

**DEVELOPMENT SUMMARY / SITE DATA**

PROJECT NAME: BENTO BOX NASHVILLE  
 MAP/PARCEL: 105-07/443.01 & 444  
 SITE ADDRESS: 1267/1271 3rd AVE. SOUTH  
 SITE ACREAGE: 0.95 AC  
 COUNCIL DISTRICT: 17  
 COUNCIL MEMBER: COLBY SLEDGE  
 EXISTING USE: VACANT  
 EXISTING ZONING: IWD (INDUSTRIAL, WAREHOUSE/DISTRIBUTION)  
 OVERLAYS: UZO (URBAN ZONING OVERLAY)  
 PROPOSED USE: MULTIFAMILY RESIDENTIAL / HOTEL / MIXED USE, INCLUDING RESTAURANT AND GENERAL RETAIL.  
 PROPOSED ZONING: SP

SP DISTRICT STANDARDS  
 LOT SIZE: 0.95 AC  
 FAR: 1.2  
 ISR: 0.9

STREET SETBACK/STREET TYPES:  
 3rd AVE. SOUTH - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)  
 HART ST. - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)

**BUILDING DATA**  
 MULTIFAMILY UNITS:  
 3 STUDIO UNITS  
 14 ONE-BEDROOM UNITS  
 6 TWO-BEDROOM UNITS  
 23 TOTAL UNITS

HOTEL UNITS:  
 20 CO-LIVING UNITS  
 41 STUDIO UNITS  
 4 ONE-BEDROOM UNITS  
 1 TWO-BEDROOM UNIT  
 66 TOTAL UNITS

**COMMERCIAL SPACE:**  
 RESTAURANT: 4,877 SF (TWO TOTAL ESTABLISHMENTS)  
 RETAIL: 3,559 SF

**PARKING REQUIREMENTS**  
 MULTIFAMILY:  
 1 SP PER SINGLE UNIT + 1.5 SP PER 2-BR UNIT  
 = 1 SP + 17 UNITS + 1.5 SP x 6 UNITS  
 = 26 SPACES REQUIRED

HOTEL:  
 1 SP PER UNIT PLUS 1 EMPLOYEE SPACE  
 = 1 SP x 66 UNITS + 1 SP  
 = 67 SPACES REQUIRED

RESTAURANT: 4,877 SF - 1,000 SF (UZO) = 3,877 SF/150 = 26 SPACES REQUIRED  
 RETAIL: 3,559 SF - 2,000 SF (UZO) = 1,559 SF/200 = 8 SPACES REQUIRED

**PARKING REDUCTIONS:**  
 PEDESTRIAN CONNECTION: 10%  
 TRANSIT CONNECTION: 10%  
 BUILD-TO LINE/SETBACKS: 10%  
 MAX REDUCTION: 25%

MAXIMUM PARKING REQUIRED: 93 + 26 + 8 = 126 - 25% = 95 SPACES REQUIRED

PARKING PROVIDED: 83 IN AUTOMATED PARKING STRUCTURE  
 20 SURFACE SPACES (INCLUDING 5 ADA SPACES)  
 103 SPACES PROVIDED

**BICYCLE PARKING REQUIREMENTS**  
 MULTIFAMILY:  
 1 SP PER 4 DWELLING UNITS (25% OF THE TOTAL MUST BE PUBLICLY AVAILABLE)  
 = 1 SP x (23 UNITS/4)  
 = 6 SPACES REQUIRED (2 MUST BE PUBLICLY AVAILABLE)

RESTAURANT:  
 4 PUBLICLY AVAILABLE SPACES PER ESTABLISHMENT  
 = 4 SP x 2 ESTABLISHMENT  
 = 8 PUBLICLY AVAILABLE SPACES REQUIRED

RETAIL:  
 2 PUBLICLY AVAILABLE SPACES OR 1 SPACE PER 5,000 SQUARE FEET  
 = 1 SP x (3,559 SF/5,000 SF) < 2 SPACES  
 = 2 PUBLICLY AVAILABLE SPACES REQUIRED

TOTAL BICYCLE PARKING REQUIRED:  
 = 6 + 8 + 2  
 = 16 TOTAL BICYCLE PARKING SPACES REQUIRED (12 MUST BE PUBLICLY AVAILABLE)

BICYCLE PARKING PROVIDED = 32 TOTAL SPACES

**DEVELOPER**  
 BENTO BOX, LLC  
 411 KENT AVENUE  
 BROOKLYN, NY 11249  
 718-260-8200

**APPLICANT**  
 LITTLEJOHN  
 1935 21ST AVE. SOUTH  
 NASHVILLE, TN 37212  
 CONTACT: ANDREW WOLTERS, PE  
 615-385-4144  
 AWOLTERS@SMEINC.COM

**NOTES**

- THE PURPOSE OF THIS SP IS TO PERMIT A MIXED USE DEVELOPMENT. THE PROPOSED BUILDING USES WILL INCLUDE MULTIFAMILY, HOTEL/MIXED USE, INCLUDING RESTAURANT AND GENERAL RETAIL.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE MUN-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION. USES ARE LIMITED AS DESCRIBED IN THE COUNCIL ORDINANCE.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/ 840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN JUNE OF 2017 AND WILL TAKE APPROXIMATELY 12 MONTHS TO BE COMPLETED.
- EIPS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
- THE ROOFTOP PATIO IS PERMITTED ALONG HART STREET. THE ROOF COVERING THE PATIO AREA SHALL NOT EXCEED 13 FEET IN HEIGHT.
- THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- ANY MULTIFAMILY DWELLING UNITS ON THE PROPERTY WILL NOT BE ELIGIBLE FOR SHORT-TERM RENTAL PROPERTY (STRP) PERMITS UNDER METRO CODE OF LAWS SECTION 17.04.060. THE OWNER WILL INCLUDE THIS PROHIBITION IN ANY LEASE OF ANY MULTIFAMILY DWELLING UNIT ON THE PROPERTY.

