

MOUNT VIEW CROSSINGS COMMERCIAL SP

(CASE #: 2017SP-031-001)

PRELIMINARY APPLICATION

5400 MOUNT VIEW ROAD NASHVILLE, DAVIDSON COUNTY, TN



VICINITY MAP
SOURCE: 2010 NAVTEQ, 2017 MICROSOFT CORPORATION
SCALE: 1" = 2000'

SPECIFIC PLAN NOTES

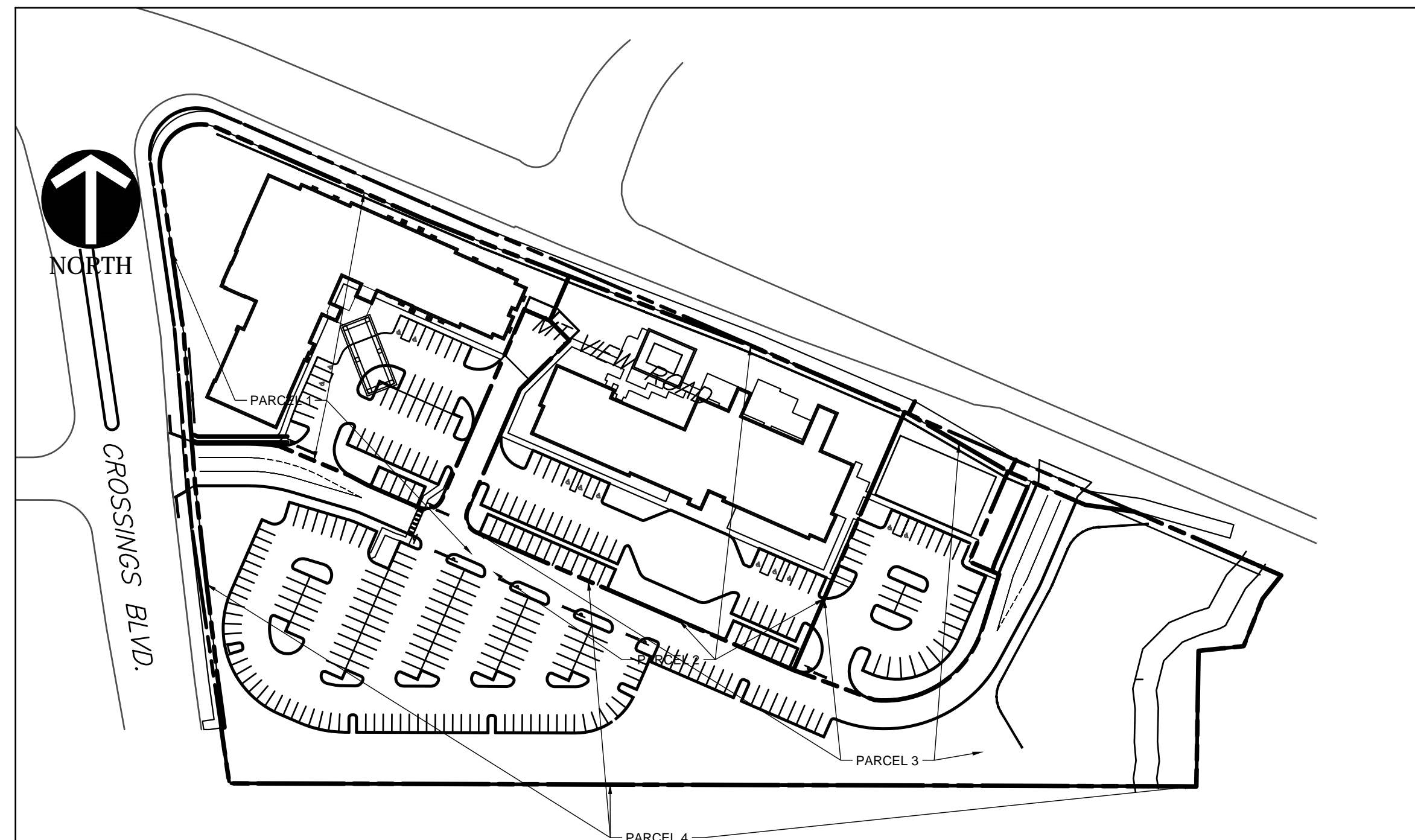
1. THE PURPOSE OF THIS SPECIFIC PLAN IS TO CANCEL THE EXISTING P.U.D., AND TO ALLOW FOR THE DEVELOPMENT OF TWO HOTELS, AND AN RESTAURANT/OFFICE BUILDING.
2. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
3. THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

GENERAL NOTES

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF ANY EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- B. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- C. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- D. WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER OR LANDSCAPE ARCHITECT INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- E. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- F. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR LANDSCAPE ARCHITECT FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
- G. DEVELOPMENT STANDARDS ARE BASED ON MIXED USE GENERAL (MUG), UNLESS NOTED OTHERWISE ON PLANS

IMPERVIOUS SURFACE AREA SUMMARY TABLE

PARCEL	1	2	3	4	ROW TO BE DEDICATED	TOTAL
BUILDINGS	25725	19836	5000	0	0	50561
DRIVES AND PARKING	15309	18657	13717	76518	699	124900
SIDEWALK	3668	7523	836	420	0	12447
PATH/OTHER	0	1428	0	0	9712	11140
TOTAL	44702	47444	19553	76938	10411	199048
SITE AREA	69946	74309	27152	173016	10411	354834
I.S.R.	0.6391	0.6385	0.7201	0.4447	1.0000	0.5610



VICINITY MAP
REFERENCE: MICROSOFT CORPORATION
SCALE: 1"=100'

SHEET INDEX

Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS
C200	SITE LAYOUT PLAN
C201	ROADWAY PLAN
C202	SITE PHASING AND LOT LINE PLAN
C300	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
L100	LANDSCAPE PLAN

--	PARCEL 1 ARCHITECTURAL STANDARDS
200	PARCEL 2 FIRST FLOOR - LOBBY LEVEL PLAN
201	PARCEL 2 SECOND FLOOR PLAN
210	PARCEL 2 EXTERIOR PERSPECTIVE
211	PARCEL 2 EXTERIOR PERSPECTIVE
212	PARCEL 2 EXTERIOR ELEVATIONS
213	PARCEL 2 EXTERIOR ELEVATIONS
214	PARCEL 2 EXTERIOR ELEVATIONS DUMPSTER ENCLOSURE
--	PARCEL 3 EXTERIOR ELEVATIONS
--	PARCEL 3 EXTERIOR PERSPECTIVES

DEVELOPMENT / SITE DATA TABLE

PARCEL #	PROPOSED USE	EXISTING USE	ACREAGE (ACRES)	BUILDING AREA (SF)	GROSS BUILDING AREA (SF)	IMPERVIOUS AREA (SF)	DENSITY (UNITS/ACRE)	DWELLING UNITS	FLOOR AREA RATIO (FAR)	IMPERVIOUS SURFACE RATIO (ISR)	REQUIRED PARKING SPACES	STD.	H/C	VAN	COMPACT	TOTAL
1	HOTEL	VACANT	1.61	25,725	96,589	44,702	0.62	0	1.381	0.639	149	37	2	4	0	43
2	HOTEL	VACANT	1.71	19,836	71,141	47,444	0.59	0	0.957	0.638	111	52	0	4	0	56
3	OFFICE/RESTURANT	VACANT	0.62	5,000	5,000	19,553	1.60	0	0.184	0.720	40	30	0	2	0	32
4	SHARED AREA	VACANT	3.97	0	0	76,938	0.00	0	0.000	0.445	0	116	0	0	64	180
5	ROW TO BE DEDICATED	VACANT	0.24	0	0	10,411	0.00	0	0.000	1.000	0	0	0	0	0	0
TOTAL			8.15	50561	172730	199048	0.37	0	0.487	0.5610	300	235	2	10	64	311

RESOURCE LIST:

PLANNING DEPARTMENT 800 SECOND AVENUE NASHVILLE, TN 37210 615.862.7150 FAX 615.444.1515	ELECTRIC COMPANY NASHVILLE ELECTRIC SERVICE 1214 CHURCH STREET NASHVILLE, TN 37246 615.736.6900
FIRE DEPARTMENT 63 HERMITAGE AVENUE NASHVILLE, TN 37201 615.862.5421	TELEPHONE COMPANY AT&T P.O. BOX 105503 ATLANTA, GA 30348 866.620.6000
BUILDING INSPECTION & CODES 800 SECOND AVENUE NASHVILLE, TN 37201 615.862.6500	PUBLIC WORKS DEPARTMENT 750 S 5TH STREET NASHVILLE, TN 37206 615.862.8700
WATER AND SEWER METRO WATER SERVICES 1700 3RD AVENUE NORTH NASHVILLE, TN 37208 615.862.4600	GAS COMPANY PIEDMONT NATURAL GAS 4720 PIEDMONT ROW DRIVE CHARLOTTE, NC 28233 704.364.3120

SITE DATA

PROJECT NAME: MOUNT VIEW CROSSINGS
SUBDIVISION: THE CROSSINGS AT HICKORY HOLLOW RESUBDIVISION LOTS 2&3
PARCEL: 163-00-0-339.00
PARCEL I.D.: 16300033900
ADDRESS: 5400 MT VIEW ROAD
CITY: ANTOCH
COUNTY: DAVIDSON
STATE: TENNESSEE
COUNCIL DISTRICT: 32
COUNCILMEMBER: JACOBIA DOWELL
OVERLAY DISTRICT: P.U.D.
PUD NAME: THE CROSSINGS AT HICKORY HOLLOW
CASE No.: 37-79-U

EXISTING ZONING: R10 / COMMERCIAL PUD
EXISTING USE: VACANT
PROPOSED USE: 2 4 STORY HOTELS, AND 1 RESTAURANT/OFFICE BUILDING
ACREAGE OF SITE: 8.15
GROSS SQUARE FOOTAGE OF SITE: 354,773 SF
DENSITY: 0.49 UNITS PER ACRE
GROSS SQUARE FOOTAGE OF BUILDINGS: 1172,730 SF
FLOOR AREA RATIO: 0.407
IMPERVIOUS SURFACE RATIO: 0.569

PARKING REQUIREMENT TABULATIONS:

LOTS 1: HOTEL
1 SPACE REQUIRED PER ROOM AND 1 ADDITIONAL SPACE FOR EVERY 2 EMPLOYEES ON THE MAXIMUM SHIFT
160 ROOMS=160 SPACES
10 EMPLOYEES=5 SPACES
10% REDUCTION FOR ADJACENT RESIDENTIAL ZONE* = -16 SPACES
TOTAL = 149 SPACES

LOT 2: HOTEL
1 SPACE REQUIRED PER ROOM AND 1 ADDITIONAL SPACE FOR EVERY 2 EMPLOYEES ON THE MAXIMUM SHIFT
117 ROOMS=117 SPACES
10 EMPLOYEES=5 SPACES
10% REDUCTION FOR ADJACENT RESIDENTIAL ZONE* = -12 SPACES
TOTAL = 111 SPACES

LOT 3: OFFICE/RESTURANT
1 SPACE REQUIRED PER 100 SF OF RESTAURANT OR 300 SF OF OFFICE.
ASSUME 80% RESTAURANT TO BE CONSERVATIVE
4000 SF RESTAURANT = 40 SPACES
1000 SF OFFICE = 3 SPACES
10% REDUCTION FOR ADJACENT RESIDENTIAL ZONE* = -4 SPACES
TOTAL = 40 SPACES

*PARKING REDUCTIONS BASED ON METRO CODE 17.20.040 - ADJUSTMENTS TO REQUIRED PARKING. A 10% REDUCTION WAS USED DUE TO THE PEDESTRIAN ACCESS FROM LOCAL RESIDENTIAL AREAS.

TOTAL REQUIRED SPACES = 300

MINIMUM REQUIRED SETBACK & YARD LINES:

STREET: 10'
SIDE: NONE REQUIRED
REAR: 20'
MAXIMUM HEIGHT: 5 STORIES
MINIMUM LOT AREA: NONE

FEMA FIRM MAP NUMBER: 47037C0392H
FEMA FIRM EFFECTIVE DATE: APRIL 05, 2017
THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD AREA

TOTAL DISTURBED AREA = 8.80 ACRES (INCLUDES ACCESS DRIVES AND SIDEWALK IN PUBLIC RIGHT OF WAY AND INGRESS EGRESS EASEMENT)
PROPOSED IMPERVIOUS AREA = 4.97 ACRES (INCLUDES ACCESS DRIVES AND SIDEWALK IN PUBLIC RIGHT OF WAY AND INGRESS EGRESS EASEMENT)

THIS SITE HAS BEEN DESIGNED TO MEET THE METRO NASHVILLE DESIGN STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.

PROJECT DEVELOPMENT SCHEDULE

PHASE	LOTS	DESCRIPTION	TIMELINE
1	2 AND PORTION OF 4	CONSTRUCTION OF 117 ROOM HOTEL, PORTION OF COMMON AREA PARKING, AND REGIONAL STORMWATER MANAGEMENT FACILITIES	2017-2018
2	1 AND PORTION OF 4	CONSTRUCTION OF 160 ROOM HOTEL, PORTION OF COMMON AREA PARKING	2019
3	3	CONSTRUCTION OF RESTAURANT/OFFICE SPACE	2020

OWNER/TEAM INFORMATION

CIVIL ENGINEER & APPLICANT

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
ADDRESS: 325 SEABOARD LANE, SUITE 170
FRANKLIN, TENNESSEE 37067
PHONE NO.: (615)-333-7797
FAX NO.: (615)-333-7751
CONTACT NAME: BERT MORTON, P.E.
EMAIL: BMORTON@CECINC.COM

SURVEYOR

JIM McALEER-SURVEYOR
6395 HIGHWAY 109 NORTH
LEBANON, TN 37087
PH: (615) 513-5301
EMAIL: JIM.MCALEER@COMCAST.NET
CONTACT: JIM McALEER

GEOTECHNICAL ENGINEER

BEAVER ENGINEERING
7378 COCKRILL BEND BLVD.
NASHVILLE, TN 37209
PH: (615) 350-8124
CONTACT: CHRIS BEAVER

ARCHITECT

STUDIO A ARCHITECTURE
2330 FRANKFORT AVENUE
LOUISVILLE, KY 40206
PH: (502) 589-8007
CONTACT: VADIM KAPLAN, AIA

DEVELOPER/OWNER

RAM SAI, LLC
201 CROSSINGS PLACE
ANTIOCH, TN 37013
PH: (615) 580-5113
CONTACT: RAJENDRA BHAKTA



NOTE TO CONTRACTOR:

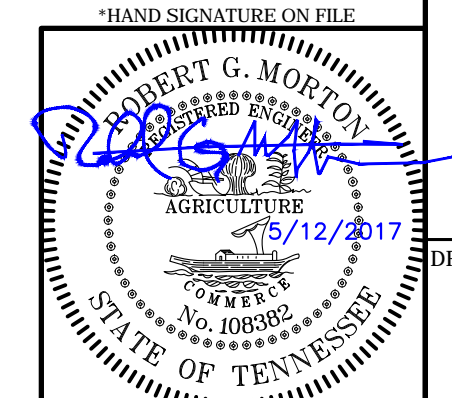
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT CEC'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

REVISION RECORD

Civil & Environmental Consultants, Inc.
325 Seaboard Lane - Suite 170 - Franklin, TN 37067
615-333-7797 - 800-763-2328
www.cecinc.com

CASE #: 2017SP-031-001
RAM SAI, LLC
MT. VIEW CROSSINGS
PRELIMINARY SP
5400 MT. VIEW ROAD
NASHVILLE, TN

COVER SHEET
DATE: MAY 2017
DRAWN BY: JJC
DWG SCALE: AS SHOWN
CHECKED BY: JJC
PROJECT NO: 104-795
APPROVED BY: RGV



DRAWING NO.: C000



NOTES

- CROSS ACCESS EASEMENT TO BE PROVIDED BETWEEN ALL PARCELS WITHIN DEVELOPMENT.
- NO VERTICAL OBSTRUCTIONS ARE PERMITTED IN PROPOSED OR EXISTING SIDEWALKS. THESE OBSTRUCTIONS WILL EITHER BE RELOCATED, OR THE SIDEWALK WILL BE ROUTED AROUND THEM, MAINTAINING ITS REQUIRED WIDTH AT ALL TIMES.
- ALL CONSTRUCTION WITHIN THE EXISTING AND PROPOSED RIGHTS OF WAY IS TO COMPLY WITH METRO PUBLIC WORKS STANDARDS.
- DUMPSTER ENCLOSURE TO BE CONSTRUCTED OF OPAQUE MATERIAL THAT WILL COMPLIMENT BUILDING, AND BE 7'6" TALL. DESIGN TO BE PROVIDED BY ARCHITECT.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING WATER WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- EXISTING OVERHEAD POWERLINE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- EXISTING MANHOLE
- EXISTING TELEPHONE/ELECTRICAL POLE
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC METER
- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
- COMPACT PARKING COUNT
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED BIORETENTION AREA
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON
- TRUNCATED DOMES

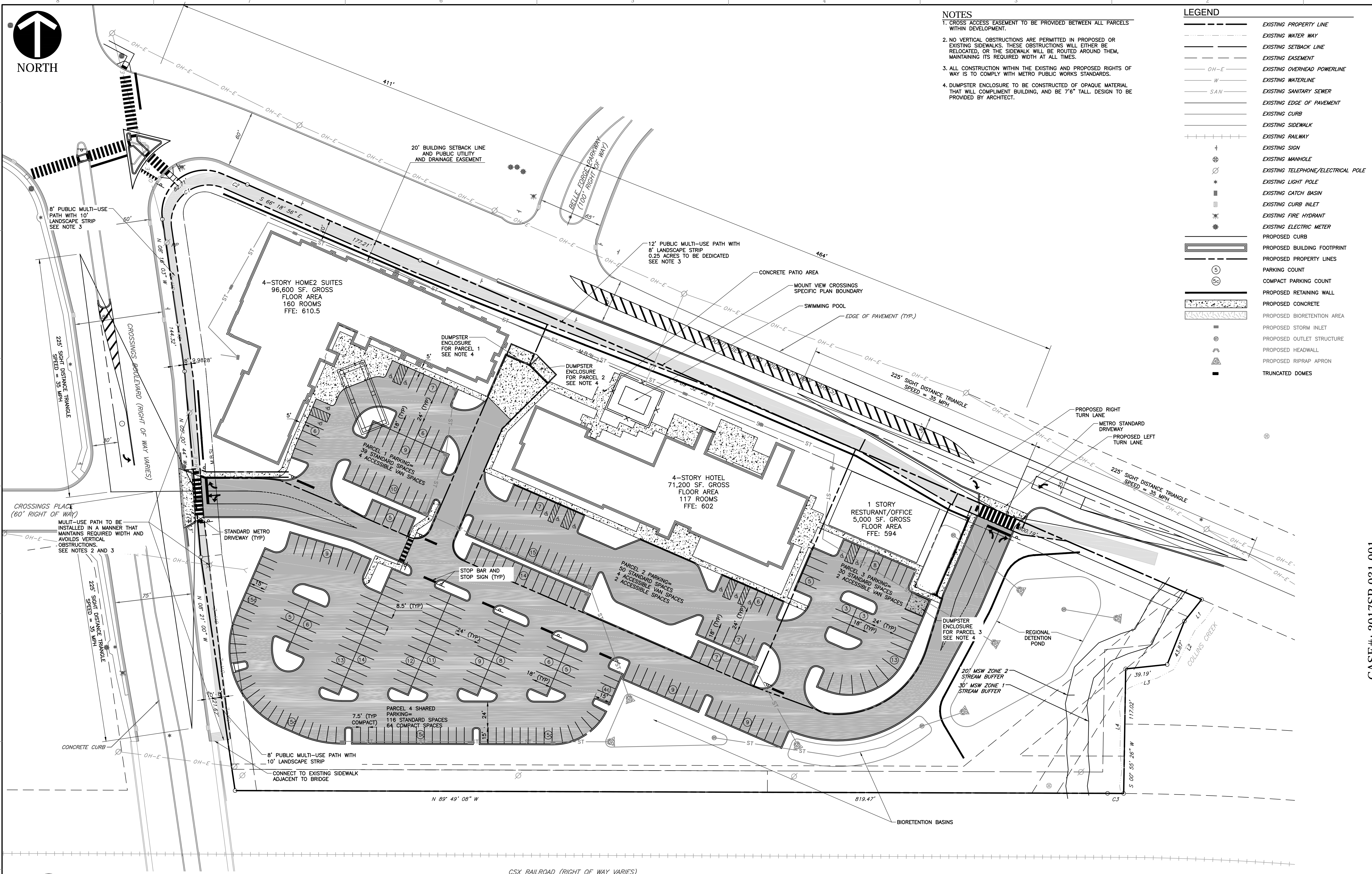
NO.	DATE	DESCRIPTION

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 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

