTIO STRLIG OOKS RESIDENCES

 Scale 1" = 20'-0"

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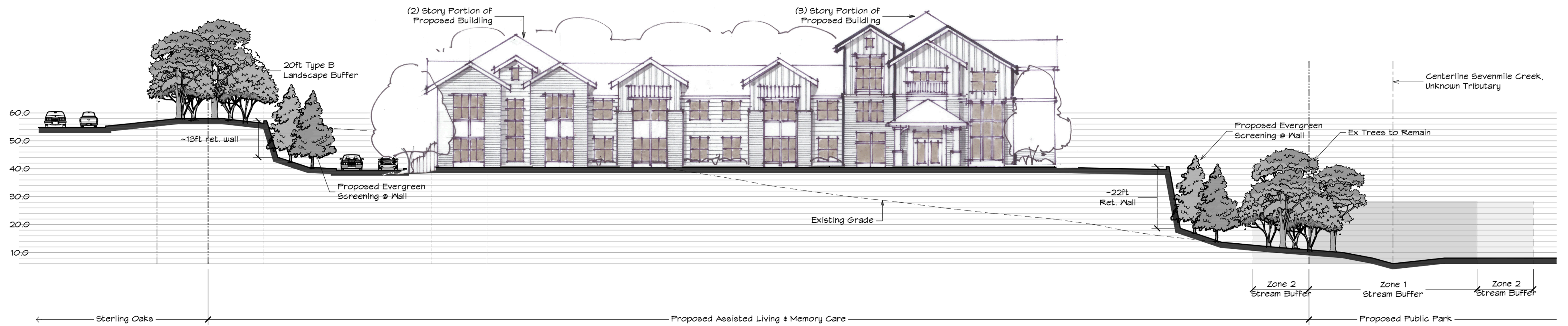
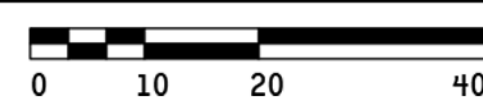
NOT BE RESPONSIBLE FOR UTILITIES TO BE FLAGGED AND IDENTIFIED. LOADS AND CONSTRUCTION RESPONSIBILITY.

I:\00-Projects\00 - Site Analysis\2017\Meridian Nashville TN\10_Landscape Architecture\00 Project Drawings\00 P_CAD Files\01_MP_Zoning Exhibit\2017-07\14\LO Site 2\436.dwg Sun, Jul 16, 2017, 3:18pm



1 EDMONSON PIKE - EAST ELEVATION

Scale 1" = 20'-0"



2 CLOVERLAND DR - SOUTH ELEVATION

Scale 1" = 20'-0"



pi architects

SOUTH & EAST EXTERIOR ELEVATIONS
MERIDIAN ASSISTED LIVING AND MEMORY CARE
 NASHVILLE, TENNESSEE

July 3, 2017

TREES							
ABBRV	QNTY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	TOP
AB	9	Acer buergerianum	Trident Maple	B & B OR CONT. : 3" CAL. ; 12' HT.	AS SHOWN	Specimen	5.4
AF	5	Acer floridanum	Florida Maple	B & B OR CONT. : 3" CALI. ; 12'-14" HT.	AS SHOWN	Specimen	3
AA	20	Amelanchier arborea	Downy Serviceberry	B & B OR CONT. : 2" CALI. ; 12'-14" HT.	AS SHOWN	Specimen	10
BNH	9	Betula nigra 'Heritage'	'Heritage' River Birch	B & B OR CONT. : 3" CALI. ; 10' - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min	5.4
CA	3	Cedrus atlantica 'Glauca'	Blue Atlas Cedar	B & B OR CONT. : 3" CALI. ; 10'-12' HT.	AS SHOWN	Full to ground	1.8
CCF	7	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	B & B OR CONT. : 2" CAL. ; 10' HT X 5' SPD.	AS SHOWN	Specimen, single trunk	3.5
CF	6	Cornus florida	Flowering Dogwood	B & B OR CONT. : 2" CALI. ; 10' - 12' HT.	AS SHOWN	Specimen	3
IANR	33	Ilex aquifolium x cornuta 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B OR CONT. : 2" CALI. ; 8' - 10' X 4'	AS SHOWN	Specimen, full to ground	16.5
JVB	10	Juniperus virginiana 'Burkii'	'Burkii' Eastern Red Cedar	B & B OR CONT. : 3" CALI. ; 10' - 12' HT.	AS SHOWN	Full to ground	6
MV	2	Magnolia virginiana	Sweet Bay Magnolia	B & B OR CONT. : 2" CAL. ; 10' HT.	AS SHOWN	Specimen	1
OP	15	Quercus phellos	Willow Oak	B & B OR CONT. : 3" CAL. ; 14' - 16' HT.	AS SHOWN	Specimen	9
TD	10	Toxodum distichum	Bald Cypress	B & B OR CONT. : 3" CALI. ; 6' - 10' HT.	AS SHOWN	Specimen	6
TGG	8	Thuja 'Green Giant'	Green Giant Western Cedar	B & B OR CONT. : 2" CAL. ; 6' HT. X 3' SPD.	AS SHOWN	Full to ground	4
							TOTAL: 74.6

STREET TREES							
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	
9	ON	Quercus nuttallii	Nuttall Oak	B & B OR CONT. : 3" CAL. ; 16' - 18' HT.	AS SHOWN	Specimen	