ARCHITECT  
**EOA ARCHITECTS**  
 515 MAIN ST.  
 NASHVILLE, TN 37206  
 615.242.4004

PREPARED FOR  
**BENTO BOX, LLC**  
 BROOKLYN, NY

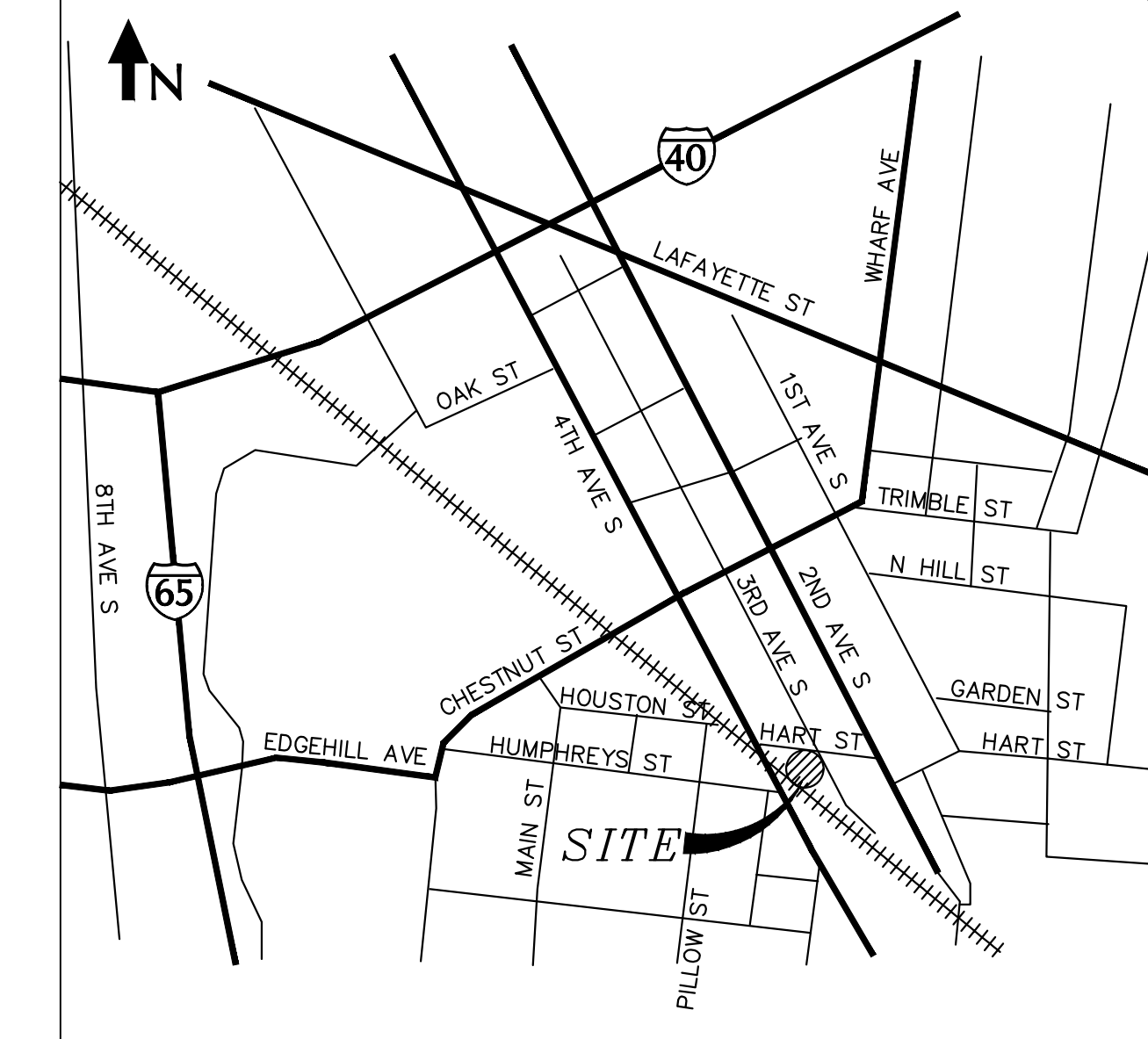
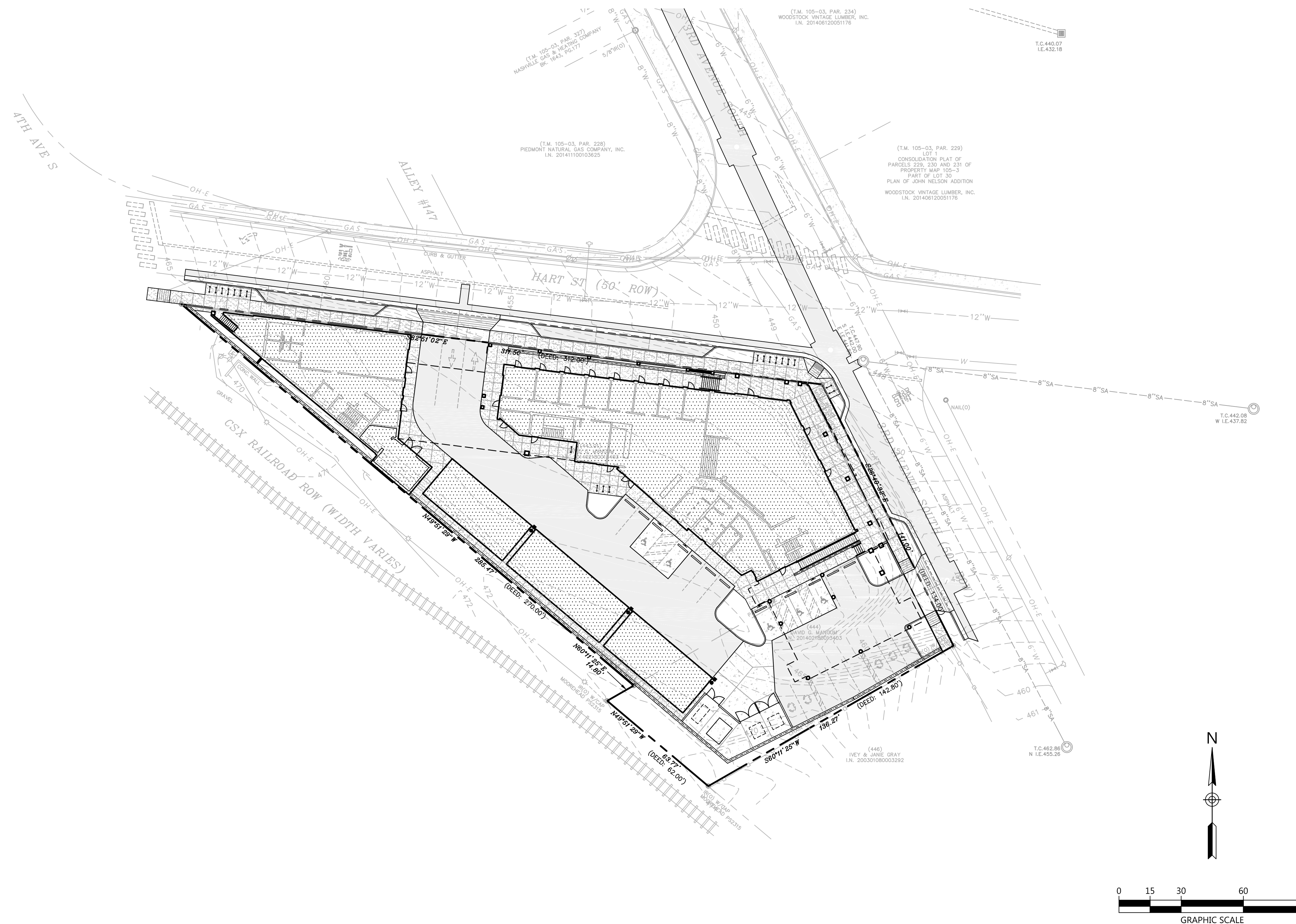
CIVIL ENGINEER/LANDSCAPE ARCHITECTURE  
  