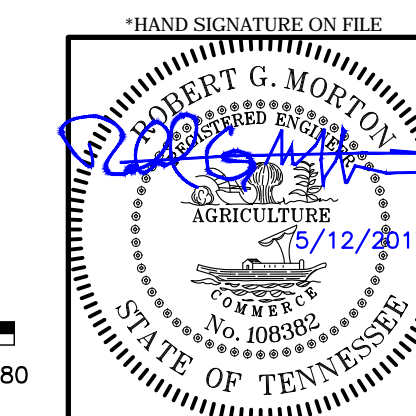
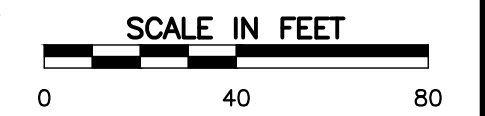
DATE:	MAY 2017	DRAWN BY:	JJC
DWG SCALE:	AS SHOWN	CHECKED BY:	104-795
APPROVED BY:		PROJECT NO.:	104-795
		REVISED BY:	RCM

SITE LAYOUT PLAN
 DRAWING NO. C200

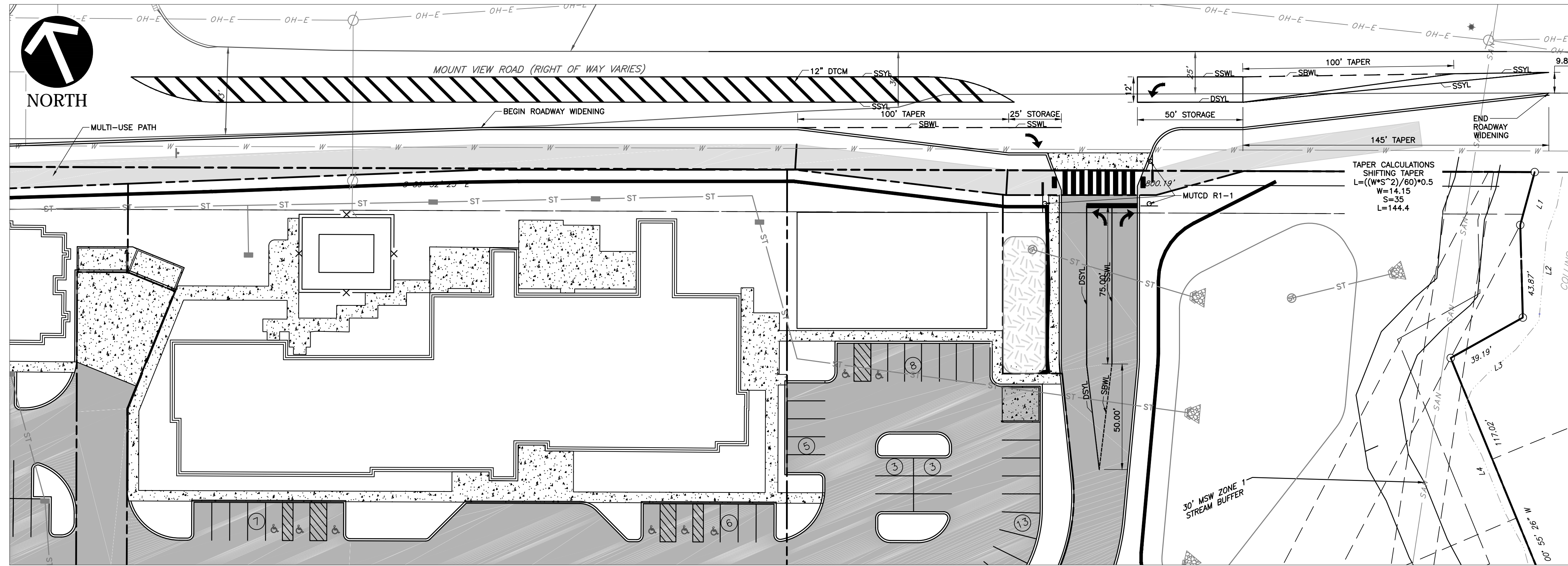


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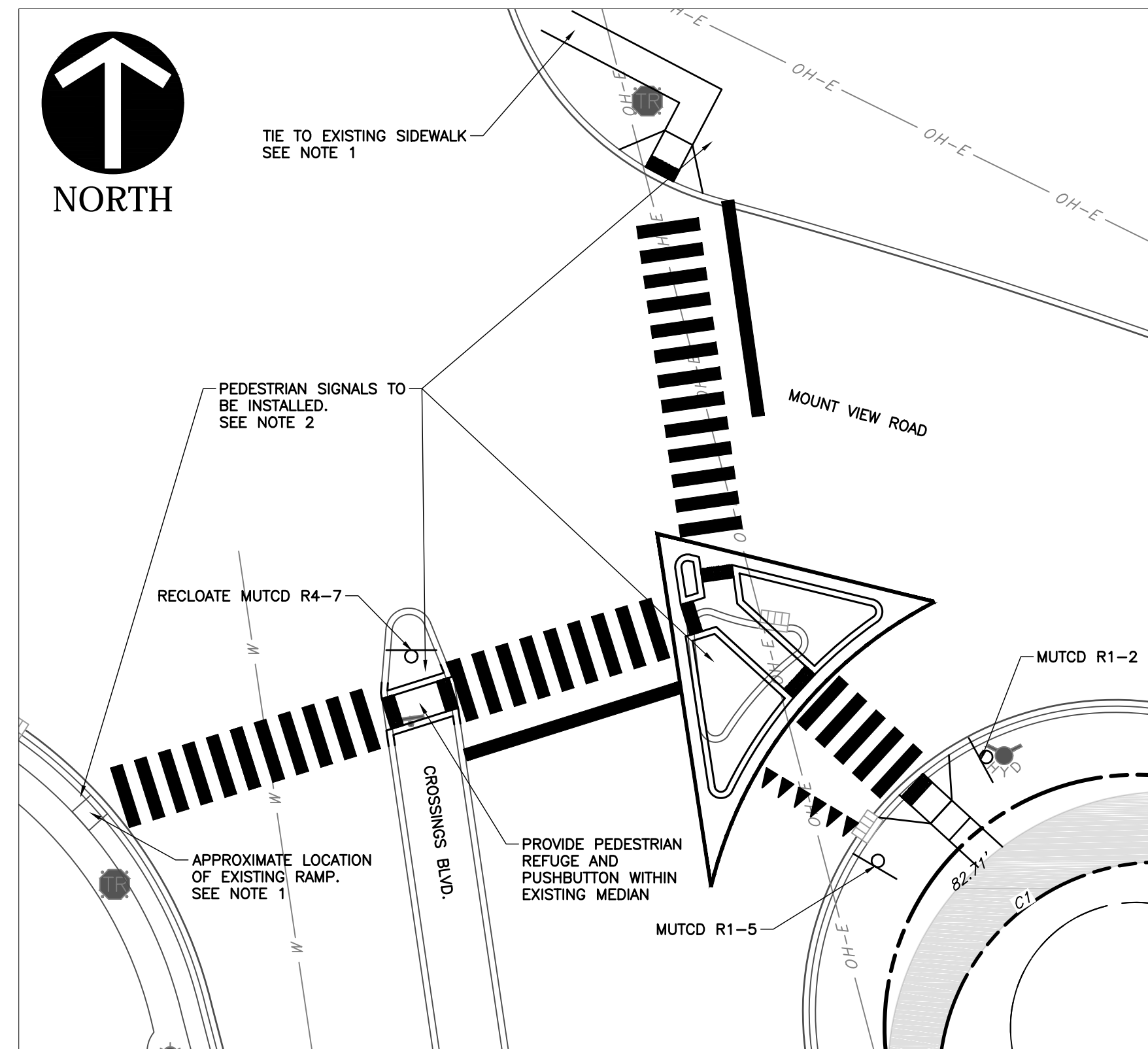
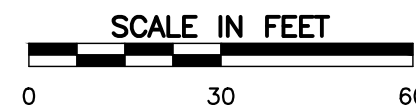
811
 Know what's below.
 Call before you dig.



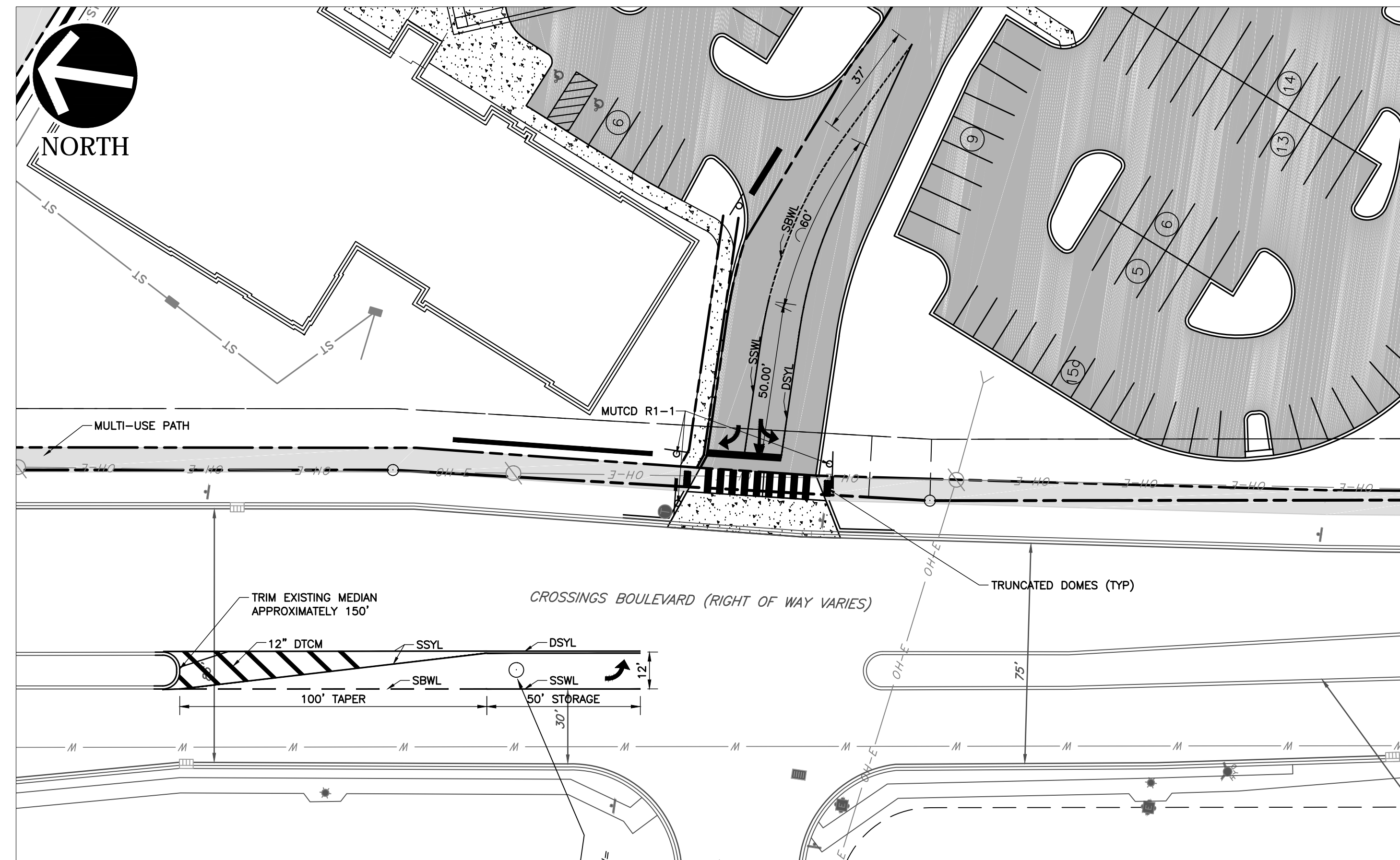
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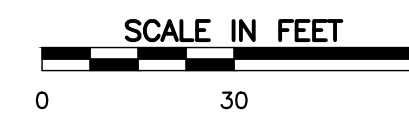
MOUNT VIEW ROAD AT PROJECT DRIVEWAY



MOUNT VIEW ROAD AT CROSSINGS BLVD.



CROSSINGS BLVD. AND PROJECT DRIVEWAY



LEGEND

- EXISTING PROPERTY LINE
- EXISTING WATER WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- OH-E EXISTING OVERHEAD POWERLINE
- W EXISTING WATERLINE
- SAN EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- EXISTING MANHOLE
- EXISTING TELEPHONE/ELECTRICAL POLE
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
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- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
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- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED BIORETENTION AREA
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON
- SSWL SINGLE SOLID WHITE LINE
- SBWL SINGLE BROKEN WHITE LINE
- SSSL SINGLE SOLID YELLOW LINE
- DSSL DOUBLE SOLID YELLOW LINE
- TRUNCATED DOMES

- NOTES:
1. TRAFFIC LAYOUT IS BASED ON AERIAL IMAGERY, AND IS SUBJECT TO MINOR MODIFICATIONS.
 2. PROPOSED PEDESTRIAN SIGNALS WILL BE DESIGNED AND SHOWN IN A LATER STAGE OF THE PROJECT.
 3. PROPOSED MULTI-USE PATH LAYOUT SHOWN IN FULL ON SHEET C200

REVISION RECORD

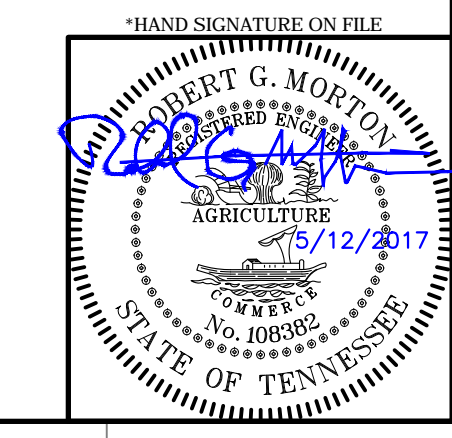
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CASE#: 2017SP-031-001

RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

ROADWAY PLAN

DATE:	MAY 2017	DRAWN BY:	PEC
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	104-795	APPROVED BY:	RGV



DRAWING NO. C201



NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT CEC'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

P:\2016\164-795\811-CADD\Draw\01-01 Preliminary SP\164-795-001-C200.dwg(2017-05-12 11:05 AM) - LP: 2/12/2017 11:05 AM



NOTES

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
3. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
4. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING WATER WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- EXISTING OVERHEAD POWERLINE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- CONTOUR INDEX
- CONTOUR INTERMEDIATE
- EXISTING MANHOLE
- EXISTING TELEPHONE/ELECTRICAL POLE
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC METER
- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
- COMPACT PARKING COUNT
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR INDEX
- PROPOSED CONTOUR INTERMEDIATE
- PROPOSED DETENTION POND
- PROPOSED BIORETENTION AREA
- PROPOSED GRASS CHANNEL
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2293
 www.cecinc.com

RAM SAI, LLC
MT. VIEW CROSSINGS
PRELIMINARY SP
5400 MT. VIEW ROAD
NASHVILLE, TN

GRADING AND DRAINAGE PLAN

DATE:	MAY 2017	DRAWN BY:	JJC
DWG SCALE:	AS SHOWN	CHECKED BY:	184-795
PROJECT NO.:	2017SP-031-001	APPROVED BY:	RCM

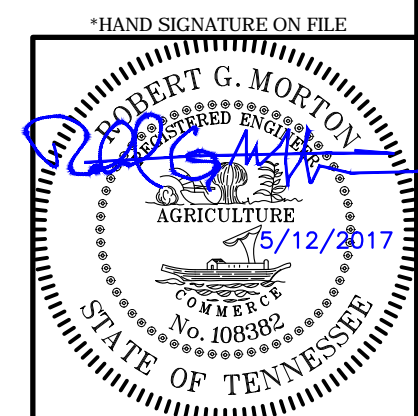
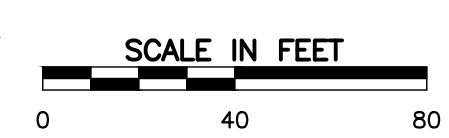
DRAWING NO. **C300**

BELL FORGE VILLAGE
 PARCEL 117
 PLAT INSTRUMENT NO.
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 R.O.D.C., TN

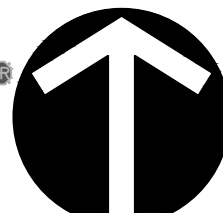
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 R.O.D.C., TN

(144) INST. NO.
 20100318-0020277,
 R.O.D.C., TN

NOTE TO CONTRACTOR:
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P:\2016\184-795\1-CADD\DWG\01-01 Preliminary SP\184-795-001-C300.dwg (C300 GRADING AND DRAINAGE PLAN) LS(6/16/2017 11:08 AM)



NORTH

NOTES

1. DEVELOPER TO COORDINATE WITH NASHVILLE ELECTRIC SERVICE FOR DETAILS REGARDING ELECTRIC SERVICE.
2. DEVELOPER TO COORDINATE WITH PIEDMONT GAS FOR DETAILS REGARDING GAS SERVICE.