SHRUBS							
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	
100	ATB	Asclepias tuberosa	Butterfly weed	CONT. : 18" X 18"		Full	
9	AZF	Azalea indica 'Formosa'	'Formosa' Azalea	CONT. : 18" X 18"	AS SHOWN	Full	
30	AZGT	Azalea indica 'George L. Taber'	'George L. Taber' Azalea	CONT. : 18" X 18"	AS SHOWN	Full	
32	AZCB	Azalea species 'Coral Bells'	Coral Bells Azalea	CONT. : 18" X 18"	AS SHOWN	Full	
29	BAI	Baptisia australis	Blue false indigo	CONT. : 18" X 18"	Full	Full	
12	CALL	Callicarpa americana	American Beautyberry	CONT. : 18" X 18"	AS SHOWN	Full	
18	CGH	China Girl® Holly	Ilex x meserveae 'Mesog'	CONT. : 18" X 18"	AS SHOWN	Full	
13	FOR	Forsythia x intermedia	Forsythia	CONT. : 18" X 18"	AS SHOWN	Full	
8	HYDM	Hydrangea macrophylla	Big Leaf Hydrangea	CONT. : 18" X 18"	AS SHOWN	Full	
30	HYDD	Hydrangea quercifolia	Oak Leaf Hydrangea	CONT. : 18" X 18"	AS SHOWN	Full	
35	ICB	Ilex cornuta 'Burfordii'	Dwarf Burford Holly	CONT. : 18" X 18"	AS SHOWN	Full	
41	ILCA	Ilex cornuta 'Coriata'	Coriata Holly	CONT. : 18" X 18"	AS SHOWN	Full	
55	IGH	Ilex glabra 'Compacta'	Compact Inkberry Holly	CONT. : 18" X 18"	AS SHOWN	Full	
18	ITEV	Ilex virginica 'Henry's Garnet'	'Henry's Garnet' Sweetgum	CONT. : 18" X 18"	AS SHOWN	Full	
82	LOR	Loropetalum chinense 'Ruby'	Evergreen Loropetalum 'Ruby'	CONT. : 18" X 18"	AS SHOWN	Full	
34	RMP	Rhododendron minus	Piedmont rhododendron	CONT. : 18" X 18"	AS SHOWN	Full	

ORNAMENTAL GRASSES AND GROUNDCOVERS							
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	
202	CVR	Conradina verticillata	Cumberland rosemary	CONT. : 12" X 12"		Full	
158	JUNB	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	CONT. : 18" X 18"	3'	Full	
439	LIBB	Liriodie muscari 'Big Blue'	Big Blue Liriodie	CONT. : 6" X 10"	2'	Full	
227	PDP	Phlox divaricata	Wild blue phlox	CONT. : 12" X 12"		Full	
86	PAF	Polystichum acrostichoides	Christmas Fern	CONT. : 18" X 18"	2.5'	Full	
217	RUD	Rudbeckia fulgida 'Goldstrum'	Yellow Coneflower	CONT. : 18" X 18"	2.5'	Full	
32,000SF	SOD	Cynodon dactylon 'Celebration'	Bermudagrass 'Celebration'			Dense roots -----	Measure in Square Feet

TYPE B BUFFER TREES							
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	
6	AB - B	Acer buergerianum	Trident Maple	B & B OR CONT. : 2 1/2" CAL. ; 12' HT.	AS SHOWN	Specimen	
3	CCF - B	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	B & B OR CONT. : 10' HT X 5' SPD.	AS SHOWN	Specimen, single trunk	
4	CF - B	Cornus florida	Flowering Dogwood	B & B OR CONT. : 2 1/2" CALI. ; 10' - 12' HT.	AS SHOWN	Specimen	
8	JVB - B	Juniperus virginiana 'Burkii'	'Burkii' Eastern Red Cedar	B & B OR CONT. : 3" CALI. ; 10' - 12' HT.	AS SHOWN	Full to ground	
4	OP - B	Quercus phellos	Willow Oak	B & B OR CONT. : 2 - 1/2" CAL. ; 14' - 16' HT.	AS SHOWN	Specimen	
8	IANR	Ilex aquifolium x cornuta 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B OR CONT. : 2" CAL. ; 8' - 10' X 4'	AS SHOWN	Specimen, full to ground	

TYPE B BUFFER SHRUBS							
QNTY	ABBRV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	
10	AZCB - B	Azalea species 'Coral Bells'	Coral Bells Azalea	CONT. : 18" X 18"	AS SHOWN	Full	
12	CALL - B	Callicarpa americana	American Beautyberry	CONT. : 18" X 18"	AS SHOWN	Full	
15	CGH - B	China Girl® Holly	Ilex x meserveae 'Mesog'	CONT. : 18" X 18"	AS SHOWN	Full	
12	FOR - B	Forsythia x intermedia	Forsythia	CONT. : 18" X 18"	AS SHOWN	Full	
13	RMP - B	Rhododendron minus	Piedmont rhododendron	CONT. : 18" X 18"	AS SHOWN	Full	