**Littlejohn**  
 An S&ME Company  
 1935 21st Avenue South, NASHVILLE, TENNESSEE 37212  
 T 615.385.4144 F 615.385.4020 www.leinc.com

# SPECIFIC PLAN

# BENTO BOX

## NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CASE NO. 2016SP-039-004  
 LEA PROJECT NO. 514716018  
 JUNE 21, 2017



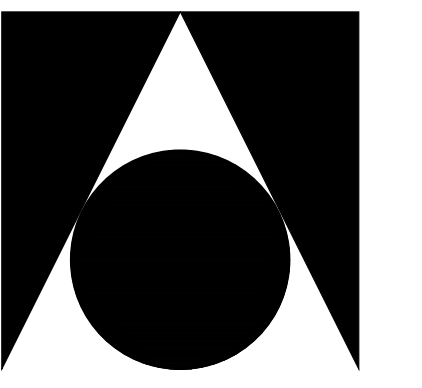
VICINITY MAP  
 NOT TO SCALE

**INDEX OF SHEETS**

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE DEMOLITION
C4.0	SITE LAYOUT
C5.0	SITE GRADING & DRAINAGE
C6.0	SITE UTILITIES
L1.0	SITE LANDSCAPE
GN.06	3D VIEWS
GN.07	3D VIEWS
A1.00	GRADE LEVEL FLOOR PLAN
A1.01	RESIDENTIAL FIRST FLOOR
A1.02	RESIDENTIAL LEVEL 2, 3 & 4
A1.05	RESIDENTIAL FLOOR 5 & ROOF PLANS
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	EXTERIOR ELEVATIONS







**EOA**  
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1267 3rd Ave. S.  
Nashville Tennessee 37210

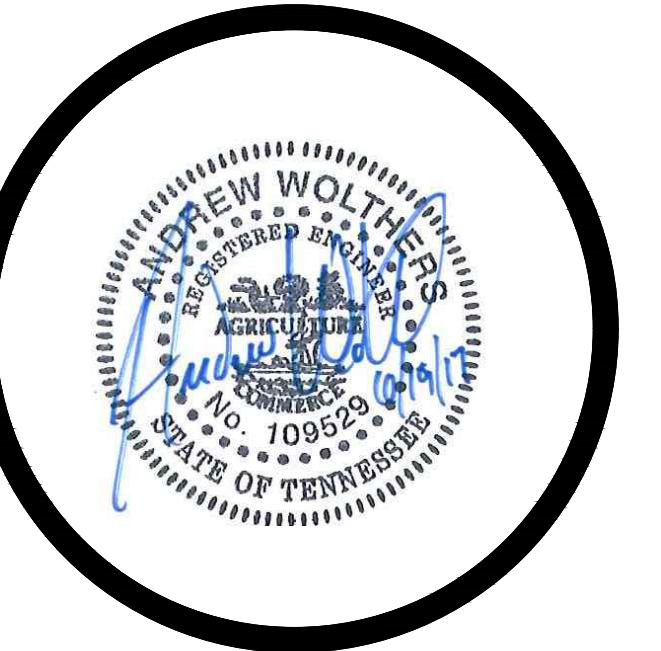
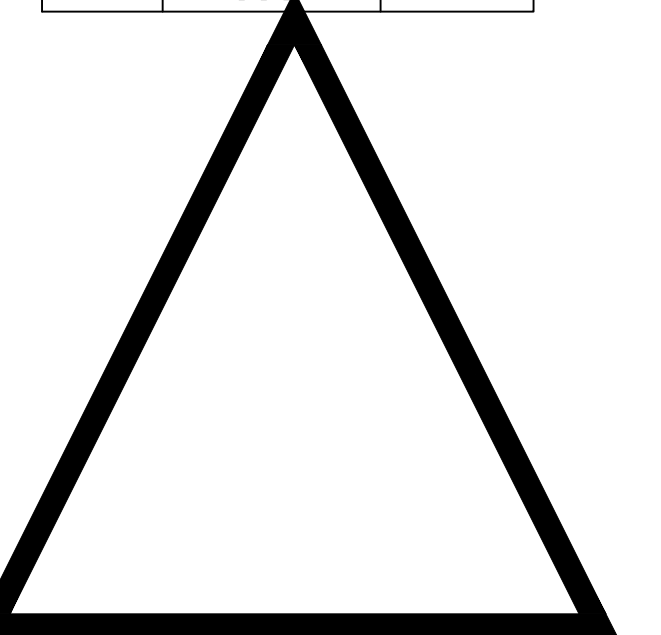
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**SPECIFIC PLAN**  
Case No. 2016SP-039-004