LEGEND

- EXISTING PROPERTY LINE
- - - - EXISTING WATER WAY
- - - - EXISTING SETBACK LINE
- - - - EXISTING EASEMENT
- OH-E EXISTING OVERHEAD POWERLINE
- W EXISTING WATERLINE
- SAN EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- 500 CONTOUR INDEX
- 614 CONTOUR INTERMEDIATE
- ⊕ EXISTING MANHOLE
- ⊕ EXISTING TELEPHONE/ELECTRICAL POLE
- ⊕ EXISTING LIGHT POLE
- ⊕ EXISTING CATCH BASIN
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING ELECTRIC METER
- W PROPOSED WATER LINE
- SAN PROPOSED SANITARY SEWER
- UG-E PROPOSED ELECTRIC
- G PROPOSED GAS
- ⊕ PROPOSED MANHOLE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED ELECTRIC TRANSFORMER
- ⊕ PROPOSED CURB
- ▭ PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
- COMPACT PARKING COUNT
- PROPOSED RETAINING WALL

NO.	DATE	REVISION RECORD	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2328
 www.cecinc.com

CASE#: 2017SP-031-001
 RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

UTILITY PLAN
 DATE: MAY 2017
 DRAWN BY: JJC
 PROJECT NO: 104-795
 CHECKED BY: JJC
 APPROVED BY: RGM

DRAWING NO.: C500

BELL FORGE VILLAGE
 PARCEL 117
 PLAT INSTRUMENT NO.
 00005200-0000515,
 R.O.D.C., TN

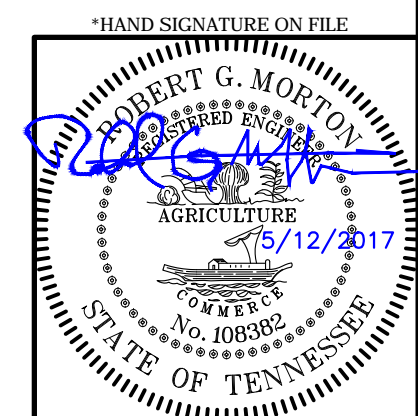
PARCEL 339
 PLAT INSTRUMENT NO.
 20010924-0102891,
 R.O.D.C., TN

(144) INST. NO.
 20100318-0020277,
 R.O.D.C., TN

NOTE TO CONTRACTOR:
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811
 Know what's below.
 Call before you dig.

SCALE IN FEET
 0 40 80



A:\2016\164-795\164-795-001-0000\DWG\01-01 Preliminary SP\164-795-001-0000.dwg(500) UTILITY PLAN 15/11/2017 11:08 AM
 L.P. 7/17/2017 11:08 AM



PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	SPACING	REMARKS
	II	34	ILEX GLABRA 'SHAMROCK' / INKBERRY	CONT.	24"-30" HT.	AS SHOWN	SHEARED
	MIS	2	MISCANTHUS SINENSIS 'MORNING LIGHT' / MORNING LIGHT SILVER GRASS	CONT.	24"-30" HT	AS SHOWN	FULL SHAPE
	NH	25	NANDINA DOMESTICA 'HARBOUR DWARF' / DWARF HEAVENLY BAMBOO	CONT.	18"-24" HT	AS SHOWN	FULL SHAPE
	R3	6	ROSA X 'NEARLY WILD' / NEARLY WILD ROSE	CONT.	24"-30" HT.	AS SHOWN	FULL SHAPE
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	SPACING	REMARKS
	HO	24	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL.	6"-12" HT.	20" o.c.	
	LB	49	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF	1 GAL.	6"-12" HT.	20" o.c.	

TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	CONDITION	SIZE	SPACING	REMARKS
	AB	7	ACER RUBRUM 'BOWHALL RED' / RED MAPLE	B & B	3" CAL.	AS SHOWN	SINGLE LEADER
	AB2	32	ACER RUBRUM 'BOWHALL RED' / RED MAPLE	B & B	4" CAL	AS SHOWN	SINGLE LEADER
	AROG	20	ACER RUBRUM 'OCTOBER GLORY' TM / OCTOBER GLORY MAPLE	B & B	3" CAL.	AS SHOWN	SINGLE LEADER
	GA	20	GINKGO BILOBA 'AUTUMN GOLD' TM / MAIDENHAIR TREE	B & B	3" CAL.	AS SHOWN	*MALE, SINGLE LEADER
	GA2	11	GINKGO BILOBA 'AUTUMN GOLD' TM / MAIDENHAIR TREE	B & B	4" CAL	AS SHOWN	*MALE, SINGLE LEADER
	IA	12	ILEX OPACA / AMERICAN HOLLY	B & B	3" CAL.	AS SHOWN	SHEARED
	JE	12	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	3" CAL.	AS SHOWN	SHEARED
	PK	11	PRUNUS SERRULATA 'KWANZAN' / FLOWERING CHERRY	B & B	3" CAL.	AS SHOWN	
	CL	22	X CUPRESSOCYPARIS LEYLANDII / LEYLANDI CYPRESS	B & B	3" CAL.	AS SHOWN	SHEARED, SINGLE LEADER
	ZV	20	ZELKOVA SERRATA 'VILLAGE GREEN' / SAWLEAF ZELKOVA	B & B	3" CAL.	AS SHOWN	SINGLE LEADER

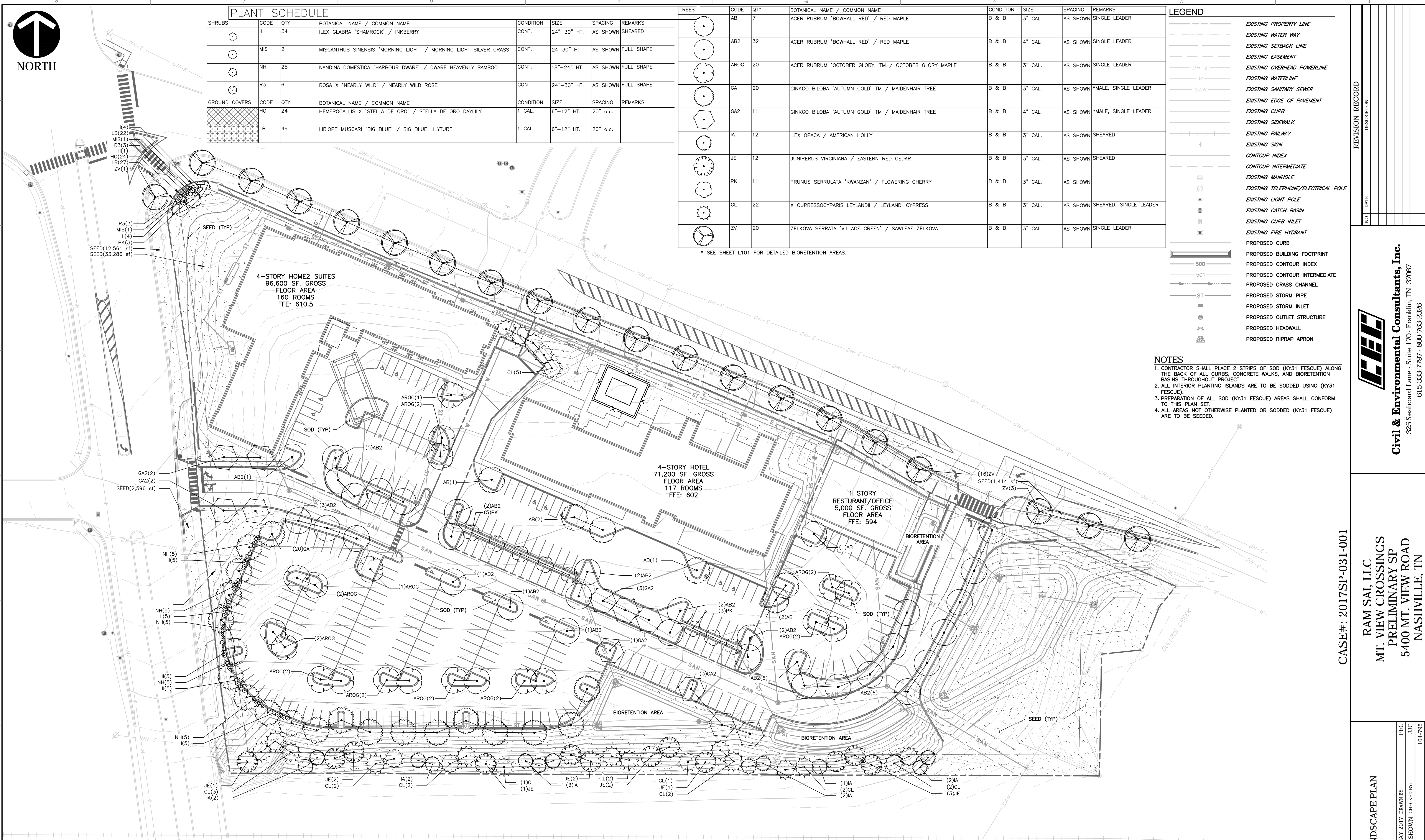
* SEE SHEET L101 FOR DETAILED BIORETENTION AREAS.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING WATER WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- OH-E
- EXISTING OVERHEAD POWERLINE
- W
- EXISTING WATERLINE
- SAN
- EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- CONTOUR INDEX
- CONTOUR INTERMEDIATE
- EXISTING MANHOLE
- EXISTING TELEPHONE/ELECTRICAL POLE
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED CONTOUR INDEX
- 500
- 501
- PROPOSED CONTOUR INTERMEDIATE
- PROPOSED GRASS CHANNEL
- ST
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON

NOTES

- CONTRACTOR SHALL PLACE 2 STRIPS OF SOD (KY31 FESCUE) ALONG THE BACK OF ALL CURBS, CONCRETE WALKS, AND BIORETENTION BASINS THROUGHOUT PROJECT.
- ALL INTERIOR PLANTING ISLANDS ARE TO BE SODDED USING (KY31 FESCUE).
- PREPARATION OF ALL SOD (KY31 FESCUE) AREAS SHALL CONFORM TO THIS PLAN SET.
- ALL AREAS NOT OTHERWISE PLANTED OR SODDED (KY31 FESCUE) ARE TO BE SEEDED.



NO.	DATE	REVISION RECORD	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2328
 www.cecinc.com

RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

LANDSCAPE PLAN

DATE: MAY 2017
 DRAWN BY: JJC
 DWG SCALE: AS SHOWN
 CHECKED BY: 104-795
 APPROVED BY: RGM

PROJECT NO.: 2017SP-031-001

DRAWING NO.: **L100**

A:\2016\164-795-001\DWG\01-01 Preliminary SP\164-795-001-100.dwg (L100 LANDSCAPE PLAN) LS(4/20/2017 - Monmouth) - LP: 7/17/2017 11:08 AM

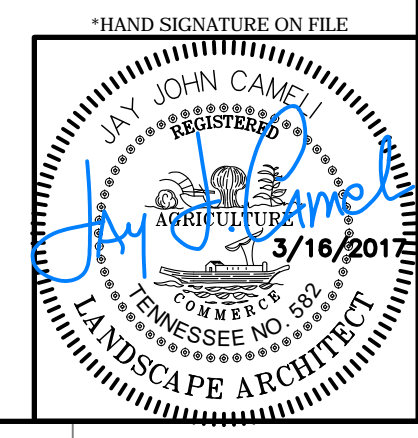
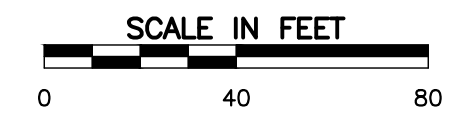


NOTE TO CONTRACTOR:

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Date	3/16/2017
Map	Parcel 163-00-0-339-00
Application Number	164-795
Project Name	5400 Mt. View Road
Address	
1 Acreage (area of building site)	8.15 ac
2 Minus building coverage area	1.08 AC
3 Equals adjusted acreage	7.07 AC
4 Multiplied by required density units for project	14
5 Equals required tree density units for project	98.98

CAL	# OF TREES	VALUE	UNITS	CAL	# OF TREES	VALUE	UNITS
2	X	0.5	= 0	5	X	0.9	=
3	X	0.6	= 100.2	6	X	1	=
4	X	0.7	= 0	7	X	1.2	=
Density units provided on above schedules.				0			
Total density units for protected trees				+			
Total density units for new trees				100.2			
Total density units provided				= 100.2			



DAVID R. CARTER AND ASSOCIATES 

WWW • DAVIDR CARTER • NET

May 15, 2017

Agency Correspondence


00735

**Re: Mount View Crossings
Case # 2017SP-031-001
Nashville, Tennessee**

To Whom It May Concern:

Regarding the proposed hotel on parcel one, we understand it is the wishes of Metro to have pedestrian access to the hotel from a public sidewalk on Mount View Road. Due to site grades, it appears that such an entrance will need to occur on the second floor level. This will be accomplished, but the entrance will have to be secured and accessible only by registered guests with an electronic key-card. We can provide a covered area to define the entrance.

We also understand that Metro is not allowing EIFS exterior finish materials. The exterior siding will be all brick with the exception of stone at the patio areas up to the second floor line, following current prototypical designs for dual Hampton Inn and Home2 Suites. We request to use EIFS on cornices to provide decorative relief.

Sincerely,

David R. Carter

Copy: File.

735.agg lr metro 01

PHONE (615) 662-5859

8137 POPLARWOOD LANE, NASHVILLE, TENNESSEE 37221

FAX (615) 662-1353



STUDIO A
architecture

2330 FRANKFORT AVENUE
LOUISVILLE, KENTUCKY 40206
T: 502.589.8007 • F: 502.589.8004
WWW.STUDIOAARCH.COM

CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME

COURTYARD®
Marriott®
NASHVILLE, TN

OWNER

Triumph
Management Co. LLC

201 Crossings Place
Antioch, TN 37013

SEAL

No.	Description	Date

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**EXTERIOR
PERSPECTIVES**

Project number 17-BK-01

Date MAY 19, 2017

210

Scale

1 FRONT PERSPECTIVE
SCALE: NTS

F:\2017\Bhaskar\17-BK-01\Courtyard Drawings - DWG\04-06-210-C-Exterior Perspectives.dwg 5/24/2017



2330 FRANKFORT AVENUE
LOUISVILLE, KENTUCKY 40206
T: 502.589.8007 F: 502.589.8004
WWW.STUDIOAARCH.COM

CONSULTANTS
CIVIL ENGINEERING

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Marriott[®]
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**EXTERIOR
PERSPECTIVES**

Project number 17-BK-01
Date MAY 19, 2017

211

Scale

1 REAR PERSPECTIVE
SCALE: NTS

F:\2017\Bhaskar\17-BK-01\Courtyard Drawings - DWG\04-06-211-C-Exterior Perspectives.dwg 5/24/2017



1 FRONT (SOUTH) ELEVATION
 3/16" = 1'-0"



2 SIDE (WEST) ELEVATION
 3/16" = 1'-0"



3 SIDE (EAST) ELEVATION
 3/16" = 1'-0"



4 REAR (NORTH) ELEVATION
 3/16" = 1'-0"

MASONRY MATERIALS LEGEND	
FIELD BRICK	
ACCENT BRICK #1	
ACCENT BRICK #2 HORIZONTAL BANDING	
LEDGE STONE	

TRIUMPH RETAIL

JUNE 20, 2017

SV # 17049.00



① PERSPECTIVE ONE

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TRIUMPH RETAIL

JUNE 20, 2017

SV # 17049.00



① PERSPECTIVE TWO

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TRIUMPH RETAIL

JUNE 20, 2017

SV # 17049.00



① PERSPECTIVE THREE

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THE CROSSINGS
PARCEL 278
PLAT INSTRUMENT NO.
00007900-0000605,
R.O.D.C., TN

Id	Bearing	Distance
L1	S 38° 32' 40" W	25.98'
L2	S 21° 36' 28" W	43.87'
L3	S 84° 01' 08" W	39.19'
L4	S 00° 55' 26" W	117.02'

Curve Table						
Id	Delta	Radius	Arc Length	Tangent	Chord	Ch Bear
C1	118° 28' 13"	40.00'	82.71'	67.19'	68.74'	N 50° 58' 04" E
C2	03° 30' 50"	464.22'	28.47'	14.24'	28.47'	S 68° 02' 25" E
C3	00° 20' 22"	2564.33'	15.19'	7.60'	15.19'	N 89° 38' 57" W

LEGEND

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- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC METER
- EXISTING SLOPES BETWEEN 15% AND 25%
- EXISTING SLOPES OVER 25%
- SOIL TYPE BOUNDARY
- BARFIELD-ROCK OUTCROP COMPLEX, 5 TO 20 PERCENT SLOPES
- ROCK OUTCROP-TALBOT COMPLEX, 5 TO 15 PERCENT SLOPES
- STIVERSVILLE LOAM, 3 TO 12 PERCENT SLOPES
- TALBOT-ROCK OUTCROP COMPLEX, 5 TO 15 PERCENT SLOPES

REVISION RECORD

NO.	DATE	DESCRIPTION

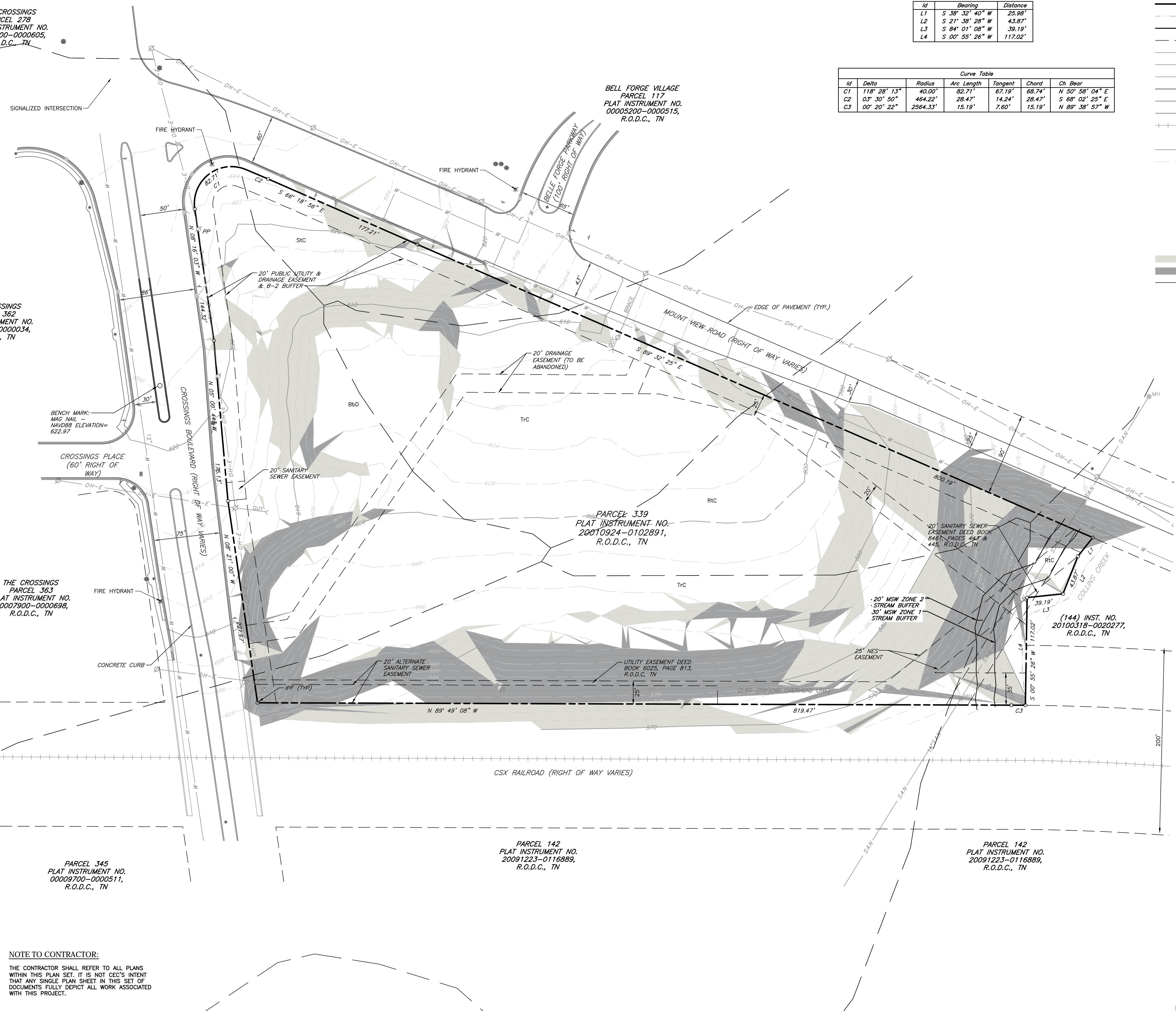
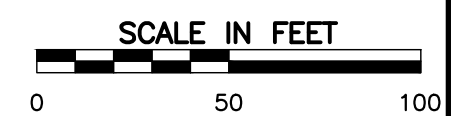
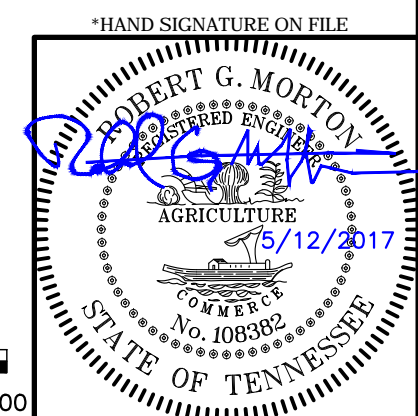
Civil & Environmental Consultants, Inc.
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615-333-7797 - 800-763-2328
www.cecinc.com