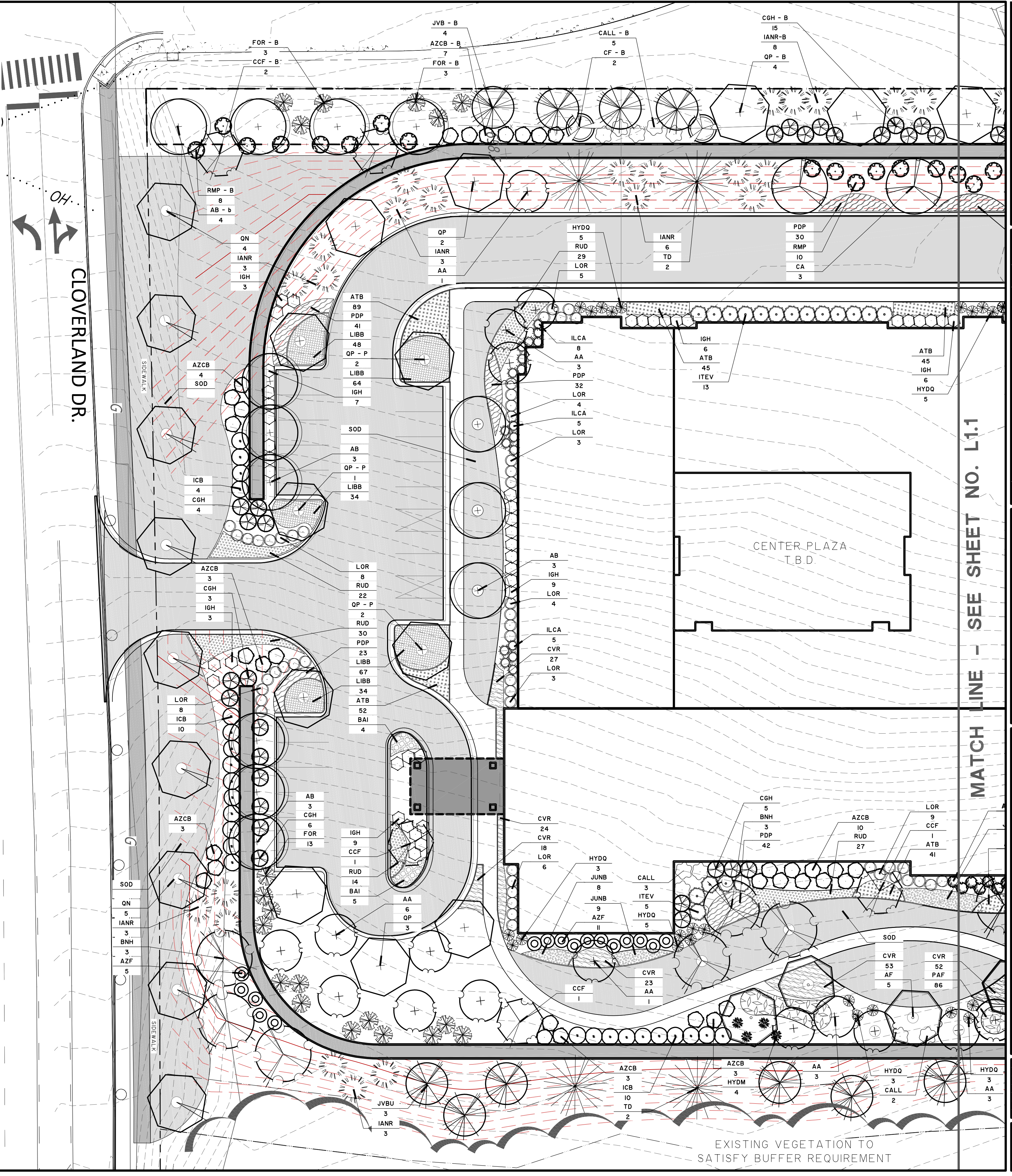
PARKING LOT ISLAND TREES:

TOTAL AMOUNT OF PARKING 62 SPACES
 REQUIRED TREES 1 CANOPY TREE/15 PARKING SPACES
 62/15 = 4.13 TREES
 PROVIDED TREES 5 CANOPY TREES

SITE TREE DENSITY CALCULATIONS:

ACREAGE 14.3 AC.
 ACREAGE DEDICATED TO CITY 7.49 AC.
 BUILDING ACREAGE 93 AC.
 ADJUSTED ACREAGE 5.88 AC.
 TREE DENSITY UNITY REQ. (14TDU/AC. X 5.88 AC.) 82.32

TREE DENSITY UNITS PROVIDED:
 EXISTING TREE CREDITS ** X **EXISTING TREE CREDITS WILL BE DETERMINED UPON COMPLETION OF EXISTING TREE SURVEY.
 PROPOSED TREES 74.6
 2" = 5 UNITS
 3" = 6 UNITS
 TOTAL TREE DENSITY UNITS PROVIDED X



PRELIMINARY NOT FOR CONSTRUCTION

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MERIDIAN REALTY
 BRENTWOOD, TN 37027
 ALCM NASHVILLE
 LANDSCAPE PLAN