REVISIONS		
DELTA	ISSUE	DATE



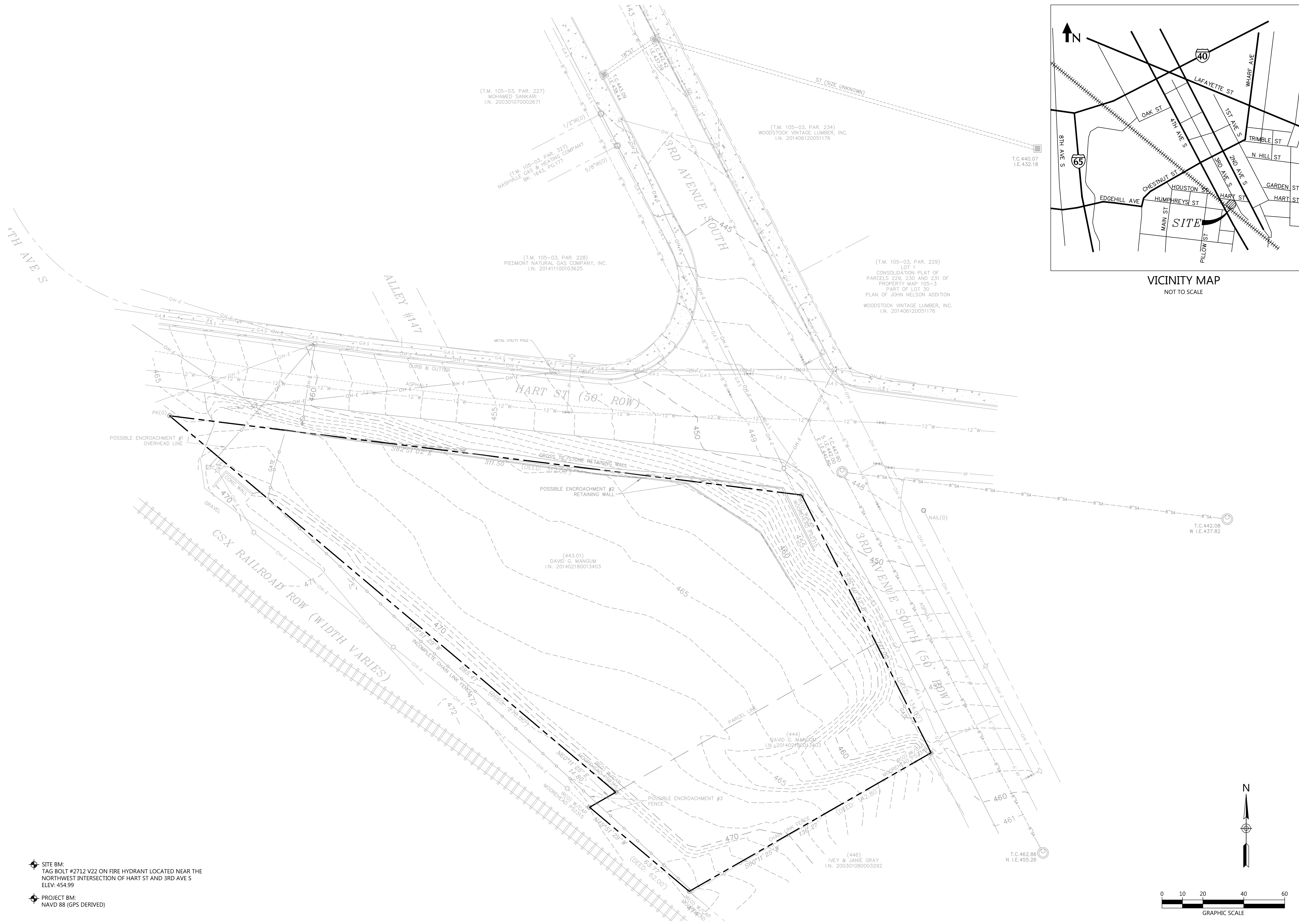
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EXISTING  
CONDITIONS