CASE#: 2017SP-031-001

RAM SAI, LLC
MT. VIEW CROSSINGS
PRELIMINARY SP
5400 MT. VIEW ROAD
NASHVILLE, TN

EXISTING CONDITIONS

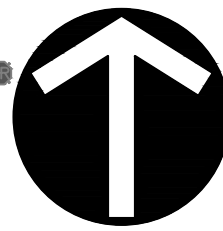
DATE:	MAY 2017	DRAWN BY:	PEC
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	104-795	APPROVED BY:	RCM



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A:\2016\104-795\104-795-001-00000001.dwg (18/2017 - 1P, 5/16/2017 9:20 AM)



NORTH

NOTES

- CROSS ACCESS EASEMENT TO BE PROVIDED BETWEEN ALL PARCELS WITHIN DEVELOPMENT.
- NO VERTICAL OBSTRUCTIONS ARE PERMITTED IN PROPOSED OR EXISTING SIDEWALKS. THESE OBSTRUCTIONS WILL EITHER BE RELOCATED, OR THE SIDEWALK WILL BE ROUTED AROUND THEM, MAINTAINING ITS REQUIRED WIDTH AT ALL TIMES.
- ALL CONSTRUCTION WITHIN THE EXISTING AND PROPOSED RIGHTS OF WAY IS TO COMPLY WITH METRO PUBLIC WORKS STANDARDS.
- DUMPSTER ENCLOSURE TO BE CONSTRUCTED OF OPAQUE MATERIAL THAT WILL COMPLIMENT BUILDING, AND BE 7'6" TALL. DESIGN TO BE PROVIDED BY ARCHITECT.

LEGEND

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- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
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- PROPOSED RETAINING WALL
- PROPOSED CONCRETE
- PROPOSED BIORETENTION AREA
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON
- TRUNCATED DOMES

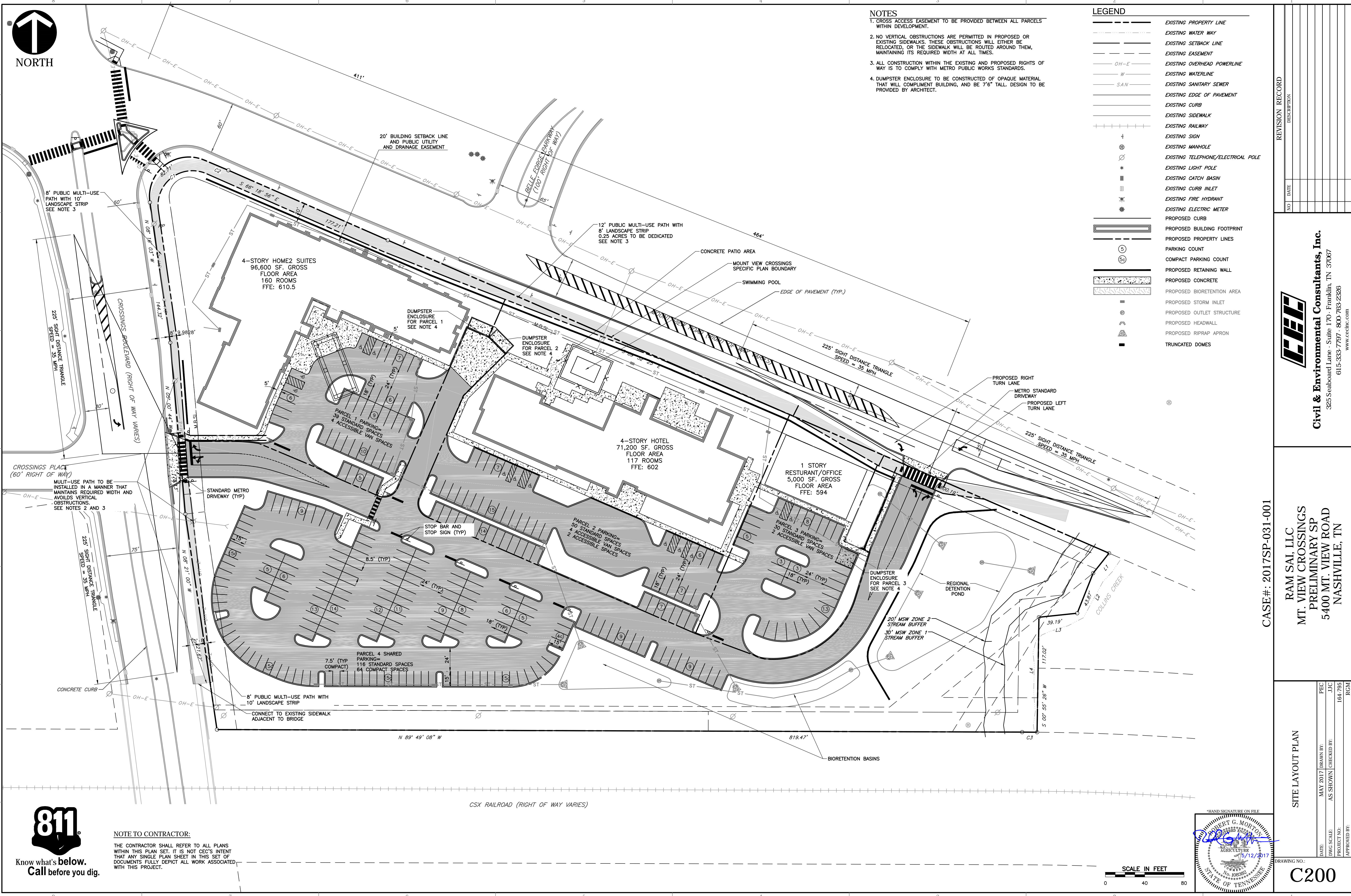
NO.	DATE	DESCRIPTION

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CASE#: 2017SP-031-001
 RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

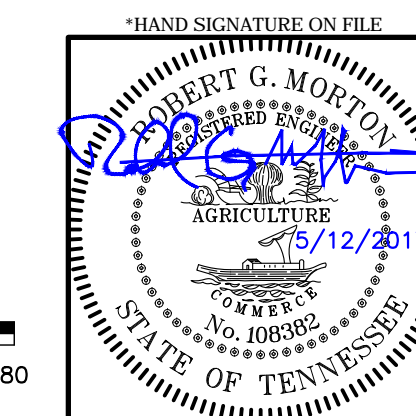
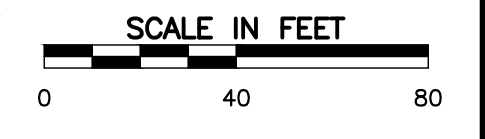
DATE:	MAY 2017	DRAWN BY:	JJC
DWG SCALE:	AS SHOWN	CHECKED BY:	104-795
APPROVED BY:			RCM

SITE LAYOUT PLAN
 DRAWING NO. C200

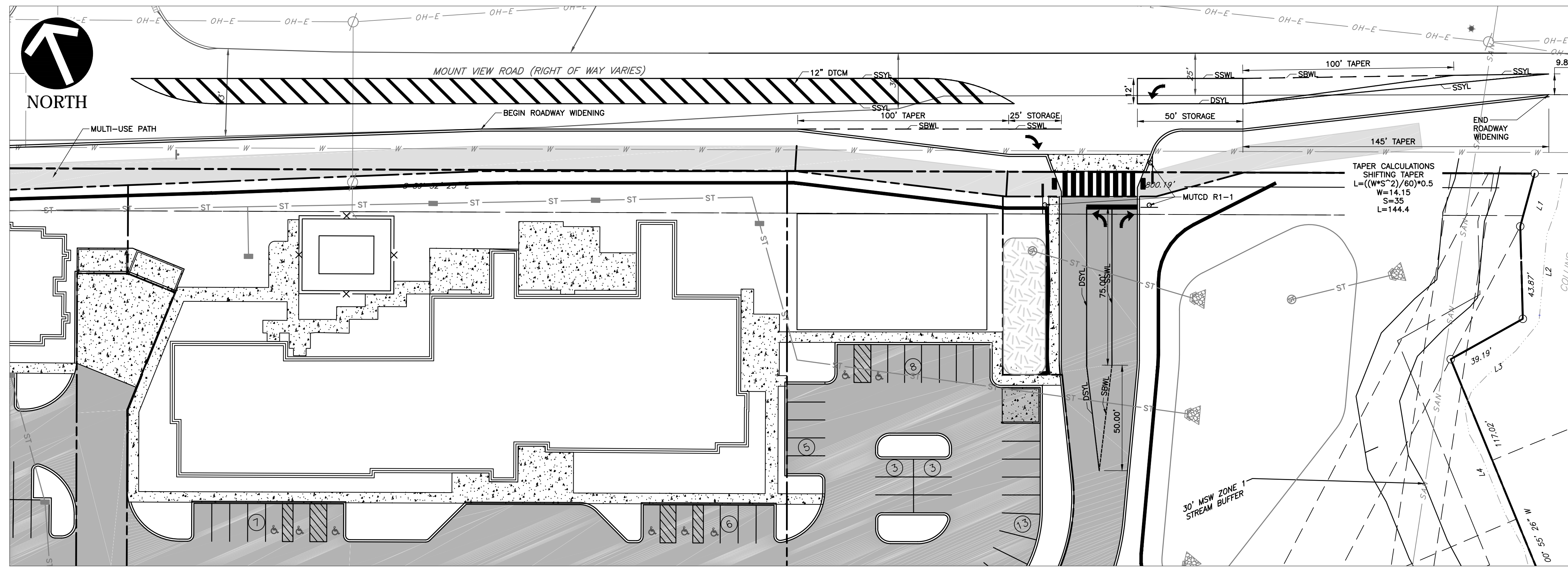


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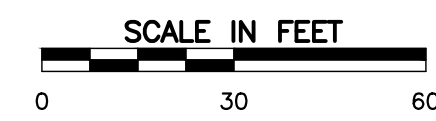
811
 Know what's below.
 Call before you dig.



P:\2016\164-795-001 Preliminary SP\164-795-001-000.dwg (12/2017) - Architecture - LP: 5/16/2017 8:30 AM
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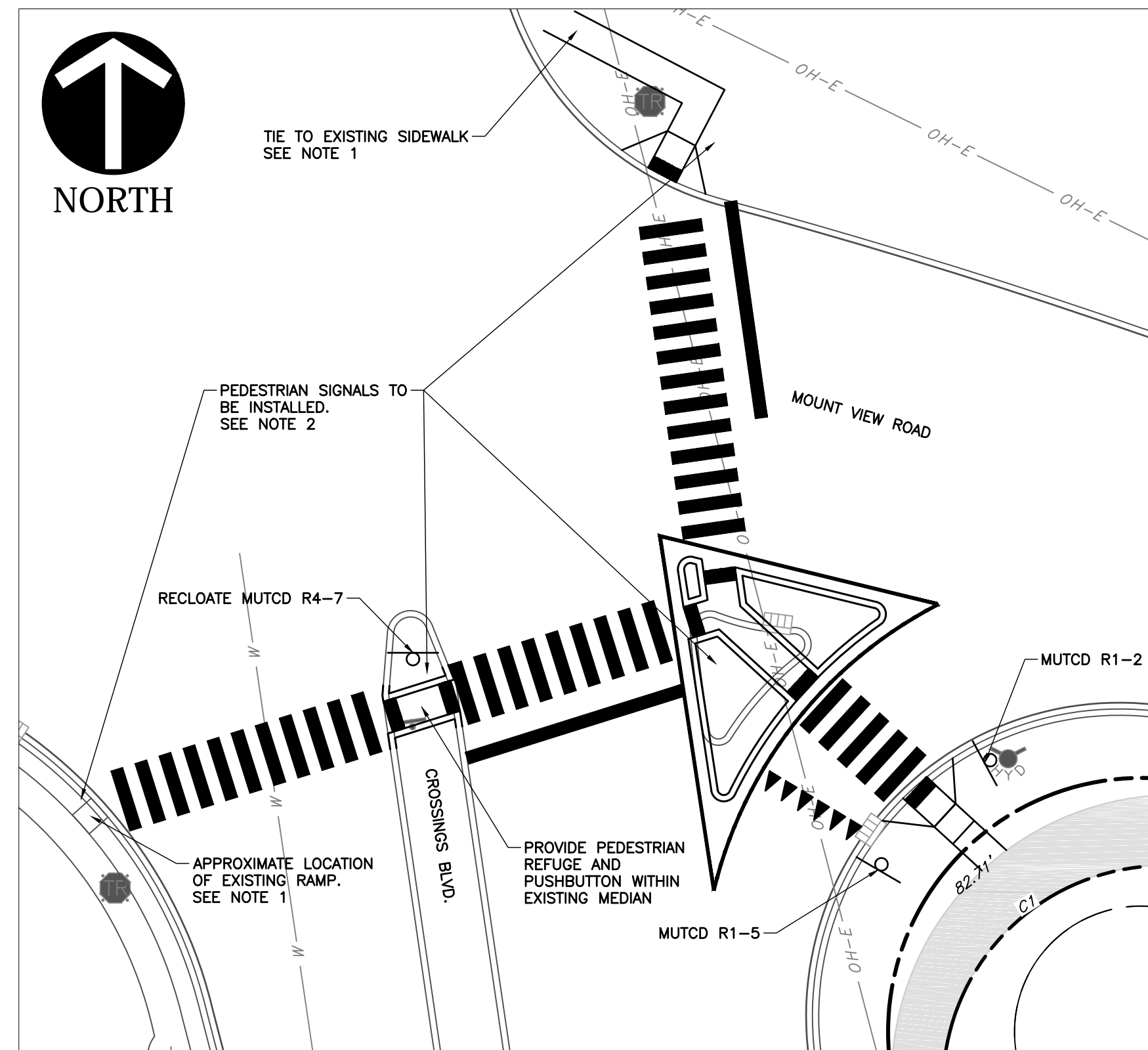
MOUNT VIEW ROAD AT PROJECT DRIVEWAY



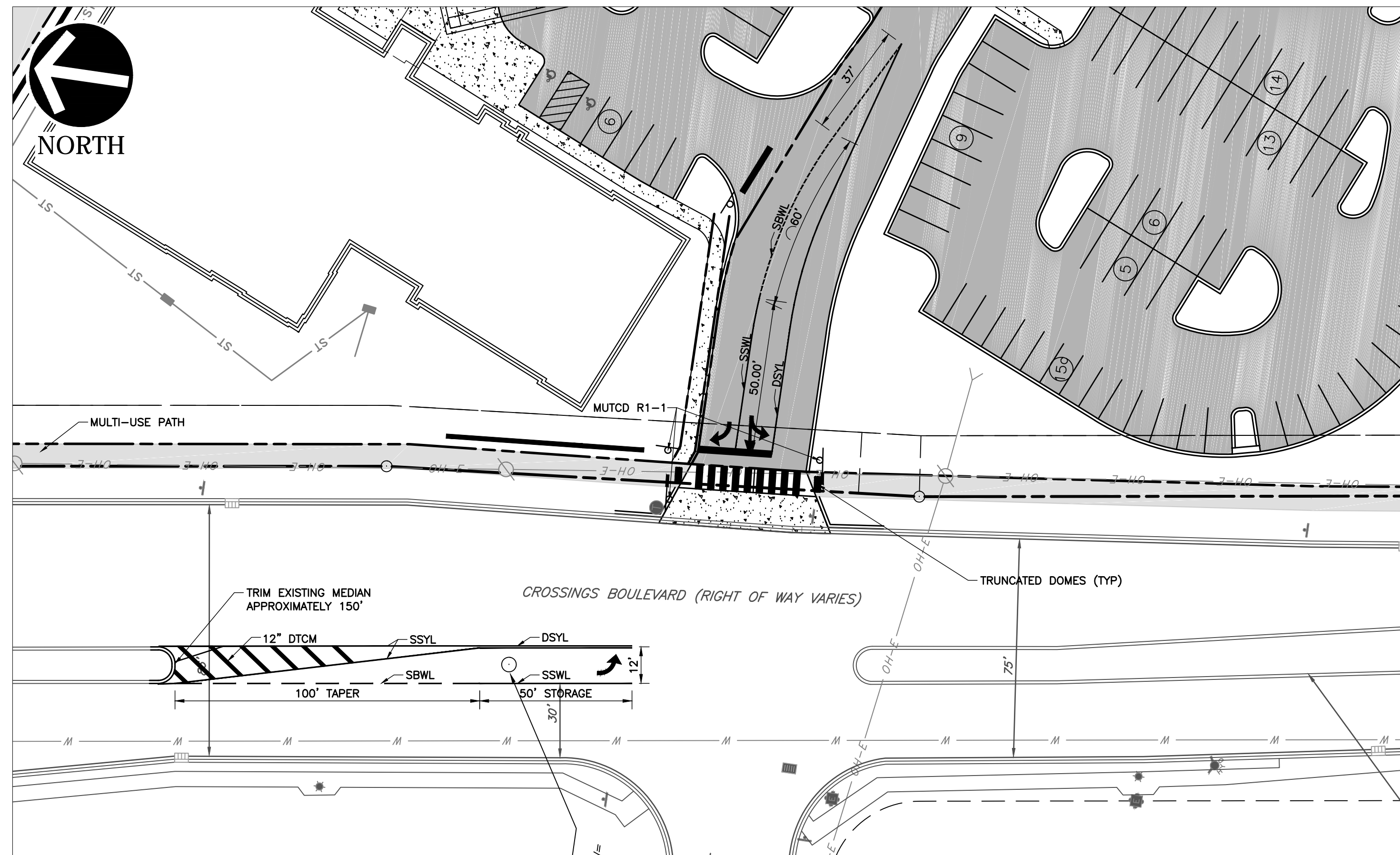
LEGEND

- EXISTING PROPERTY LINE
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- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON
- SSWL SINGLE SOLID WHITE LINE
- SBWL SINGLE BROKEN WHITE LINE
- SSSL SINGLE SOLID YELLOW LINE
- DSSL DOUBLE SOLID YELLOW LINE
- TRUNCATED DOMES

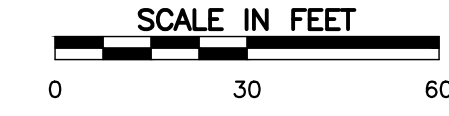
- NOTES:
1. TRAFFIC LAYOUT IS BASED ON AERIAL IMAGERY, AND IS SUBJECT TO MINOR MODIFICATIONS.
 2. PROPOSED PEDESTRIAN SIGNALS WILL BE DESIGNED AND SHOWN IN A LATER STAGE OF THE PROJECT.
 3. PROPOSED MULTI-USE PATH LAYOUT SHOWN IN FULL ON SHEET C200



MOUNT VIEW ROAD AT CROSSINGS BLVD.