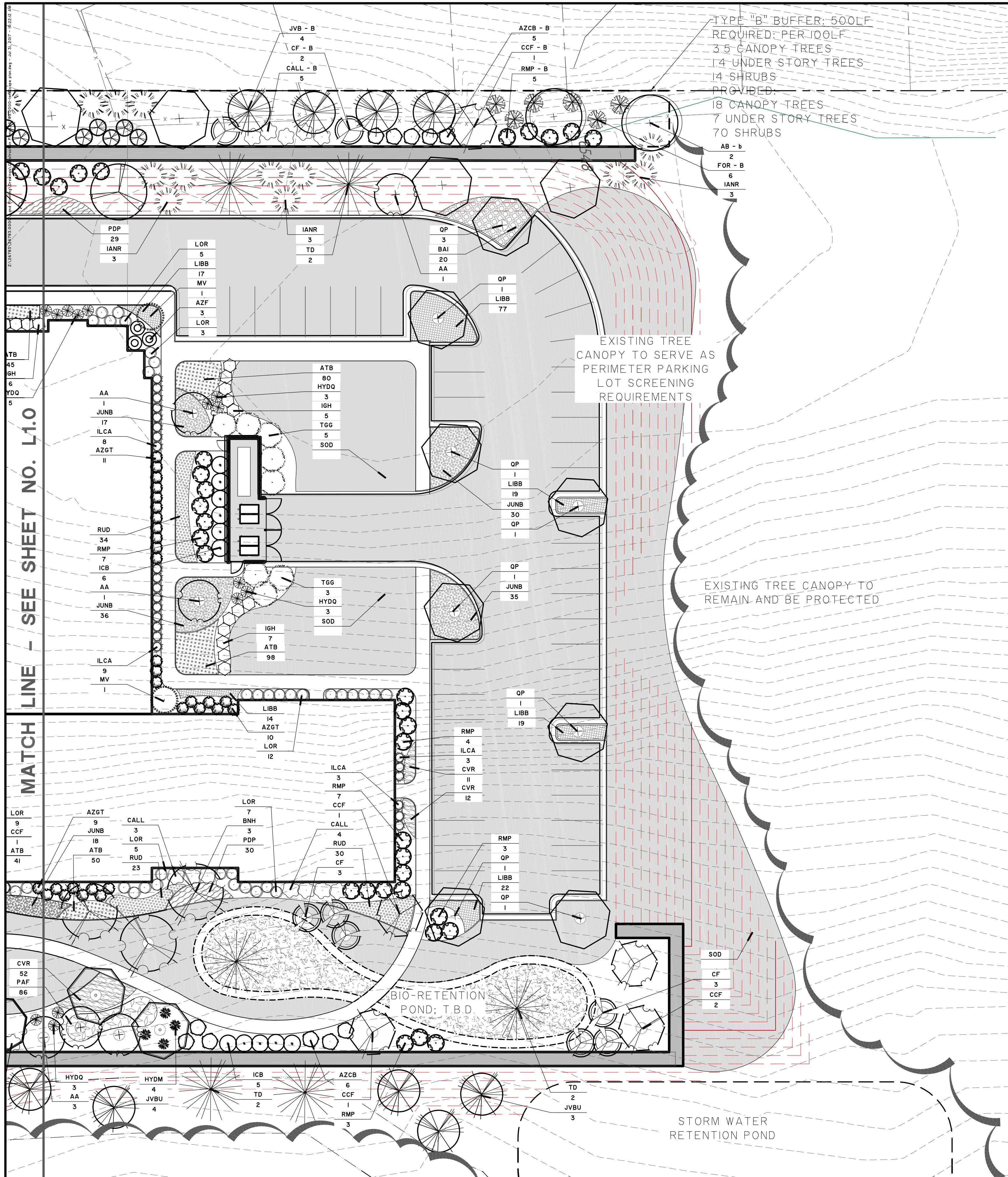
JOB NO: J-26783 0000
 DATE: 07/17/2017
 DRAWN: BCG
 DESIGNED: BCG
 REVIEWED: MEM
 APPROVED: JLG
 SCALE: 1" = 20'

REVISIONS
 NO. BY DATE

MATCH LINE - SEE SHEET NO. L1.1

EXISTING VEGETATION TO SATISFY BUFFER REQUIREMENT

L1.0



MATCH LINE - SEE SHEET NO. L1.0

TYPE "B" BUFFER: 500LF
 REQUIRED: PER I00LF
 35 CANOPY TREES
 14 UNDER STORY TREES
 14 SHRUBS
 PROVIDED:
 18 CANOPY TREES
 7 UNDER STORY TREES
 70 SHRUBS

EXISTING TREE
 CANOPY TO SERVE AS
 PERIMETER PARKING
 LOT SCREENING
 REQUIREMENTS

EXISTING TREE CANOPY TO
 REMAIN AND BE PROTECTED

BIO-RETENTION
 POND: TBD

STORM WATER
 RETENTION POND

PLANT SCHEDULE

ABBV	QTY	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS	TQP
AB	9	Acer buergerianum	Trident Maple	B & B OR CONT. ; 3" CAL. ; 12' HT.	AS SHOWN	Specimen	5.4
AF	5	Acer floridanum	Florida Maple	B & B OR CONT. ; 3" CALI 12'-14' HT.	AS SHOWN	Specimen	3
AA	20	Amelanchier arborea	Downy Serviceberry	B & B OR CONT. ; 2" CAL. ; 12'-14' HT.	AS SHOWN	Specimen	10
BNH	9	Betula nigra 'Heritage'	'Heritage' River Birch	B & B OR CONT. ; 3" CAL. ; 10' - 12' HT.	AS SHOWN	Specimen, multi-trunk, 3 trunk min	5.4
CA	3	Cedrus atlantica 'Glauc'	Blue Atlas Cedar	B & B OR CONT. ; 3" CALI 10'-12' HT.	AS SHOWN	Full to ground	1.8
CCF	7	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	B & B OR CONT. ; 2" CAL. 10' HT X 5' SPD.	AS SHOWN	Specimen, single trunk	3.5
CF	6	Cornus florida	Flowering Dogwood	B & B OR CONT. ; 2" CALI 10'-12' HT.	AS SHOWN	Specimen	3
IANR	33	Ilex aquifolium x cornuta 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B OR CONT. ; 2" CAL. ; 8' - 10' x 4'	AS SHOWN	Specimen, full to ground	16.5
JVBU	10	Juniperus virginiana 'Burkii'	'Burkii' Eastern Red Cedar	B & B OR CONT. ; 3" CAL. ; 10' - 12' HT.	AS SHOWN	Full to ground	6
MV	2	Magnolia virginiana	Sweet Bay Magnolia	B & B OR CONT. ; 2" CAL. ; 10' HT.	AS SHOWN	Specimen	1
OP	15	Quercus phellos	Willow Oak	B & B OR CONT. ; 3" CAL. ; 14' - 16' HT.	AS SHOWN	Specimen	9
TD	10	Taxodium distichum	Bald Cypress	B & B OR CONT. ; 3" CALI 6' - 10' HT.	AS SHOWN	Specimen	6
TGG	8	Thuja 'Green Giant'	Green Giant Western Cedar	B & B OR CONT. ; 2" CAL. ; 6' HT. X 3' SPD.	AS SHOWN	Full to ground	4
							TOTAL: 74.6