**C1.0**

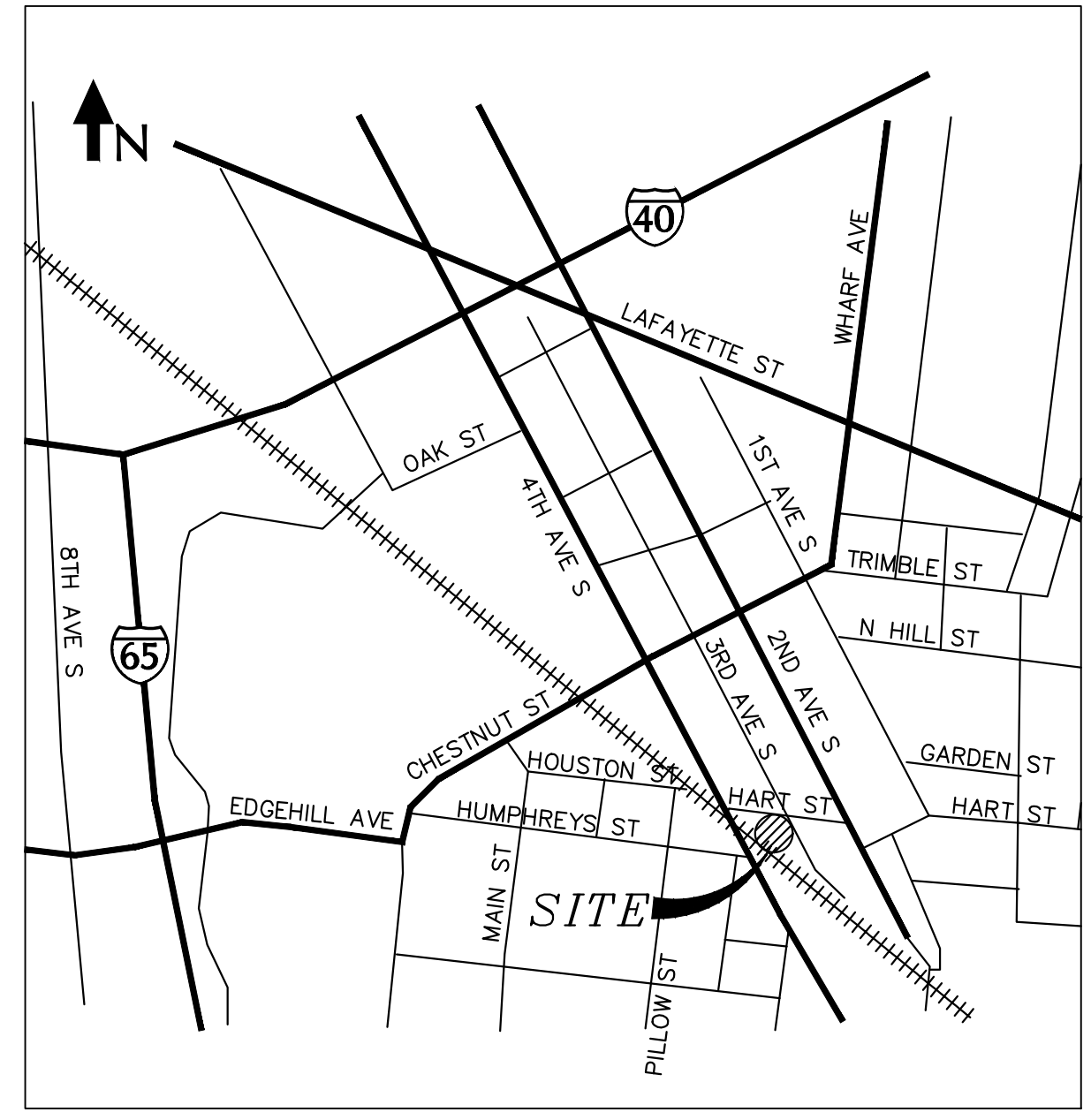
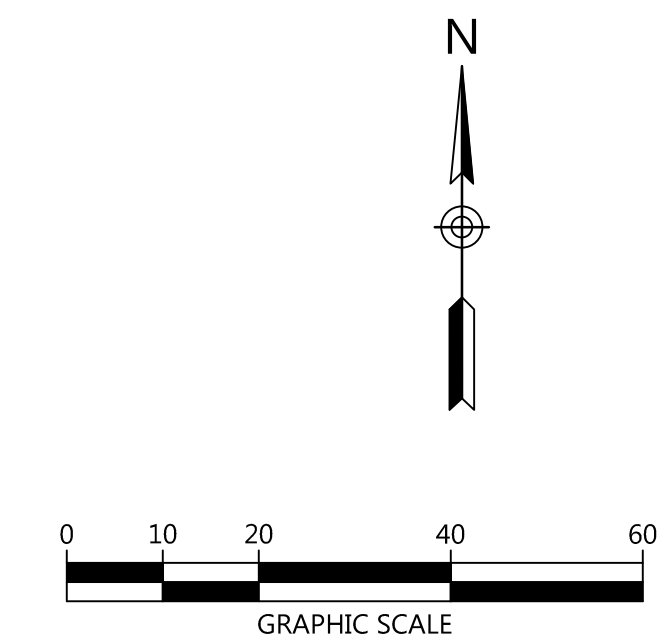
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21 JUNE 2017

SWGR T2016059636



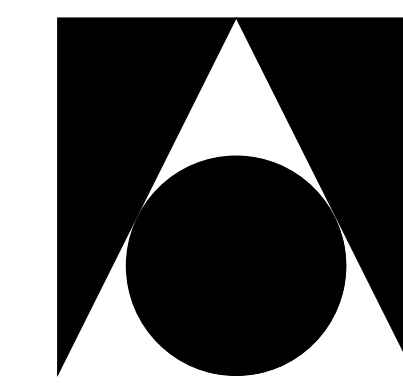
◆ SITE BM:  
TAG BOLT #2712 V22 ON FIRE HYDRANT LOCATED NEAR THE  
NORTHWEST INTERSECTION OF HART ST AND 3RD AVE S  
ELEV: 454.99

◆ PROJECT BM:  
NAVD 88 (GPS DERIVED)



VICINITY MAP  
NOT TO SCALE





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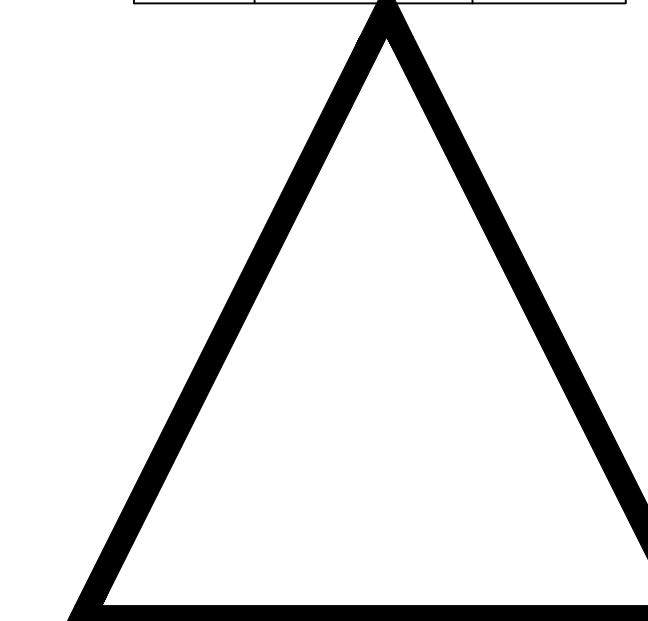
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**SPECIFIC PLAN**  
Case No. 2016SP-039-004