CROSSINGS BLVD. AND PROJECT DRIVEWAY



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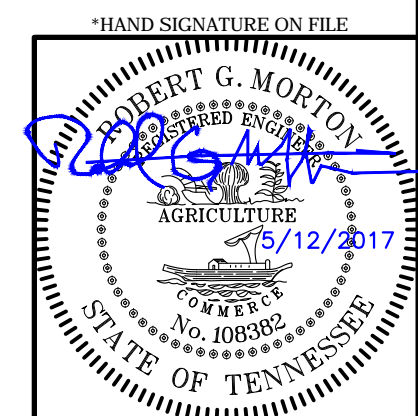


CASE#: 2017SP-031-001

RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

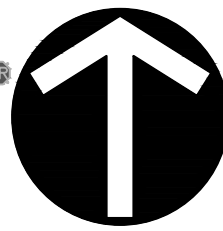
Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2328
 www.cecinc.com

DATE:	MAY 2017	DRAWN BY:	PEC
DWG SCALE:	AS SHOWN	CHECKED BY:	JJC
PROJECT NO.:	104-795	APPROVED BY:	RCM



ROADWAY PLAN
 DRAWING NO. **C201**

A:\2016\164-795\164-795-001-001-000.dwg (2017-05-12 10:07:00 AM) - CP: 5/16/2017 8:30 AM



NORTH

NOTES

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
3. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
4. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE, AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 - REGULATIONS.

LEGEND

- EXISTING PROPERTY LINE
- - - - EXISTING WATER WAY
- - - - EXISTING SETBACK LINE
- - - - EXISTING EASEMENT
- OH-E EXISTING OVERHEAD POWERLINE
- W EXISTING WATERLINE
- SAN EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- 4 EXISTING SIGN
- 500 CONTOUR INDEX
- 614 CONTOUR INTERMEDIATE
- ⊕ EXISTING MANHOLE
- ⊕ EXISTING TELEPHONE/ELECTRICAL POLE
- * EXISTING LIGHT POLE
- ⊕ EXISTING CATCH BASIN
- ⊕ EXISTING CURB INLET
- ⊕ EXISTING FIRE HYDRANT
- ⊕ EXISTING ELECTRIC METER
- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
- COMPACT PARKING COUNT
- PROPOSED RETAINING WALL
- PROPOSED CONTOUR INDEX
- PROPOSED CONTOUR INTERMEDIATE
- PROPOSED DETENTION POND
- PROPOSED BIORETENTION AREA
- PROPOSED GRASS CHANNEL
- PROPOSED STORM PIPE
- PROPOSED STORM INLET
- PROPOSED OUTLET STRUCTURE
- PROPOSED HEADWALL
- PROPOSED RIPRAP APRON

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2323
 www.cecinc.com

CASE#: 2017SP-031-001

RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

GRADING AND DRAINAGE PLAN

DATE: MAY 2017 DRAWN BY: JJC
 DWG SCALE: AS SHOWN CHECKED BY: 184-795
 PROJECT NO: 184-795
 APPROVED BY: RGM

C300

BELL FORGE VILLAGE
 PARCEL 117
 PLAT INSTRUMENT NO.
 00005200-0000515,
 R.O.D.C., TN

PARCEL 339
 PLAT INSTRUMENT NO.
 20010924-0322891,
 R.O.D.C., TN

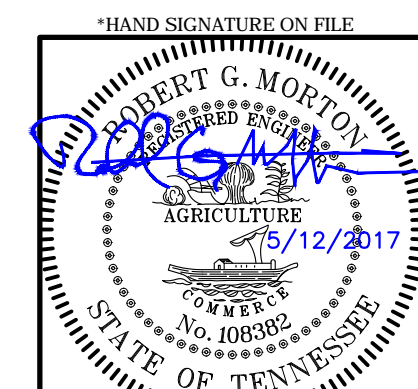
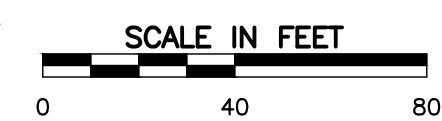
PROJECT
 OUTFALL
 (144) INST. NO.
 20100318-0020277,
 R.O.D.C., TN

NOTE TO CONTRACTOR:

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT CEC'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

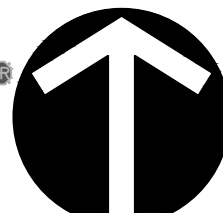


Know what's below. Call before you dig.



C300

P:\2016\184-795\1-CADD\DWG\01-01 Preliminary SP\184-795-001-C300.dwg (C300 GRADING AND DRAINAGE PLAN) LS(6/16/2017 9:21 AM)



NORTH

NOTES

1. DEVELOPER TO COORDINATE WITH NASHVILLE ELECTRIC SERVICE FOR DETAILS REGARDING ELECTRIC SERVICE.
2. DEVELOPER TO COORDINATE WITH PIEDMONT GAS FOR DETAILS REGARDING GAS SERVICE.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING WATER WAY
- EXISTING SETBACK LINE
- EXISTING EASEMENT
- EXISTING OVERHEAD POWERLINE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING SIDEWALK
- EXISTING RAILWAY
- EXISTING SIGN
- CONTOUR INDEX
- CONTOUR INTERMEDIATE
- EXISTING MANHOLE
- EXISTING TELEPHONE/ELECTRICAL POLE
- EXISTING LIGHT POLE
- EXISTING CATCH BASIN
- EXISTING CURB INLET
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC METER
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED ELECTRIC
- PROPOSED GAS
- PROPOSED MANHOLE
- PROPOSED FIRE HYDRANT
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED CURB
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PROPERTY LINES
- PARKING COUNT
- COMPACT PARKING COUNT
- PROPOSED RETAINING WALL

NO.	DATE	REVISION RECORD	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane - Suite 170 - Franklin, TN 37067
 615-333-7797 - 800-763-2328
 www.cecinc.com

CASE#: 2017SP-031-001
 RAM SAI, LLC
 MT. VIEW CROSSINGS
 PRELIMINARY SP
 5400 MT. VIEW ROAD
 NASHVILLE, TN

UTILITY PLAN
 DATE: MAY 2017
 DRAWN BY: JJC
 PROJECT NO: 104-795
 CHECKED BY: JJC
 APPROVED BY: RGM

DRAWING NO.: C500

A:\2016\164-795\164-795-001-0000.dwg (2017 - preliminary) - LP: 5/16/2017 9:21 AM
 A:\2016\164-795\164-795-001-0000.dwg (2017 - preliminary) - LP: 5/16/2017 9:21 AM

BELL FORGE VILLAGE
 PARCEL 117
 PLAT INSTRUMENT NO.
 00005200-0000515,
 R.O.D.C., TN

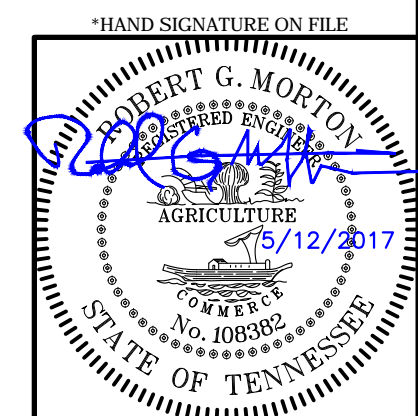
PARCEL 339
 PLAT INSTRUMENT NO.
 20010924-0102891,
 R.O.D.C., TN

(144) INST. NO.
 20100318-0020277,
 R.O.D.C., TN

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811
 Know what's below.
 Call before you dig.

SCALE IN FEET
 0 40 80



PARCEL 142
 PLAT INSTRUMENT NO.

PARCEL 142
 PLAT INSTRUMENT NO.

DAVID R. CARTER AND ASSOCIATES 

WWW • DAVIDR CARTER • NET

May 15, 2017

Agency Correspondence


00735

**Re: Mount View Crossings
Case # 2017SP-031-001
Nashville, Tennessee**

To Whom It May Concern:

Regarding the proposed hotel on parcel one, we understand it is the wishes of Metro to have pedestrian access to the hotel from a public sidewalk on Mount View Road. Due to site grades, it appears that such an entrance will need to occur on the second floor level. This will be accomplished, but the entrance will have to be secured and accessible only by registered guests with an electronic key-card. We can provide a covered area to define the entrance.

We also understand that Metro is not allowing EIFS exterior finish materials. The exterior siding will be all brick with the exception of stone at the patio areas up to the second floor line, following current prototypical designs for dual Hampton Inn and Home2 Suites. We request to use EIFS on cornices to provide decorative relief.

Sincerely,

David R. Carter

Copy: File.

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COURTYARD by MARRIOTT
Marriott International Inc.
10400 Fernwood Road
Bethesda, MD 20817
(301) 360-3000



COURTYARD[®]
Marriott[®]

COURTYARD by MARRIOTT

Design Guideline Drawings
ISSUE DATE: 01/22/16
REVISION DATE:
GENERATION: GEN 6
DECOR: C/Ynergy

EXTERIOR
PERSPECTIVES

1 FRONT PERSPECTIVE - DAY
SCALE: NTS

210

NOT FOR CONSTRUCTION

FILE NAME: 04-G6-210-C-Exterior Perspectives

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Marriott International Inc.
10400 Fernwood Road
Bethesda, MD 20817
(301) 360-3000



COURTYARD[®]
Marriott[®]

COURTYARD by MARRIOTT

Design Guideline Drawings
ISSUE DATE: 01/22/16
REVISION DATE:
GENERATION: GEN 6
DECOR: C/energy

EXTERIOR
PERSPECTIVES

1 FRONT PERSPECTIVE - NIGHT
SCALE: NTS

211

NOT FOR CONSTRUCTION

FILE NAME: 04-G6-211-C-Exterior Perspectives



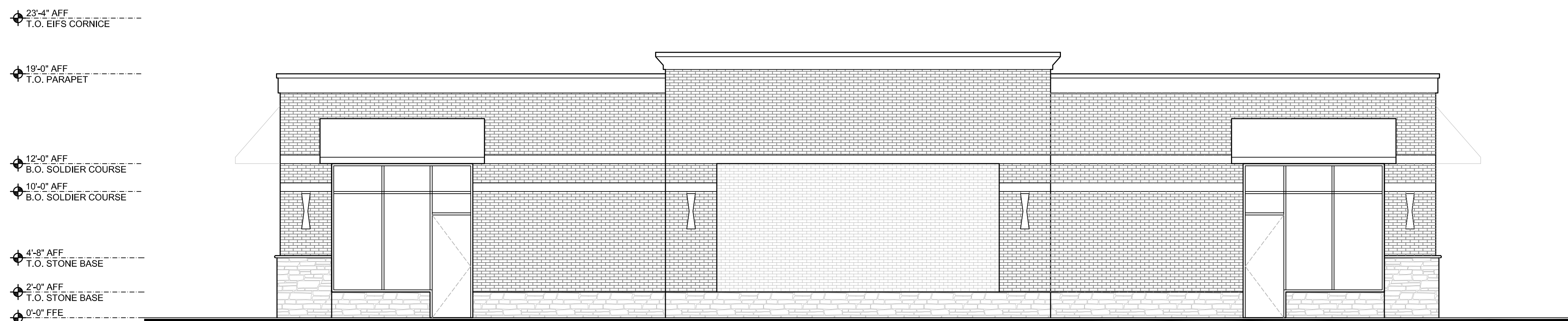
1 FRONT (SOUTH) ELEVATION
 3/16" = 1'-0" 0 5 10 15



2 SIDE (WEST) ELEVATION
 3/16" = 1'-0" 0 5 10 15



3 SIDE (EAST) ELEVATION
 3/16" = 1'-0" 0 5 10 15



4 REAR (NORTH) ELEVATION
 3/16" = 1'-0" 0 5 10 15

MASONRY MATERIALS LEGEND	
FIELD BRICK	
ACCENT BRICK #1	
ACCENT BRICK #2 HORIZONTAL BANDING	
LEDGE STONE	

TRIUMPH RETAIL

MAY 15, 2017

SV # 17049.00



① PERSPECTIVE ONE

TRIUMPH RETAIL

MAY 15, 2017

SV # 17049.00



① PERSPECTIVE TWO

TRIUMPH RETAIL

MAY 15, 2017

SV # 17049.00



① PERSPECTIVE THREE

REFERENCE NOTES

A. REFER TO DESIGN STANDARDS, "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
- REVEALS VARY IN DEPTH AND WIDTH ACROSS BUILDING ELEVATION.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISABLE TO THE GUEST AT GRADE LEVEL.

CRITERIA NOTES

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- A0 - ARCHITECTURAL**
- A59 PAINT LOUVERS SIMILAR TO ADJACENT WALL SURFACE
 - A66 (S) EXTERIOR ACCENT LINEAR LIGHT FIXTURES, ARRANGED IN RANDOM PATTERN. DESIGNER TO COORDINATE EXACT LOCATIONS WITH EXTERIOR CLADDING SYSTEM
 - A67 PREFINISHED BREAK METAL SHADOW-BOX TYPICAL AT ALL LOCATIONS WHERE EIFS ACCENT COLOR IS ADJACENT TO GUESTROOM WINDOWS.

- A80 OPTIONAL HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS
- A81 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION

EXTERIOR FINISH KEY

	EIFS COLOR 1		METAL COLOR 2
	EIFS COLOR 2		METAL COLOR 3
	EIFS COLOR 3		METAL COLOR 4
	MANUFACTURED STONE/ MASONRY VENEER		WOOD
	METAL COLOR 1		WOOD
	BRICK COLOR 1		

STUDIO A
architecture

2330 FRANKFORT AVENUE
LOUISVILLE, KENTUCKY 40206
T: 502.289.8007 F: 502.589.8004
WWW.STUDIOAARCH.COM

CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD
Marriott
NASHVILLE, TN

OWNER
Triumph
Management Co. LLC

201 Crossings Place
Antioch, TN 37013

SEAL

No.	Description	Date

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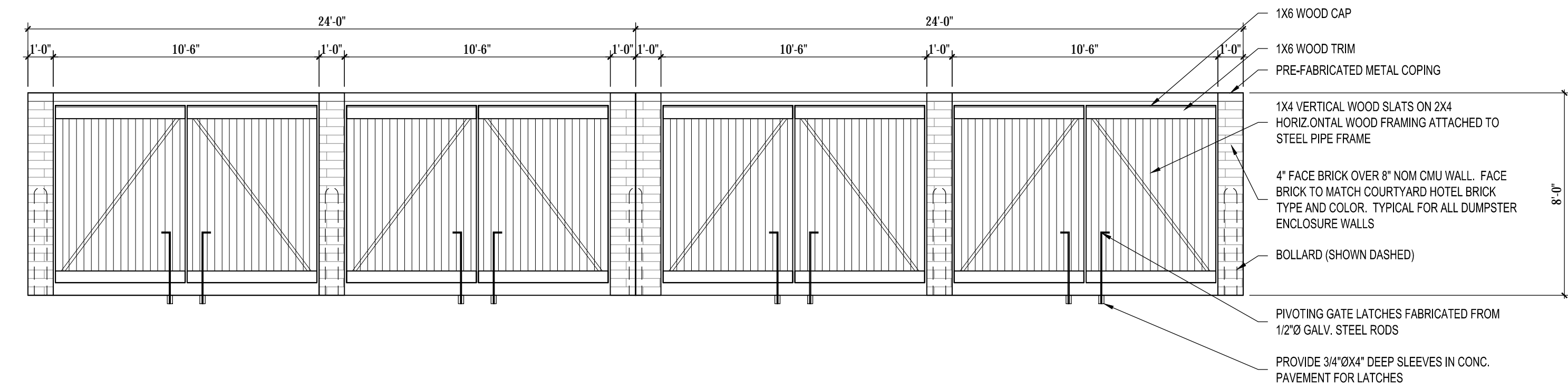
**EXTERIOR
ELEVATIONS
DUMPSTER
ENCLOSURE**