STREET TREES

QTY	ABBV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
9	QN	Quercus nuttallii	Nuttall Oak	B & B OR CONT. ; 3" CAL. ; 16' - 18' HT.	AS SHOWN	Specimen

SHRUBS

QTY	ABBV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
500	ATB	Asclepias tuberosa	Butterfly weed	CONT. ; 18" X 18"		Full
19	AZF	Azalea indica 'Formosa'	'Formosa' Azalea	CONT. ; 18" X 18"	AS SHOWN	Full
30	AZGT	Azalea indica 'George L. Tabor'	'George L. Tabor' Azalea	CONT. ; 18" X 18"	AS SHOWN	Full
32	AZCB	Azalea species 'Coral Bells'	Coral Bells Azalea	CONT. ; 18" X 18"	AS SHOWN	Full
29	BAI	Baptisia australis	Blue False Indigo	CONT. ; 18" X 18"	4	Full
12	CALL	Callicarpa americana	American Beautyberry	CONT. ; 18" X 18"	AS SHOWN	Full
18	CGH	China Girl® Holly	Ilex x meserveae 'Mesog'	CONT. ; 18" X 18"	AS SHOWN	Full
13	FOR	Forsythia x intermedia	Forsythia	CONT. ; 18" X 18"	AS SHOWN	Full
8	HYDM	Hydrangea macrophylla	Big Leaf Hydrangea	CONT. ; 18" X 18"	AS SHOWN	Full
30	HYDQ	Hydrangea quercifolia	Oak Leaf Hydrangea	CONT. ; 18" X 18"	AS SHOWN	Full
35	ICB	Ilex cornuta 'Burfordii'	Dwarf Burford Holly	CONT. ; 18" X 18"	AS SHOWN	Full
41	ILCA	Ilex cornuta 'Carissa'	Carissa Holly	CONT. ; 18" X 18"	AS SHOWN	Full
55	IGH	Ilex glabra 'Compacta'	Compact Inkberry Holly	CONT. ; 18" X 18"	AS SHOWN	Full
18	ITEV	Itea virginica 'Henry's Garnet'	'Henry's Garnet' Sweetspire	CONT. ; 18" X 18"	AS SHOWN	Full
82	LOR	Loropetalum chinense 'Ruby'	Evergreen Loropetalum 'Ruby'	CONT. ; 18" X 18"	AS SHOWN	Full
34	RMP	Rhododendron minus	Piedmont rhododendron	CONT. ; 18" X 18"	AS SHOWN	Full

ORNAMENTAL GRASSES AND GROUNDCOVERS

QTY	ABBV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
202	CVR	Conradina verticillata	Cumberland rosemary	CONT. ; 12" X 12"	2'	Full
158	JUNB	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	CONT. ; 18" X 18"	3'	Full
439	LIBB	Liriope muscari 'Big Blue'	Big Blue Liriope	CONT. ; 6" X 10"	2'	Full
227	PDP	Phlox divaricata	Wild Blue phlox	CONT. ; 12" X 12"	2'	Full
86	PAF	Polystichum acrostichoides	Christmas Fern	CONT. ; 18" X 18"	2.5'	Full
217	RUD	Rudbeckia fulgida 'Goldstrum'	Yellow Coneflower	CONT. ; 18" X 18"	2.5'	Full
32,000SF	SOD	Cynodon dactylon 'Celebration'	Bermudgrass 'Celebration'	Dense roots -----		Measure in Square Feet

TYPE B BUFFER TREES

QTY	ABBV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
6	AB - B	Acer buergerianum	Trident Maple	B & B OR CONT. ; 2 1/2" CAL. ; 12' HT.	AS SHOWN	Specimen
3	CCF - B	Cercis canadensis 'Forest Pansy'	'Forest Pansy' Redbud	B & B OR CONT. ; 10' HT X 5' SPD.	AS SHOWN	Specimen, single trunk
4	CF - B	Cornus florida	Flowering Dogwood	B & B OR CONT. ; 2 1/2" CALI 10' -12- HT.	AS SHOWN	Specimen
4	JVB - B	Juniperus virginiana 'Burkii'	'Burkii' Eastern Red Cedar	B & B OR CONT. ; 3" CAL. ; 10' - 12' HT.	AS SHOWN	Full to ground
4	OP - B	Quercus phellos	Willow Oak	B & B OR CONT. ; 2 - 1/2" CAL. ; 14' - 16' HT.	AS SHOWN	Specimen
8	IANR	Ilex aquifolium x cornuta 'Nellie R. Stevens'	Nellie R. Stevens Holly	B & B OR CONT. ; 2" CAL. ; 8' - 10' x 4'	AS SHOWN	Specimen, full to ground

TYPE B BUFFER SHRUBS

QTY	ABBV	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	SPACING	MISCELLANEOUS / REMARKS
12	AZCB - B	Azalea species 'Coral Bells'	Coral Bells Azalea	CONT. ; 18" X 18"	AS SHOWN	Full
10	CALL - B	Callicarpa americana	American Beautyberry	CONT. ; 18" X 18"	AS SHOWN	Full
15	CGH - B	China Girl® Holly	Ilex x meserveae 'Mesog'	CONT. ; 18" X 18"	AS SHOWN	Full
12	FOR - B	Forsythia x intermedia	Forsythia	CONT. ; 18" X 18"	AS SHOWN	Full
13	RMP - B	Rhododendron minus	Piedmont rhododendron	CONT. ; 18" X 18"	AS SHOWN	Full