REVISIONS		
DELTA	ISSUE	DATE



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SWGR T2016059636

SITE DEMOLITION

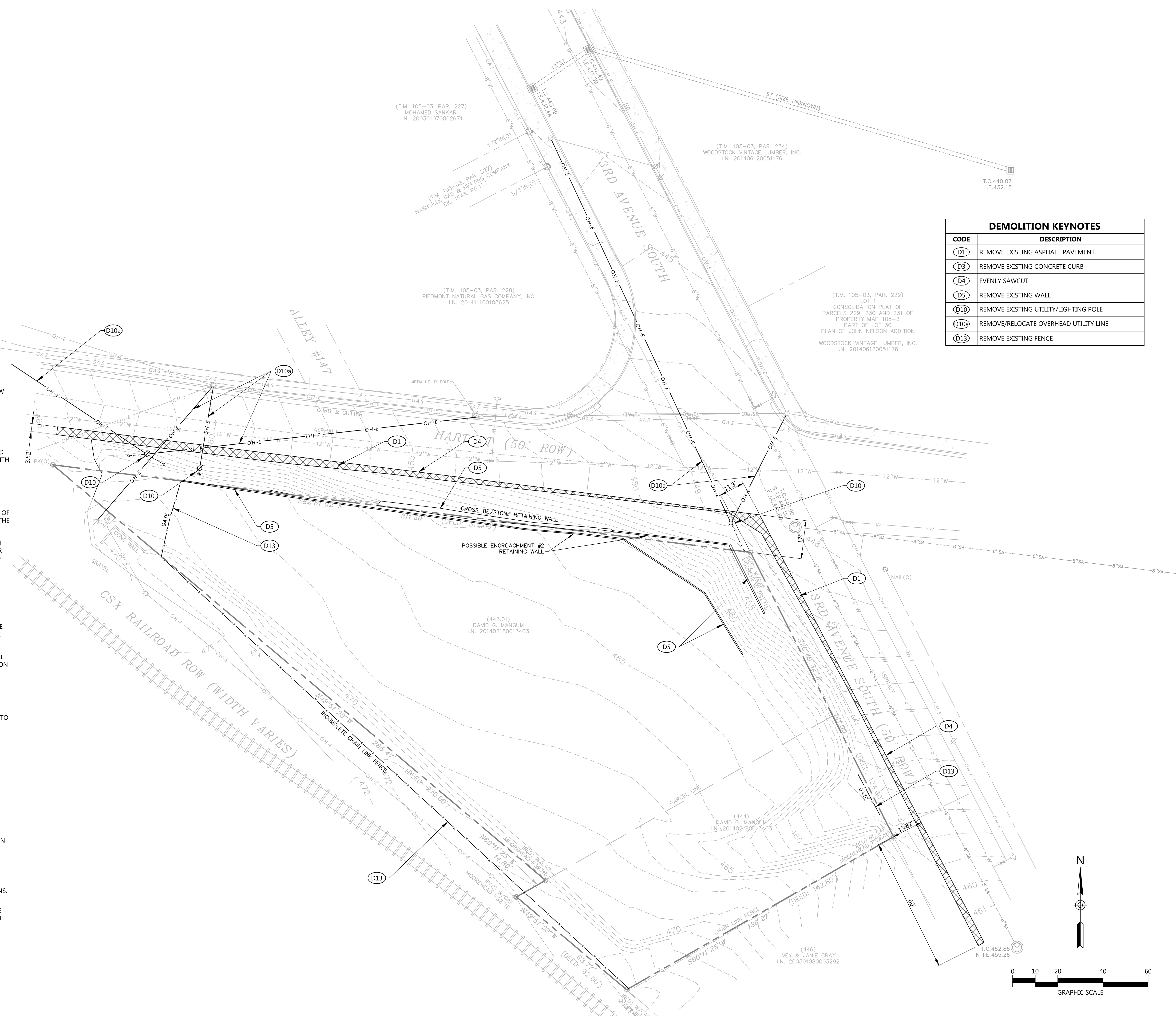
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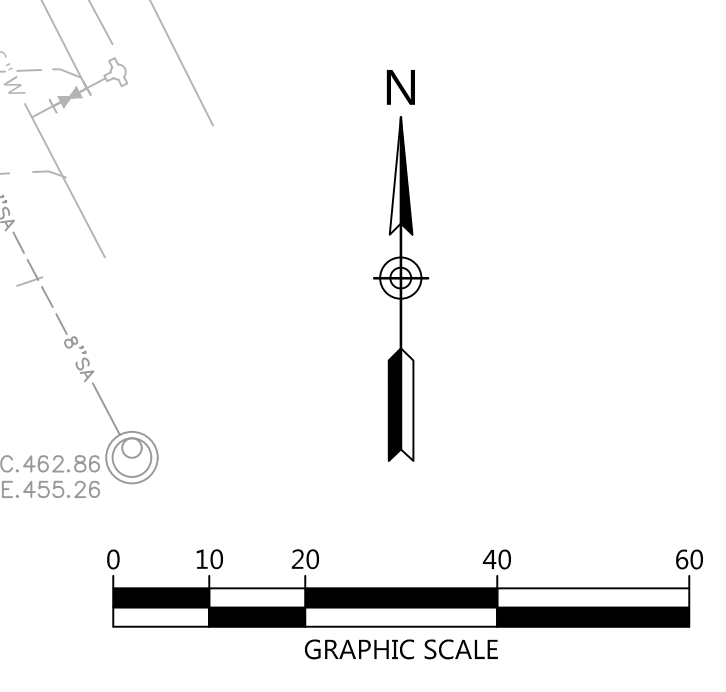
DEMOLITION LEGEND	
DEMOLISH SIGN POST	
DEMOLISH BOLLARD	
DEMOLISH UTILITY POLE	
DEMOLISH LIGHTING FIXTURE	
DEMOLISH CLEANOUT	
DEMOLISH SANITARY MANHOLE	
DEMOLISH STORM MANHOLE	
DEMOLISH CURB AND GUTTER	
DEMOLISH CURB	
DEMOLISH SAN. SEWER	
DEMOLISH U.G. ELEC.	
DEMOLISH U.G. TEL.	
DEMOLISH STORM SEWER	
DEMOLISH WATER LINE	
GAS LINE	
DEMOLISH FENCE	
DEMOLISH ASPHALT	
DEMOLISH CONCRETE	
DEMOLISH STORM INLET	