Project number 17-BK-01
Date JUNE 21, 2017

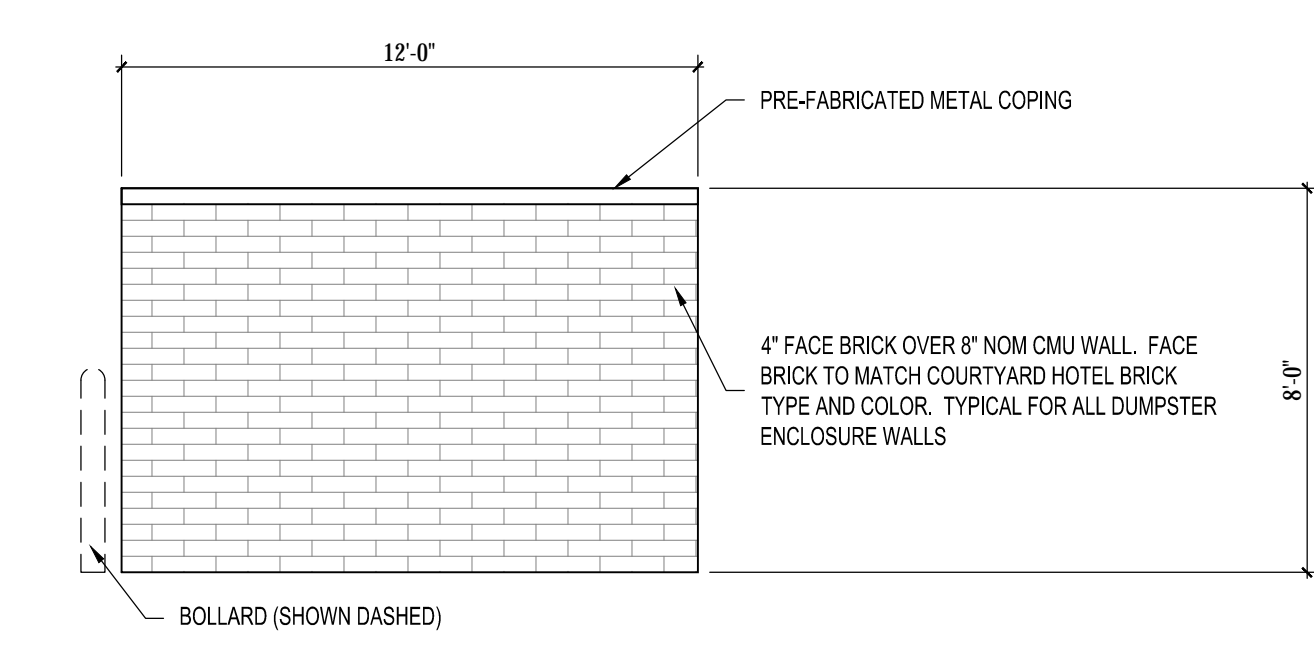
214

Scale

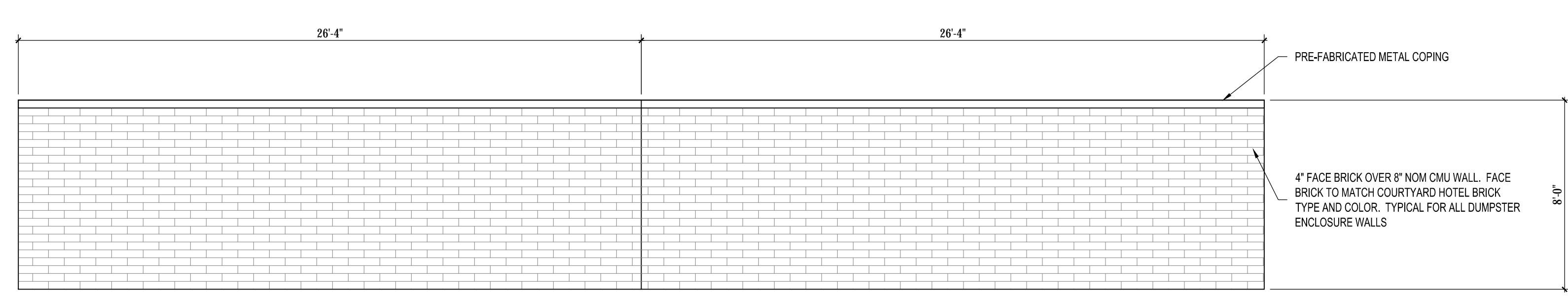
FILE NAME: 04-G6-213-C-Exterior Elevs



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



STUDIO A
architecture

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CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD®
Marriott
NASHVILLE, TN

OWNER
Triumph
Management Co. LLC

201 Crossings Place
Antioch, TN 37013

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**EXTERIOR
PERSPECTIVES**

Project number 17-BK-01
Date MAY 19, 2017

210

Scale

1 FRONT PERSPECTIVE
SCALE: NTS

F:\2017\Bhaika\17-BK-01\Courtyard Drawings - DWG\04-06-210-C-Exterior Perspectives.dwg 5/24/2017



2330 FRANKFORT AVENUE
LOUISVILLE, KENTUCKY 40206
T: 502.589.8007 F: 502.589.8004
WWW.STUDIOAARCH.COM

CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD®
Marriott®
NASHVILLE, TN

OWNER
**Triumph
Management Co. LLC**

201 Crossings Place
Antioch, TN 37013

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**EXTERIOR
PERSPECTIVES**

Project number 17-BK-01
Date MAY 19, 2017

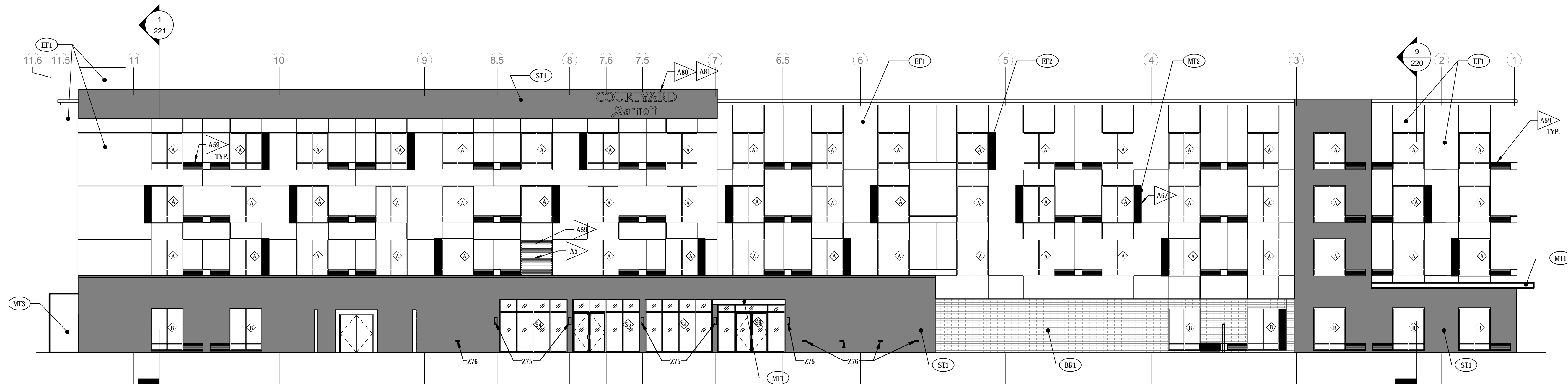
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Scale

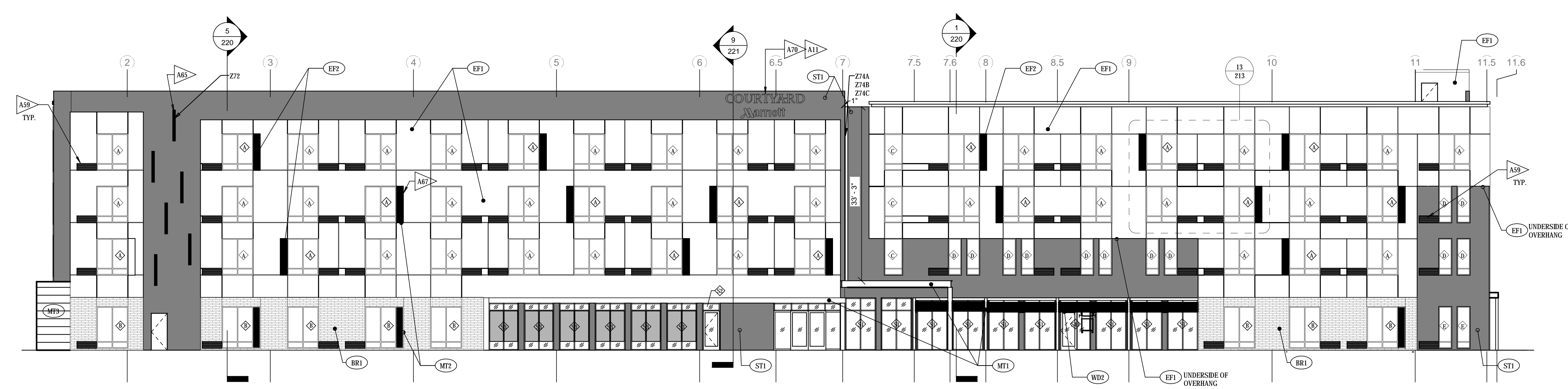
1 REAR PERSPECTIVE
SCALE: NTS

F:\2017\Bhakti\17-BK-01\Courtyard Drawings - DWG\04-06-211-C-Exterior Perspectives.dwg 5/24/2017

1	2	3	4	5	6	7	8
REFERENCE NOTES	GENERAL NOTES		CRITERIA NOTES		EXTERIOR FINISH KEY		SYMBOLS LEGEND
A. REFER TO DESIGN STANDARDS, "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.	1. BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM. 2. REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS. 3. IF USING EXTERNAL DOWNSPOUTS & DOWNSPOUT CLEANOUTS ON CUSTOM EXTERIOR, ARCHITECT TO LOCATE DOWNSPOUTS AT OUTSIDE CORNERS OF THE BUILDING, WHEREVER POSSIBLE. DOWNSPOUT FINISH TO MATCH ADJACENT BUILDING FINISHES THROUGHOUT THE LENGTH OF THE DOWNSPOUT. ALL DOWNSPOUTS MUST HAVE CLEANOUTS.	4. DESIGN GUTTERS, DOWNSPOUTS, ROOF DRAINS AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES. 5. REVEALS VARY IN DEPTH AND WIDTH ACROSS BUILDING ELEVATION.	CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES. A0 ARCHITECTURAL A5 MECHANICAL LOUVERS SHOULD BE ARRANGED SIMILAR TO WINDOW PATTERN A11 HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS A59 PAINT LOUVERS SIMILAR TO ADJACENT WALL SURFACE	A65 (Ø) EXTERIOR ACCENT LINEAR LIGHT FIXTURES, ARRANGED IN RANDOM PATTERN. DESIGNER TO COORDINATE EXACT LOCATIONS WITH EXTERIOR CLADDING SYSTEM A67 PREFINISHED BREAK METAL SHADOW-BOX (MT2) TYPICAL AT ALL LOCATIONS WHERE EIFS ACCENT COLOR (EF2) IS ADJACENT TO GUESTROOM WINDOWS. A70 MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION A80 OPTIONAL HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS A81 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION	EF1 EIFS COLOR 1 EF2 EIFS COLOR 2 EF3 EIFS COLOR 3 ST1 MANUFACTURED STONE/ MASONRY VENEER MT1 METAL COLOR 1 BR1 BRICK COLOR 1 MT2 METAL COLOR 2 MT3 METAL COLOR 3 MT4 METAL COLOR 4 WD1 WOOD WD2 WOOD	◇ WINDOW TYPE	



3 REAR ELEVATION
SCALE: 3/32" = 1'-0" referenced from: 114



1 FRONT ELEVATION
SCALE: 3/32" = 1'-0" referenced from: 200



CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD®
Marriott
NASHVILLE, TN

OWNER
Triumph
Management Co. LLC

201 Crossings Place
Antioch, TN 37013

SEAL

No.	Description	Date

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EXTERIOR ELEVATIONS

Project number 17-BK-01
Date MAY 19, 2017

212

Scale

F:\2017\Bk\17-BK-01\Courtyard Drawings - DWG\04-06-12-C-Exterior Elev.dwg 5/24/2017

REFERENCE NOTES

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EXTERIOR FINISH KEY

EIFS COLOR 1	METAL COLOR 2
EIFS COLOR 2	METAL COLOR 3
EIFS COLOR 3	METAL COLOR 4
MANUFACTURED STONE/ MASONRY VENEER	WOOD
METAL COLOR 1	WOOD
BRICK COLOR 1	



CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD[®]
Marriott
NASHVILLE, TN

OWNER
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201 Crossings Place
Antioch, TN 37013

SEAL

No.	Description	Date

NOT FOR CONSTRUCTION

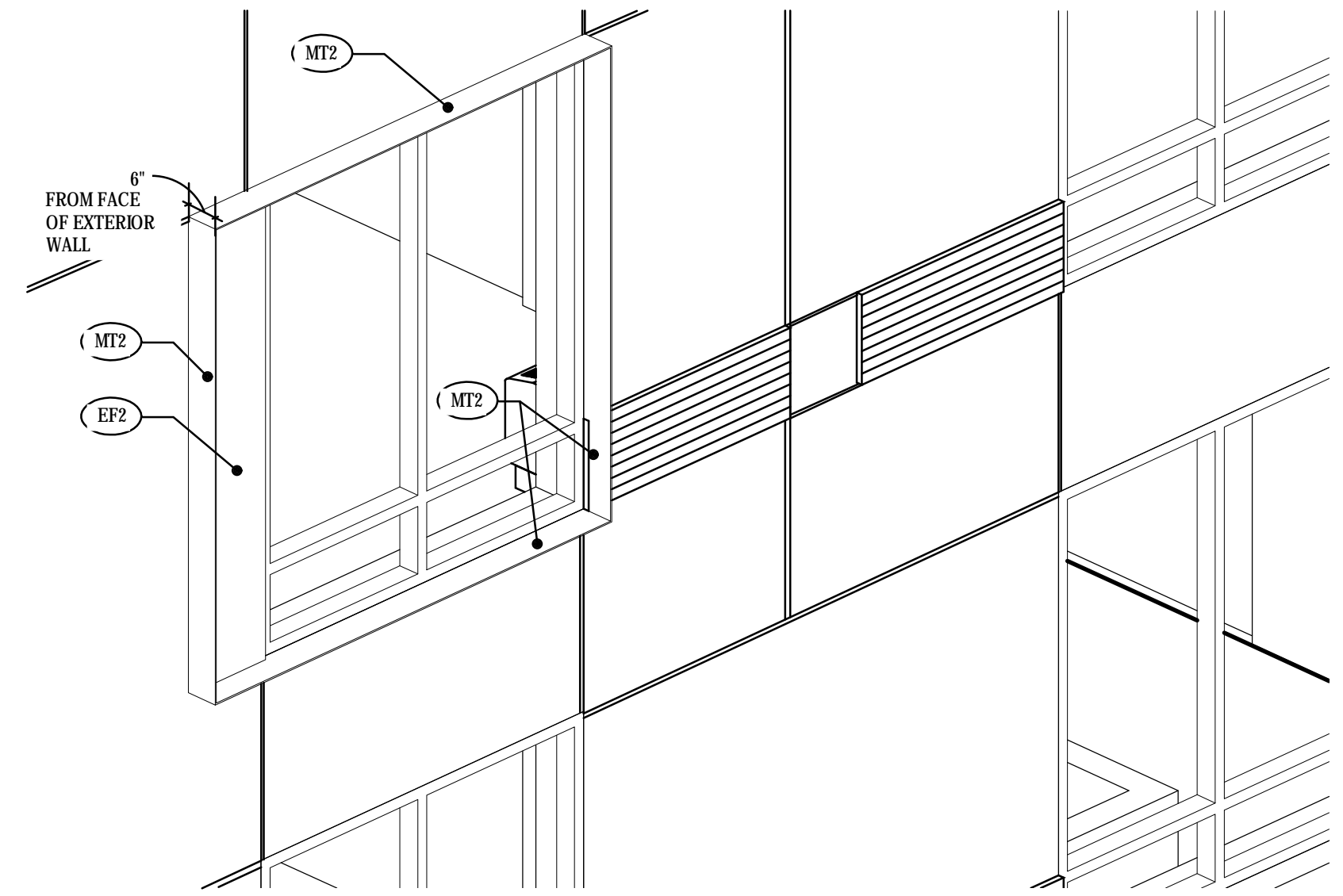
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EXTERIOR ELEVATIONS

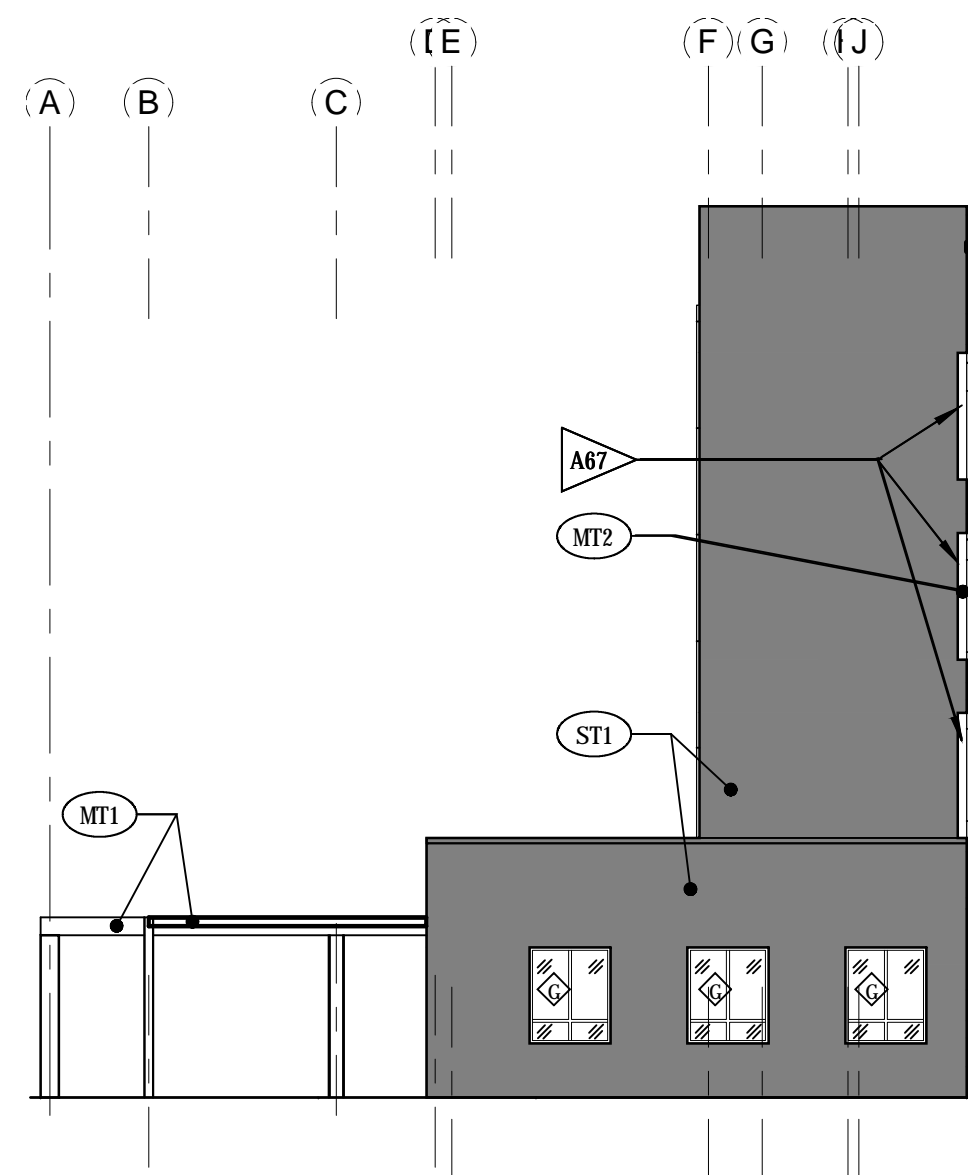
Project number 17-BK-01
Date MAY 19, 2017