PARKING LOT ISLAND TREES:

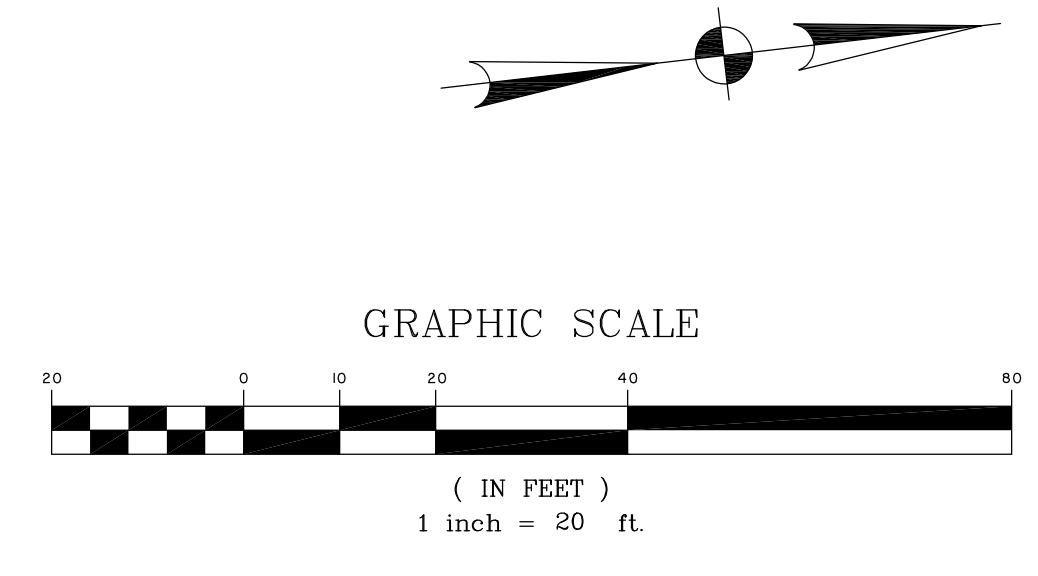
TOTAL AMOUNT OF PARKING
 REQUIRED TREES 62 SPACES
 PROVIDED TREES 62/15 = 4.13 TREES
 5 CANOPY TREES

SITE TREE DENSITY CALCULATIONS:

ACREAGE 14.3 AC.
 ACREAGE DEDICATED TO CITY 7.49 AC.
 BUILDING ACREAGE .93 AC.
 ADJUSTED ACREAGE 5.88 AC.
 TREE DENSITY UNITY REQ. 82.32
 (14TDU/AC. X 5.88 AC.)

TREE DENSITY UNITS PROVIDED:
 EXISTING TREE CREDITS ** X **EXISTING TREE CREDITS
 PROPOSED TREES 74.6 WILL BE DETERMINED UPON
 2" = 5 UNITS COMPLETION OF EXISTING
 3" = 6 UNITS TREE SURVEY.