**DEMOLITION NOTES**

- ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
- CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
- EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
- RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAIL ON THE LANDSCAPE PLAN.
- NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
- THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24" (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.



DEMOLITION KEYNOTES	
CODE	DESCRIPTION
D1	REMOVE EXISTING ASPHALT PAVEMENT
D2	REMOVE EXISTING CONCRETE CURB
D4	EVENLY SAWCUT
D5	REMOVE EXISTING WALL
D10	REMOVE EXISTING UTILITY/LIGHTING POLE
D10a	REMOVE/RELOCATE OVERHEAD UTILITY LINE
D13	REMOVE EXISTING FENCE



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- NOTES:**
- THE FINAL SITE PLAN SHALL/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
  - UPON COMPLETION OF THE PROJECT SIDEWALKS WITHIN THE SITE SHALL BE ADA COMPLIANT, WHICH MAY REQUIRE REPLACEMENT OF SIDEWALKS ALONG THE PROPERTY FRONTAGE.
  - NO VERTICAL OBSTRUCTIONS SHALL BE WITHIN PROPOSED SIDEWALK. ALL POWER POLES, SIGNS, ETC. ARE TO BE RELOCATED AND THE SIDEWALK IS TO BE CLEAR FROM OBSTRUCTIONS.
  - A RECYCLING CONTAINER SHALL BE PLACED INSIDE THE SOLID WASTE ROOM.

**GENERAL NOTES**

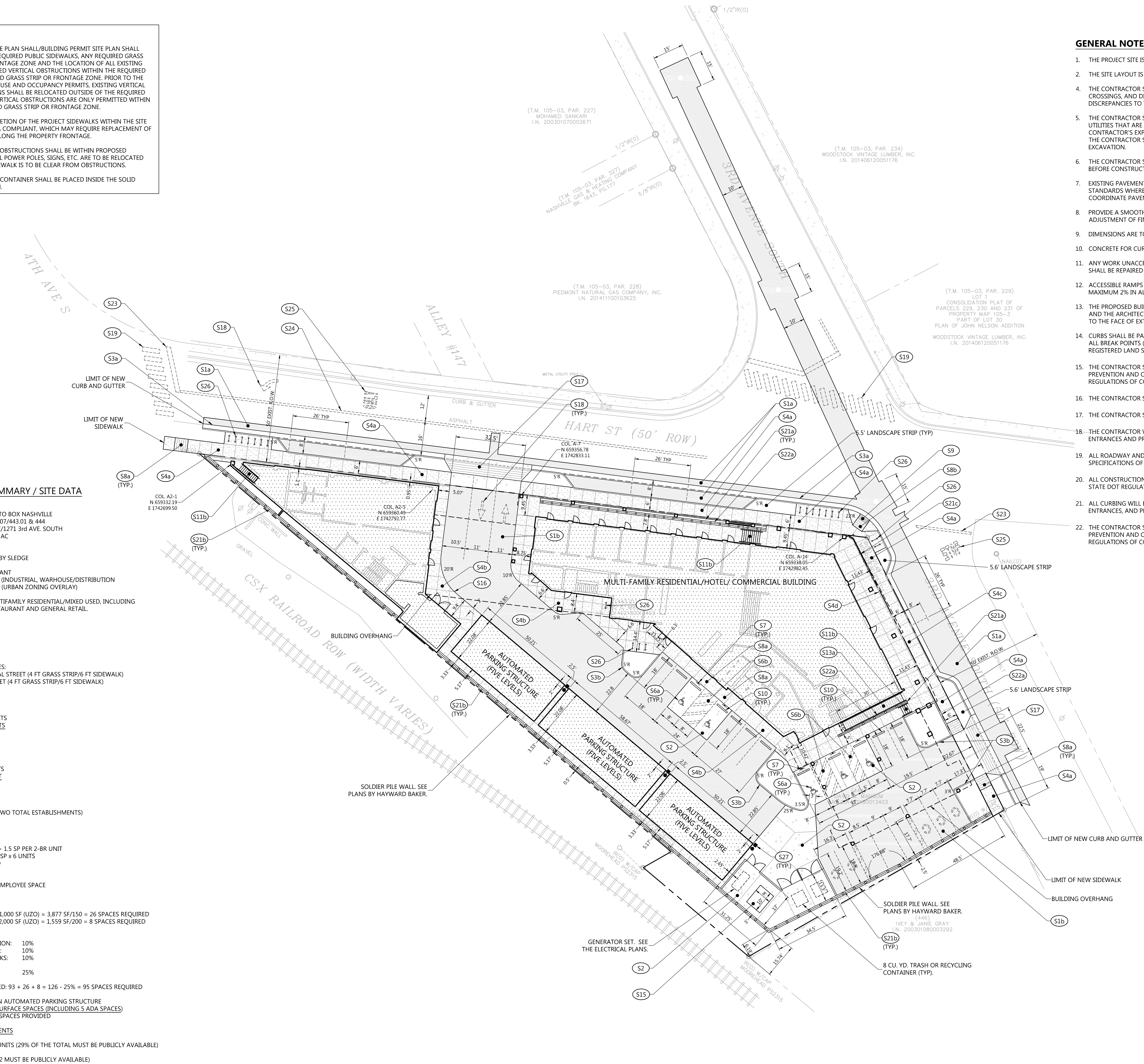
- THE PROJECT SITE IS SHOWN ON JURISDICTION, TAX MAP 105-07, AS PARCELS 443.01 AND 444.
- THE SITE LAYOUT IS BASED ON REFERENCE POINTS AS NOTED.
- THE CONTRACTOR SHALL CHECK ALL EXISTING CONDITIONS, (i.e. INVERTS, UTILITY ROUTINGS, UTILITY CROSSINGS, AND DIMENSIONS) IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. THE CONTRACTOR SHALL CALL NATIONAL ONE CALL (811) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- EXISTING PAVEMENT OF PUBLIC ROADWAYS SHALL BE PATCHED IN ACCORDANCE WITH LOCAL AGENCY STANDARDS WHEREVER UTILITY INSTALLATION REQUIRES REMOVAL OF THE EXISTING PAVEMENT. COORDINATE PAVEMENT TRENCHING LOCATIONS WITH SITE CIVIL, PLUMBING AND ELECTRICAL PLANS.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. SLIGHT FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- DIMENSIONS ARE TO FACE OF CURB AND/OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- CONCRETE FOR CURBS AND SIDEWALKS SHALL BE 3500 PSI CONCRETE.
- ANY WORK UNACCEPTABLE TO THE OWNER'S REPRESENTATIVE OR TO THE LOCAL GOVERNING AUTHORITY SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
- ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12. GRADES WITHIN ACCESSIBLE SPACES SHALL BE MAXIMUM 2% IN ALL DIRECTIONS.
- THE PROPOSED BUILDING SHALL BE LAID OUT UTILIZING THE EXISTING STRUCTURE AS A CONTROL POINT AND THE ARCHITECTURAL DRAWINGS. DIMENSIONS SHOWN TO THE PROPOSED BUILDING ARE CALCULATED TO THE FACE OF EXTERIOR WALL. SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- CURBS SHALL BE PARALLEL TO THE CENTERLINE OF DRIVES. THE CURB SHALL BE PLACED ONLY AFTER HAVING ALL BREAK POINTS (PC & PT OF CURVES) LOCATED AT THE FACE OF CURB OR AT A CONSISTENT OFFSET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- THE CONTRACTOR SHALL PAVE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR SHALL COLD PLANE IN THE DIRECTION OF TRAFFIC.
- THE CONTRACTOR WILL BE REQUIRED TO ADJUST GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
- ALL ROADWAY AND SIDEWALK CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF LOCAL GOVERNING AGENCY.
- ALL CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL GOVERNING AGENCY AND STATE DOT REGULATIONS AND SPECIFICATIONS.
- ALL CURBING WILL BE REQUIRED TO ADJUST TO THE GRADES OF INTERSECTING STREETS, ALLEYS, PUBLIC ENTRANCES, AND PRIVATE DRIVES AS DIRECTED BY THE ENGINEER.
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**DEVELOPMENT SUMMARY / SITE DATA**