213
Scale NOT FOR CONSTRUCTION

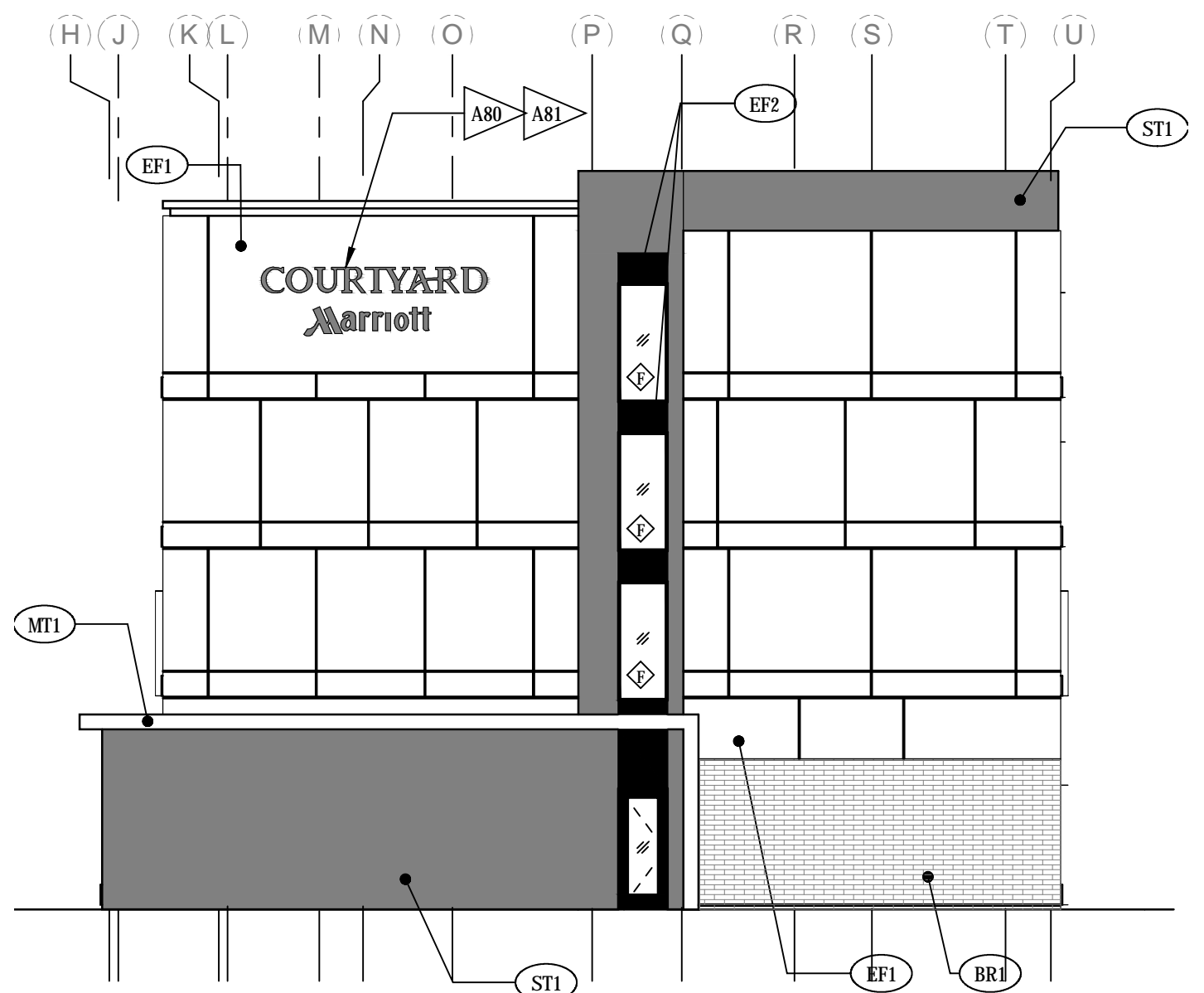
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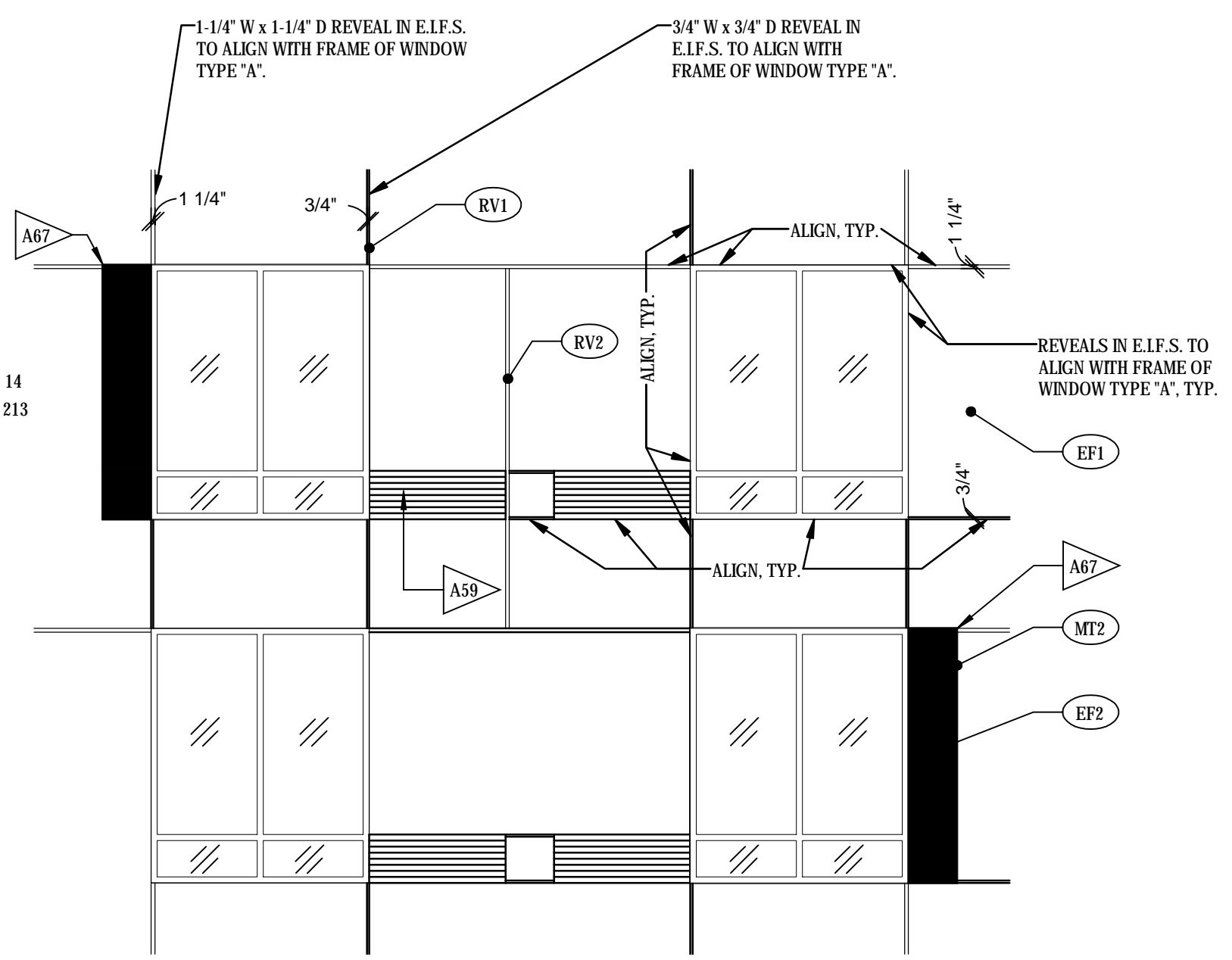
14 DETAIL PERSPECTIVE AT WINDOW SHADOW BOX
SCALE: 1/2" = 1'-0"



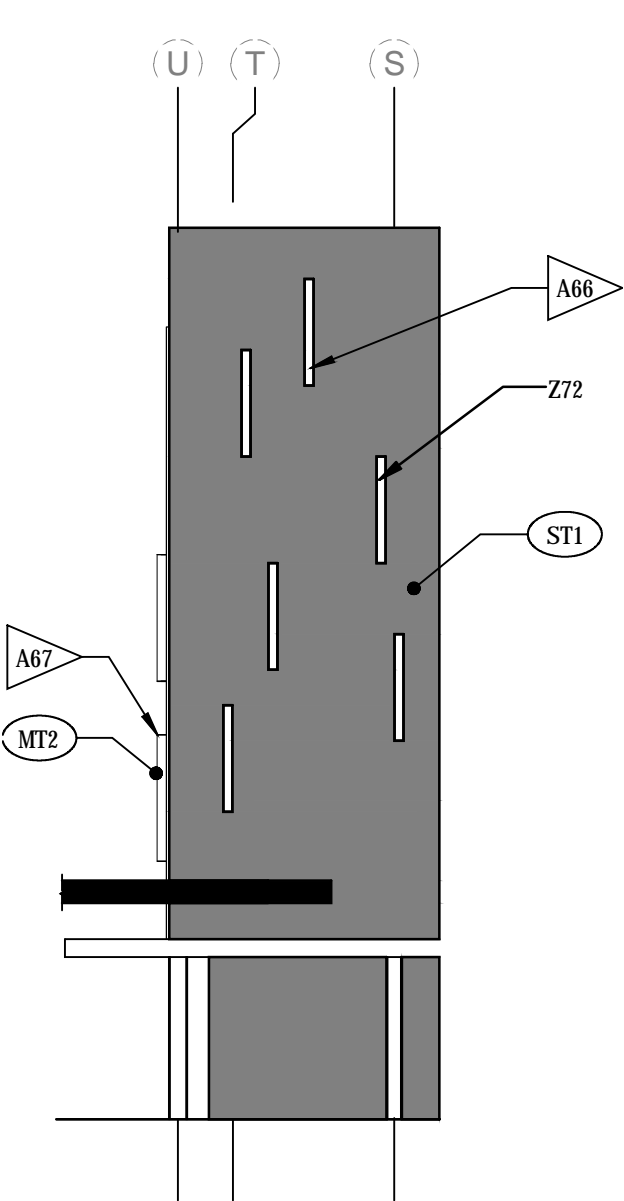
6 SIDE ELEVATION - OPT BUILDING SIGNAGE
SCALE: 3/32" = 1'-0" referenced from: 200



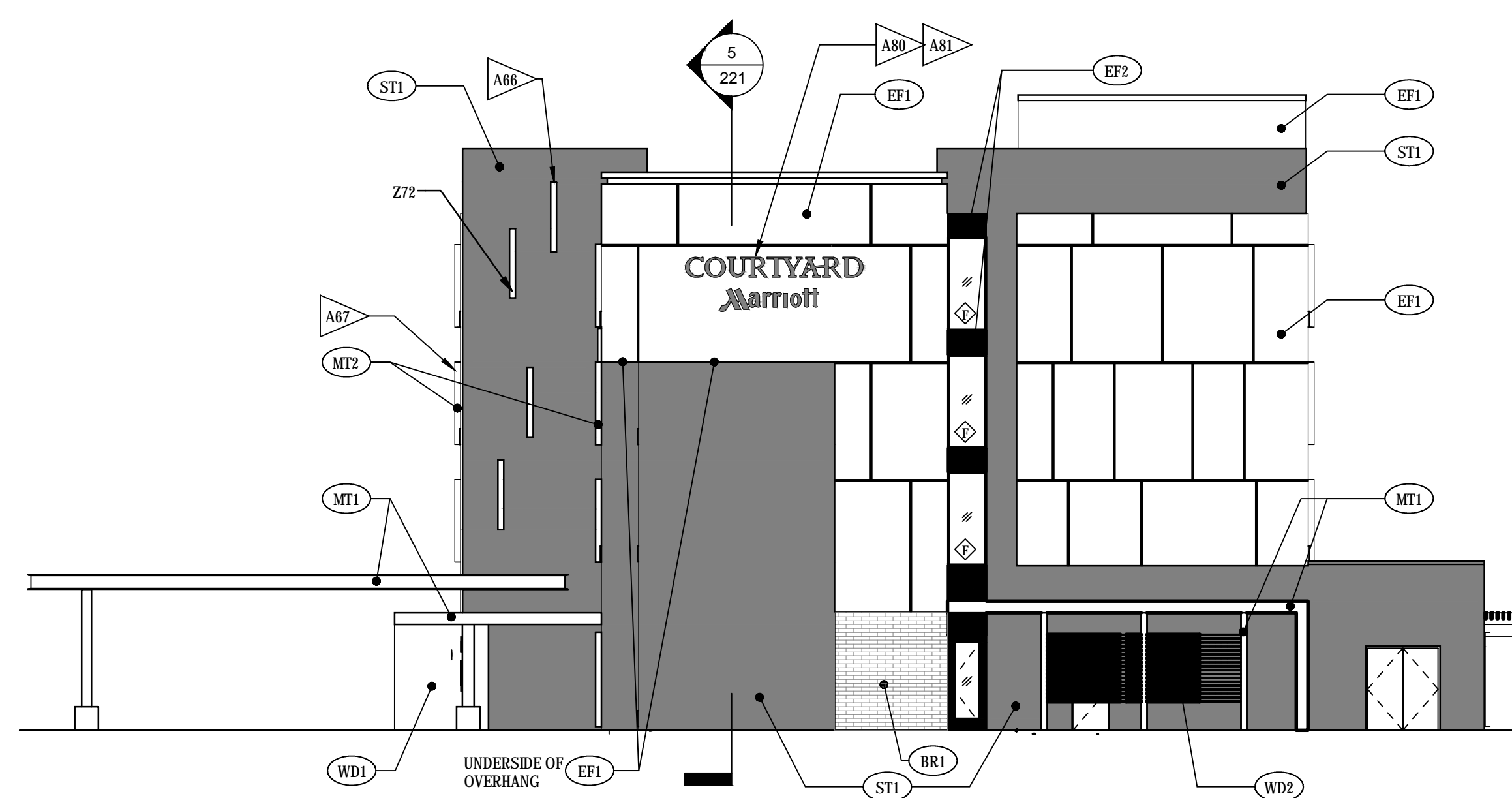
2 SIDE ELEVATION
SCALE: 3/32" = 1'-0" referenced from: 200



13 DETAIL AT WALL REVEALS
SCALE: 1/4" = 1'-0" referenced from: 212



5 SIDE ELEVATION
SCALE: 3/32" = 1'-0" referenced from: 200



1 SIDE ELEVATION - OPT BUILDING SIGNAGE
SCALE: 3/32" = 1'-0" referenced from: 200

A

B

C

D

E

F

A

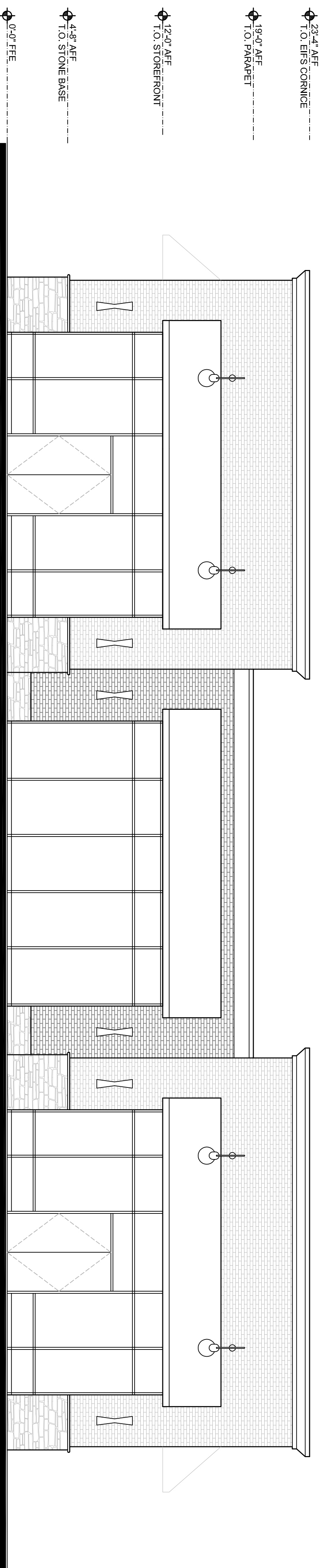
B

C

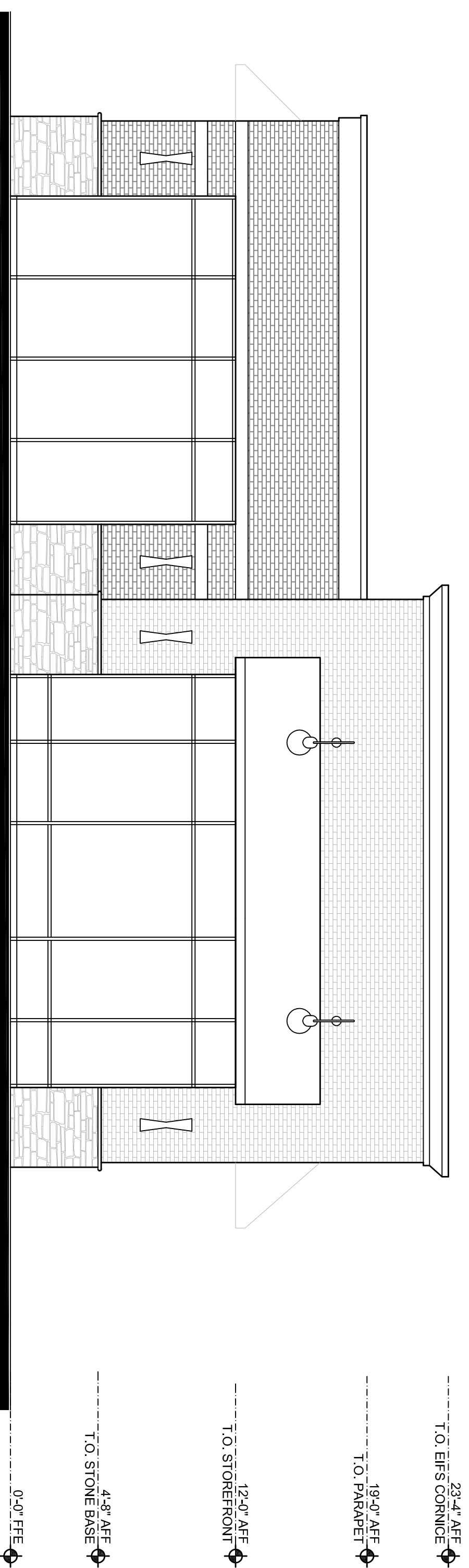
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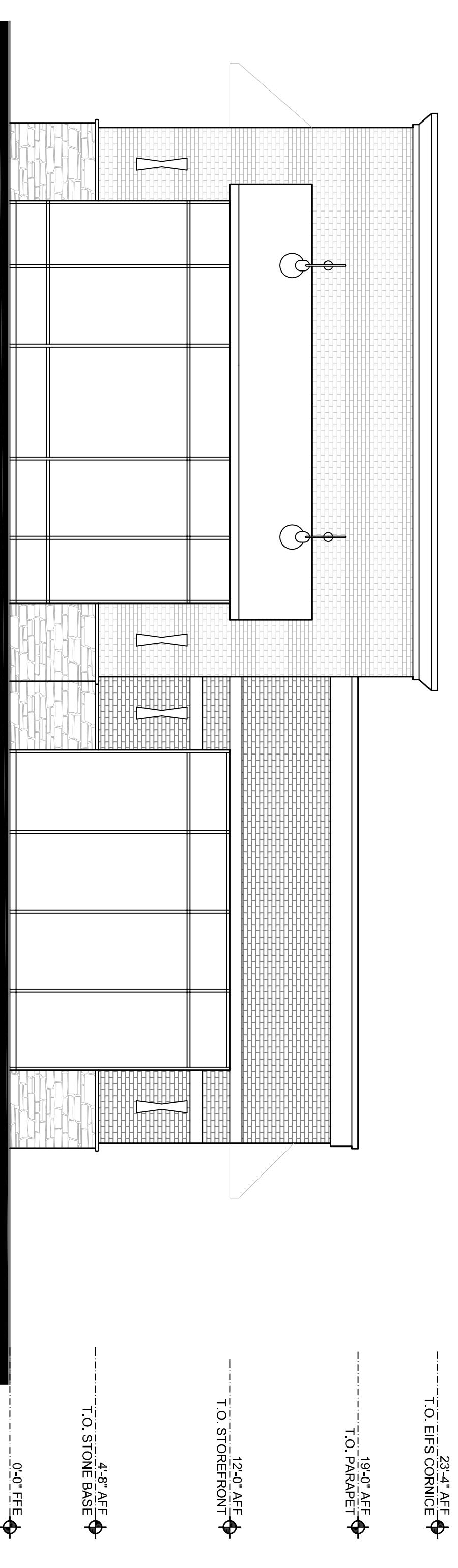
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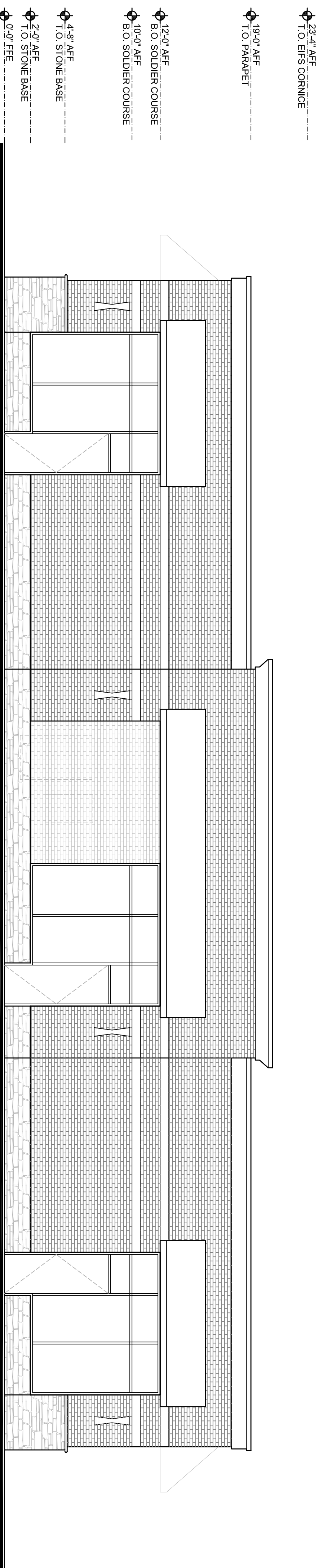
1 FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