TOTAL TREE DENSITY UNITS PROVIDED X



PRELIMINARY
NOT FOR
CONSTRUCTION

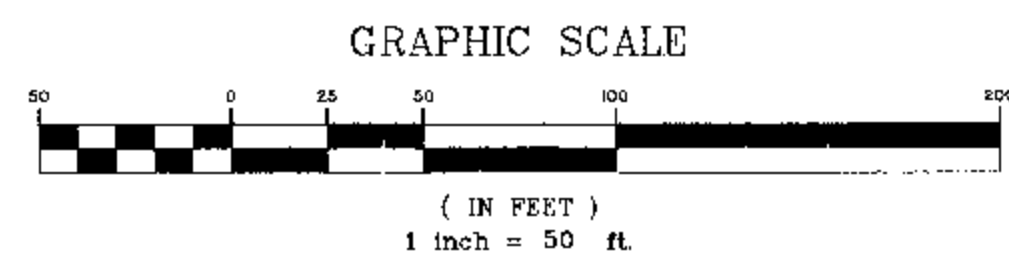
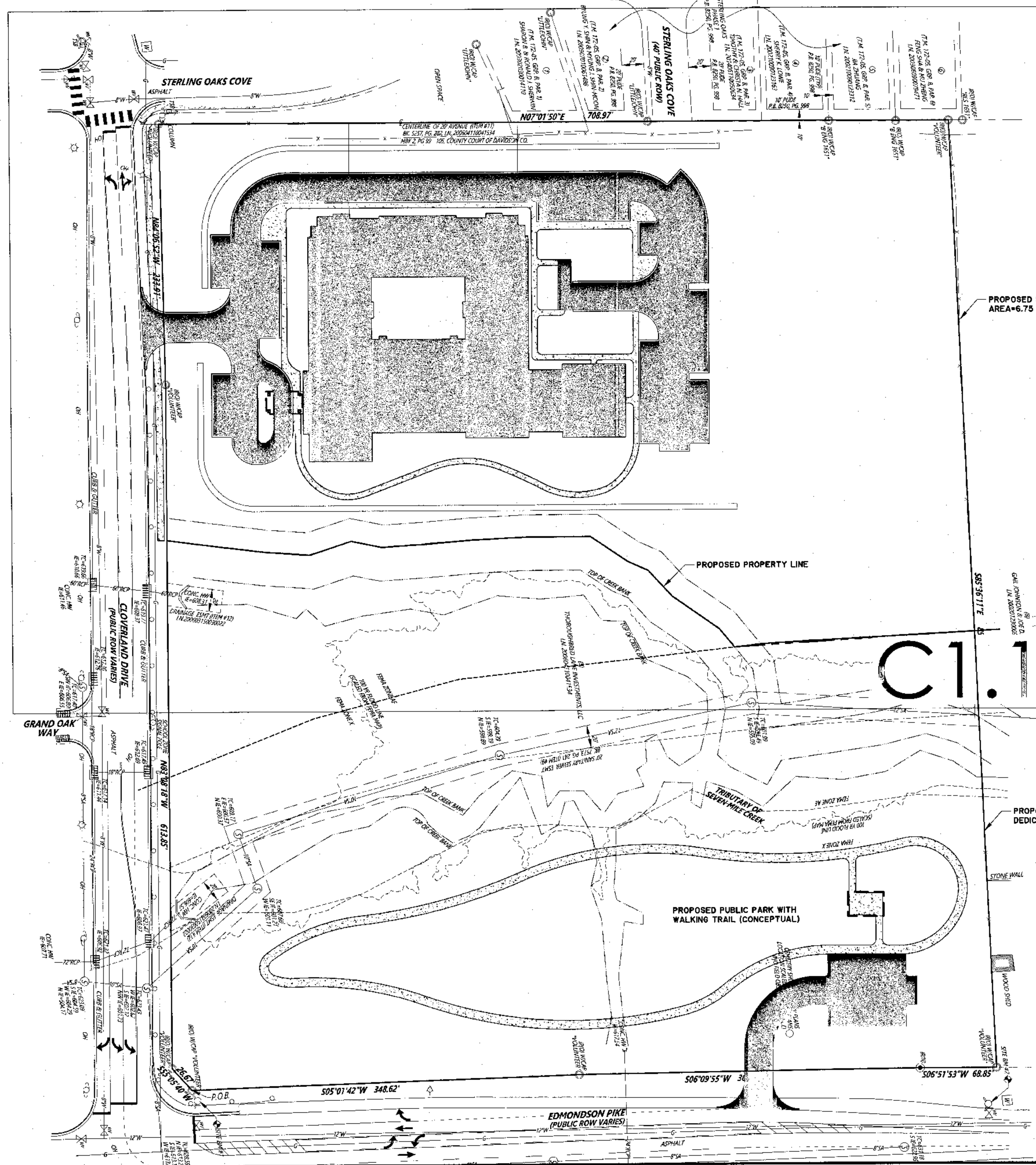
NO.	REVISIONS	DATE

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MERIDIAN REALTY
 BRENTWOOD, TN 37027
 ALMC NASHVILLE
 LANDSCAPE PLAN

JOB NO: J-26783 0000
 DATE: 07/17/2017
 DRAWN: BCG
 DESIGNED: BCG
 REVIEWED: MEM
 APPROVED: JLG
 SCALE: 1" = 20'

L1.1



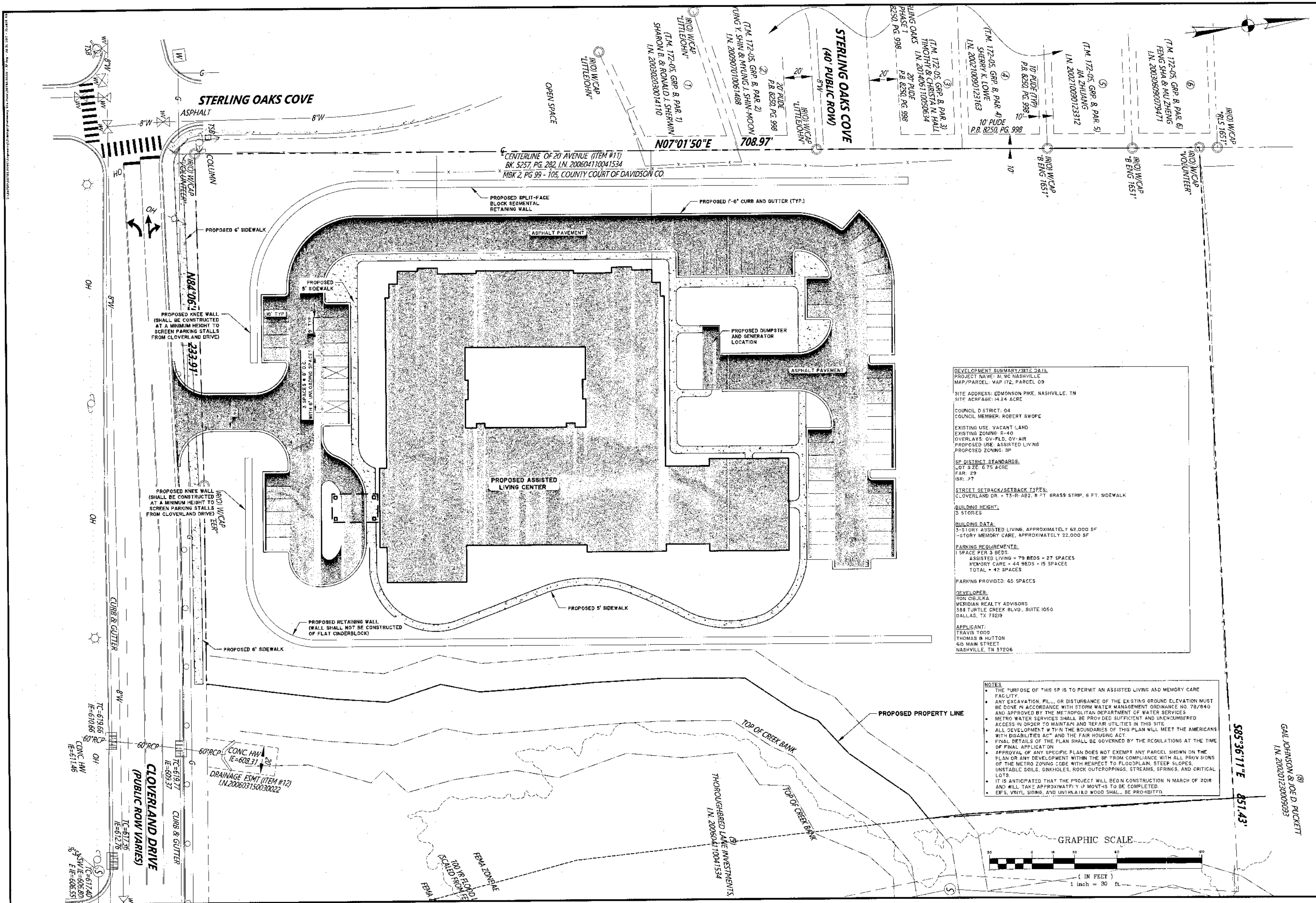
NO.	REVISIONS	BY	DATE

THOMAS & HUTTON
 615 Main Street • Suite 124
 Nashville, TN 37206 • 615.961.0913
 www.thomasandhutton.com

MERIDIAN REALTY ADVISORS, L.P.
 NASHVILLE, DAVIDSON COUNTY, TN
 ALMC NASHVILLE
OVERALL SITE PLAN

JOB NO:	J-26783.000
DATE:	
DRAWN:	
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 50'

C1.0



DEVELOPMENT SUMMARY/SITE DATA
 PROJECT NAME: ALVC NASHVILLE
 MAP/PARCEL: VAP 172, PARCEL 09
 SITE ADDRESS: EDMONSON PKE, NASHVILLE, TN
 SITE ACRFAGE: 14.24 ACRE
 COUNCIL DISTRICT: 04
 COUNCIL MEMBER: ROBERT SWOPE
 EXISTING USE: VACANT LAND
 EXISTING ZONING: R-40
 OVERLAYS: OV-FLD, OV-AIR
 PROPOSED USE: ASSISTED LIVING
 PROPOSED ZONING: SP

SP DISTRICT STANDARDS:
 LOT SIZE: 6.75 ACRE
 FAR: 29
 ISR: 27

STREET SETBACK/SETBACK TYPES:
 CLOVERLAND DR. = T3-R-AB2, 6 FT. GRASS STRIP, 6 FT. SIDEWALK

BUILDING HEIGHT:
 3 STORES

BUILDING DATA:
 3-STORY ASSISTED LIVING, APPROXIMATELY 62,000 SF
 2-STORY MEMORY CARE, APPROXIMATELY 22,000 SF

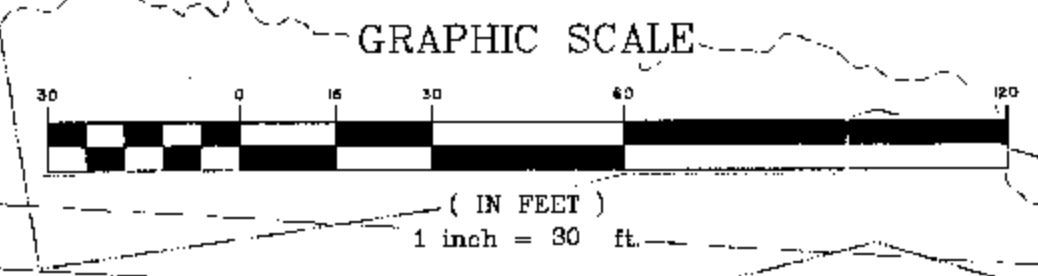
PARKING REQUIREMENTS:
 1 SPACE PER 3 BEDS
 ASSISTED LIVING = 79 BEDS = 27 SPACES
 MEMORY CARE = 44 BEDS = 15 SPACES
 TOTAL = 42 SPACES

PARKING PROVIDED: 65 SPACES

DEVELOPER:
 RON CIBJKA
 MERIDIAN REALTY ADVISORS
 388 TURTLE CREEK BLVD, SUITE 1050
 DALLAS, TX 75219

APPLICANT:
 TRAVIS TODD
 THOMAS & HUTTON
 615 MAIN STREET
 NASHVILLE, TN 37206

- NOTES:**
- THE PURPOSE OF THIS SP IS TO PERMIT AN ASSISTED LIVING AND MEMORY CARE FACILITY.
 - ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 79/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
 - METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 - ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 - FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
 - APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SNOWHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS, AND CRITICAL LOTS.
 - IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN MARCH OF 2018 AND WILL TAKE APPROXIMATELY 18 MONTHS TO BE COMPLETED.
 - EIFS, VINYL SIDING, AND UNPAILED WOOD SHALL BE PROHIBITED.



<p>BY: DATE</p> <p>REVISIONS</p>	
<p>NO.</p>	
<p>THOMAS & HUTTON 615 Main Street • Suite 124 Nashville, TN 37206 • 615.961.0913 www.thomasandhutton.com</p>	
<p>MERIDIAN REALTY ADVISORS, L.P. NASHVILLE, DAVIDSON COUNTY, TN ALMC NASHVILLE SITE PLAN</p>	
<p>JOB NO: J-26783.000</p> <p>DATE:</p> <p>DRAWN:</p> <p>DESIGNED:</p> <p>REVIEWED:</p> <p>APPROVED:</p> <p>SCALE: 1" = 30'</p>	<p>(9) GAIL JOHNSON & JEFF D. PUCKETT I.N. 2008041230009093</p>
<p>C1.1</p>	