2 SIDE (WEST) ELEVATION
3/16" = 1'-0"

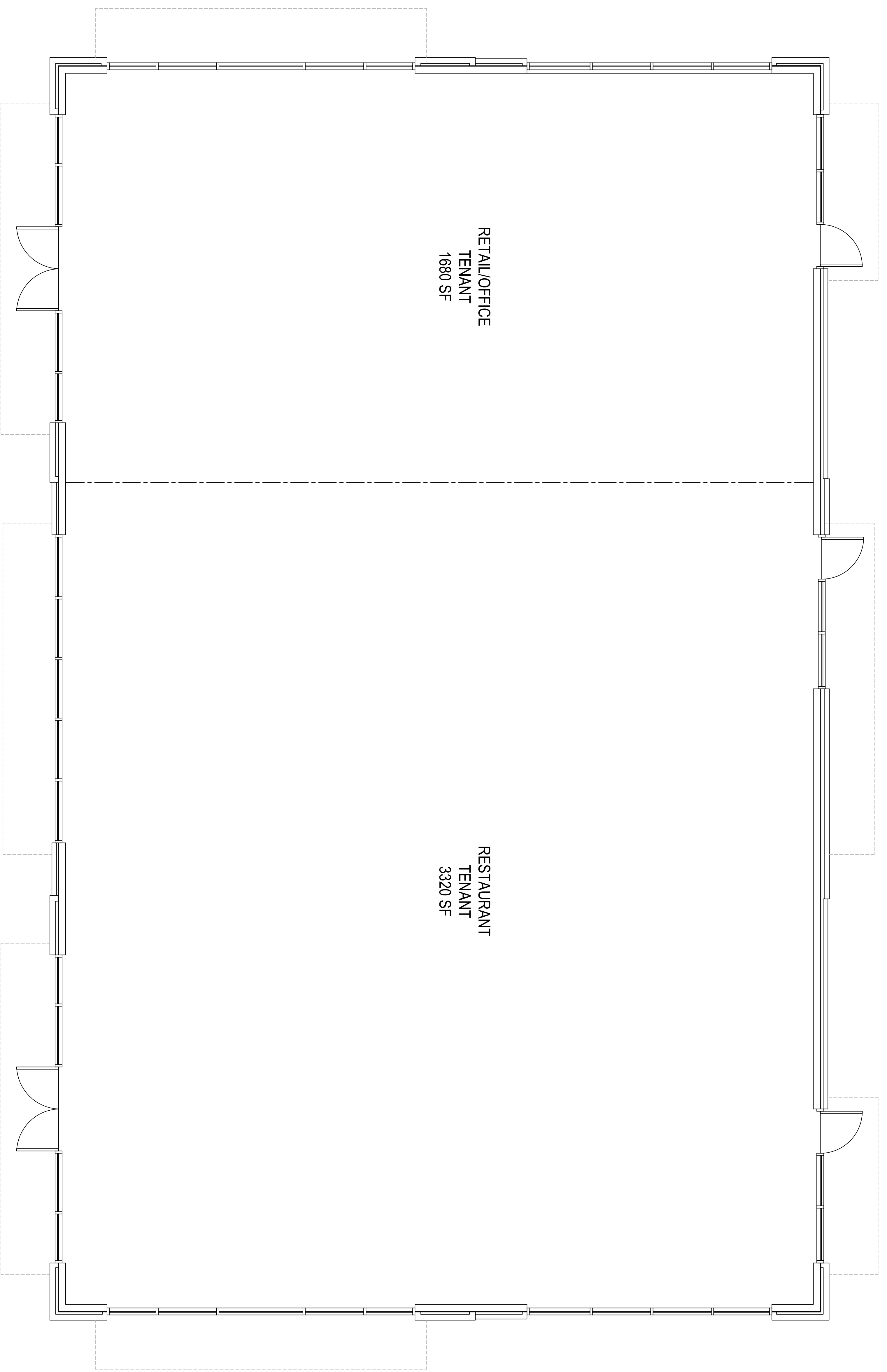


3 SIDE (EAST) ELEVATION
3/16" = 1'-0"

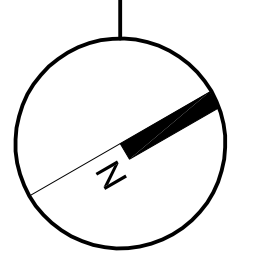
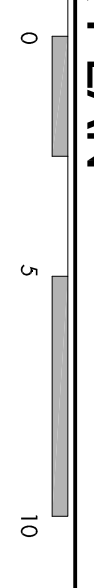


4 REAR (NORTH) ELEVATION
3/16" = 1'-0"

MASONRY MATERIALS LEGEND	
FIELD BRICK	
ACCENT BRICK #1	
ACCENT BRICK #2	
HORIZONTAL BANDING	
LEDGE STONE	



FLOOR PLAN
1/4" = 1'-0"



TRIUMPH RETAIL

JUNE 20, 2017

SV #17049.00



① PERSPECTIVE ONE

TRIUMPH RETAIL

JUNE 20, 2017

SV #17049.00



① PERSPECTIVE TWO

TRIUMPH RETAIL

JUNE 20, 2017

SV #17049.00



① PERSPECTIVE THREE

REFERENCE NOTES

A. REFER TO DESIGN STANDARDS, "SITE & BUILDING EXTERIOR" CHAPTER FOR MAIN REQUIREMENTS RELATED TO THIS SHEET. ARCHITECT IS RESPONSIBLE FOR DESIGNING PROJECT IN ACCORDANCE WITH THE ENTIRE DESIGN STANDARDS.

GENERAL NOTES

- BUILDING ELEVATIONS ARE APPROXIMATE AND WILL VARY BASED UPON STRUCTURAL SYSTEM.
- REFER TO EXTERIOR FINISH INDEX FOR MATERIALS AND COLORS.
- REVEALS VARY IN DEPTH AND WIDTH ACROSS BUILDING ELEVATION.
- PROVIDE INTERNAL DOWNSPOUTS, GUTTERS, ROOF DRAINS, AND OVERFLOWS AS REQUIRED FOR LOCAL RAINFALL. PROVIDE SECONDARY OVERFLOWS TO DAYLIGHT IN AREAS THAT WILL NOT DRAIN ACROSS WALKING SURFACES.
- IF EQUIPMENT IS LOCATED ON THE ROOF, SCREEN EQUIPMENT SO THAT IT IS NOT VISABLE TO THE GUEST AT GRADE LEVEL.

CRITERIA NOTES

CRITERIA NOTES ARE SHOWN CATEGORIZED BY DISCIPLINE AND COULD BE INTERPRETED TO APPLY TO MORE THAN ONE DISCIPLINE. FOR EFFICIENCY, NOTES ARE ONLY SHOWN UNDER ONE PREDOMINANT DISCIPLINE. CONSULTANTS SHOULD FAMILIARIZE THEMSELVES WITH ALL CRITERIA NOTES.

A0 - ARCHITECTURAL

A59 PAINT LOUVERS SIMILAR TO ADJACENT WALL SURFACE
 A66 (S) EXTERIOR ACCENT LINEAR LIGHT FIXTURES, ARRANGED IN RANDOM PATTERN. DESIGNER TO COORDINATE EXACT LOCATIONS WITH EXTERIOR CLADDING SYSTEM
 A67 PREFINISHED BREAK METAL SHADOW-BOX TYPICAL AT ALL LOCATIONS WHERE EIFS ACCENT COLOR IS ADJACENT TO GUESTROOM WINDOWS.

- A80 OPTIONAL HOTEL SIGNAGE PER SIGNAGE PACKAGE. PROVIDE REQUIRED BACKING, LOCATE POWER CUTOFF FOR EASY ACCESS
- A81 OPTIONAL MARRIOTT SIGN TO BE SURFACE MOUNTED INTERNALLY ILLUMINATED CHANNEL LETTERS. SEE SIGNAGE PACKAGE FOR SPECIFICATION

EXTERIOR FINISH KEY

	EIFS COLOR 1		METAL COLOR 2
	EIFS COLOR 2		METAL COLOR 3
	EIFS COLOR 3		METAL COLOR 4
	MANUFACTURED STONE/ MASONRY VENEER		WOOD
	METAL COLOR 1		WOOD
	BRICK COLOR 1		



CONSULTANTS
CIVIL ENGINEERING

PROJECT NAME
COURTYARD[®]
Marriott
NASHVILLE, TN

OWNER
Triumph Management Co. LLC
201 Crossings Place
Antioch, TN 37013

SEAL

No.	Description	Date

NOT FOR CONSTRUCTION

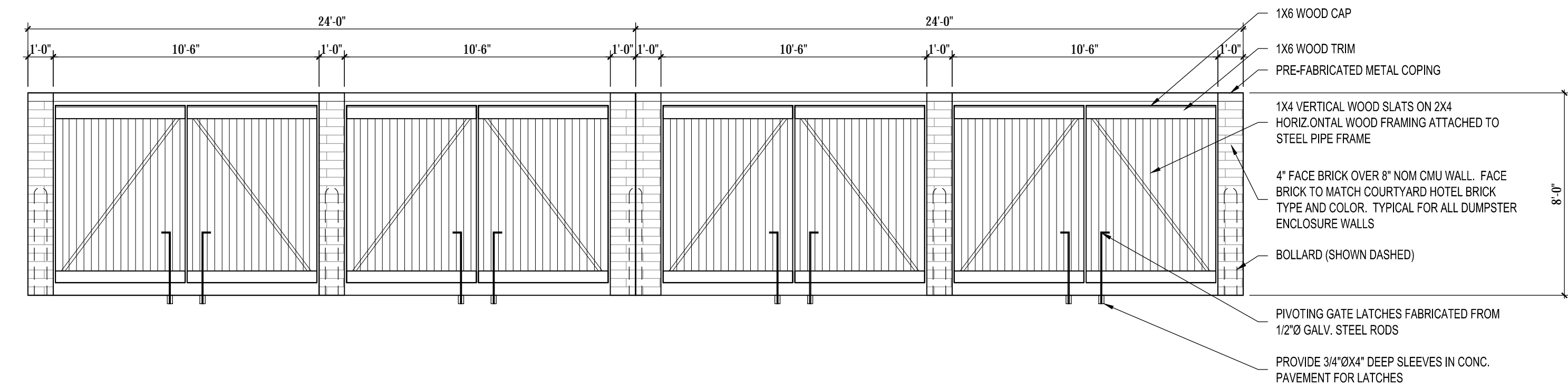
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EXTERIOR ELEVATIONS DUMPSTER ENCLOSURE

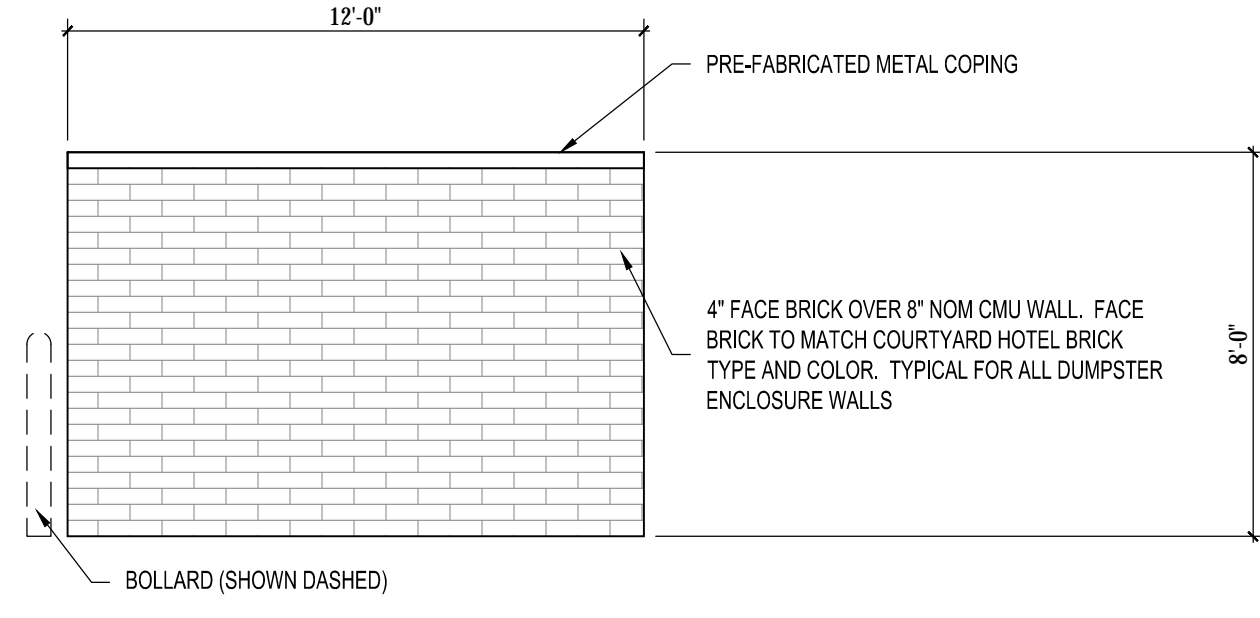
Project number 17-BK-01
Date JUNE 21, 2017

214

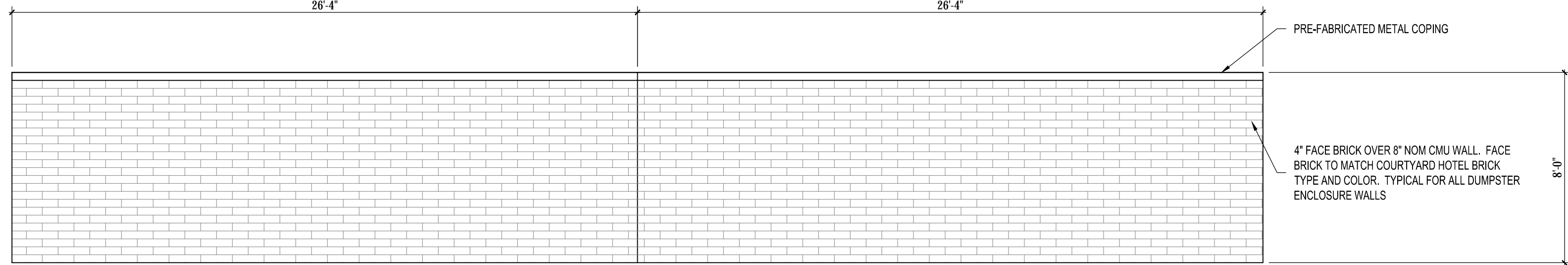
Scale



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



- NOTES**
- CROSS ACCESS EASEMENT TO BE PROVIDED BETWEEN ALL PARCELS WITHIN DEVELOPMENT.
 - NO VERTICAL OBSTRUCTIONS ARE PERMITTED IN PROPOSED OR EXISTING SIDEWALKS. THESE OBSTRUCTIONS WILL EITHER BE RELOCATED, OR THE SIDEWALK WILL BE ROUTED AROUND THEM, MAINTAINING ITS REQUIRED WIDTH AT ALL TIMES.
 - ALL CONSTRUCTION WITHIN THE EXISTING AND PROPOSED RIGHTS OF WAY IS TO COMPLY WITH METRO PUBLIC WORKS STANDARDS.
 - DUMPSTER ENCLOSURE TO BE CONSTRUCTED OF OPAQUE MATERIAL THAT WILL COMPLIMENT BUILDING, AND BE 7'6" TALL. DESIGN TO BE PROVIDED BY ARCHITECT.

- LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING WATER WAY
 - EXISTING SETBACK LINE
 - EXISTING EASEMENT
 - EXISTING OVERHEAD POWERLINE
 - EXISTING WATERLINE
 - EXISTING SANITARY SEWER
 - EXISTING EDGE OF PAVEMENT
 - EXISTING CURB
 - EXISTING SIDEWALK
 - EXISTING RAILWAY
 - EXISTING SIGN
 - EXISTING MANHOLE
 - EXISTING TELEPHONE/ELECTRICAL POLE
 - EXISTING LIGHT POLE
 - EXISTING CATCH BASIN
 - EXISTING CURB INLET
 - EXISTING FIRE HYDRANT
 - EXISTING ELECTRIC METER
 - PROPOSED CURB
 - PROPOSED BUILDING FOOTPRINT
 - PROPOSED PROPERTY LINES
 - PARKING COUNT
 - COMPACT PARKING COUNT
 - PROPOSED RETAINING WALL
 - PROPOSED CONCRETE
 - PROPOSED BIOPRETENTION AREA
 - PROPOSED STORM INLET
 - PROPOSED OUTLET STRUCTURE
 - PROPOSED HEADWALL
 - PROPOSED REPAIR APRON
 - TRUNCATED DOMES

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
 325 Seaboard Lane · Suite 170 · Franklin, TN 37067
 615-333-7797 · 800-765-2326
 www.cecinc.com

CASE#: 2017SP-031-001

RAM SAI, LLC
MT. VIEW CROSSINGS
PRELIMINARY SP
5400 MT. VIEW ROAD
NASHVILLE, TN

SITE LAYOUT PLAN

DATE: APRIL 2017 DRAWN BY: PEC
 DWG SCALE: AS SHOWN CHECKED BY: JUC
 PROJECT NO: 184-795
 APPROVED BY: RGM

DRAWING NO.: **C200**

NOTE TO CONTRACTOR:
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT CEC'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