**PROJECT NAME:** BENTO BOX NASHVILLE  
**MAP/PARCEL:** 105-07/443.01 & 444  
**SITE ADDRESS:** 1267/1271 3rd AVE. SOUTH  
**SITE ACREAGE:** 0.95 AC  
**COUNCIL DISTRICT:** 17  
**COUNCIL MEMBER:** COLBY SLEDGE  
**EXISTING USE:** VACANT  
**EXISTING ZONING:** IWO (INDUSTRIAL WAREHOUSE/DISTRIBUTION OVERLAYS)  
**OVERLAYS:** UZO (URBAN ZONING OVERLAY)  
**PROPOSED USE:** MULTIFAMILY RESIDENTIAL/MIXED USE, INCLUDING RESTAURANT AND GENERAL RETAIL.  
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**SP DISTRICT STANDARDS**  
**LOT SIZE:** 0.95 AC  
**FAR:** 1.2  
**ISR:** 0.9  
**STREET SETBACK/STREET TYPES:**  
 3rd AVE. SOUTH - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)  
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**RETAIL:** 3,559 SF  
**PARKING REQUIREMENTS**  
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 1 SP PER UNIT PLUS 1 EMPLOYEE SPACE  
 = 15P x 66 UNITS + 15P  
 = 67 SPACES REQUIRED  
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**RETAIL:** 3,559 SF - 2,000 SF (UZO) = 1,559 SF/200 = 8 SPACES REQUIRED  
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**MAX REDUCTION** 25%  
**MAXIMUM PARKING REQUIRED:** 93 + 26 + 8 = 126 - 25% = 95 SPACES REQUIRED  
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 20 SURFACE SPACES (INCLUDING 5 ADA SPACES)  
 103 SPACES PROVIDED  
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**MULTIFAMILY:**  
 1 SP PER 4 DWELLING UNITS (25% OF THE TOTAL MUST BE PUBLICLY AVAILABLE)  
 = 1 SP x 23 UNITS/4 =  
 = 6 SPACES REQUIRED (2 MUST BE PUBLICLY AVAILABLE)  
**RESTAURANT:**  
 4 PUBLICLY AVAILABLE SPACES PER ESTABLISHMENT  
 = 4 SP x 2 ESTABLISHMENT  
 = 8 PUBLICLY AVAILABLE SPACES REQUIRED  
**RETAIL:**  
 2 PUBLICLY AVAILABLE SPACES OR 1 SPACE PER 5,000 SQUARE FEET  
 = 1 SP x (3,559 SF/5,000 SF) x 2 SPACES  
 = 2 PUBLICLY AVAILABLE SPACES REQUIRED  
**TOTAL BICYCLE PARKING REQUIRED:**  
 = 6 + 8 + 2  
 = 16 TOTAL BICYCLE PARKING SPACES REQUIRED (12 MUST BE PUBLICLY AVAILABLE)  
**BICYCLE PARKING PROVIDED = 32 TOTAL SPACES**

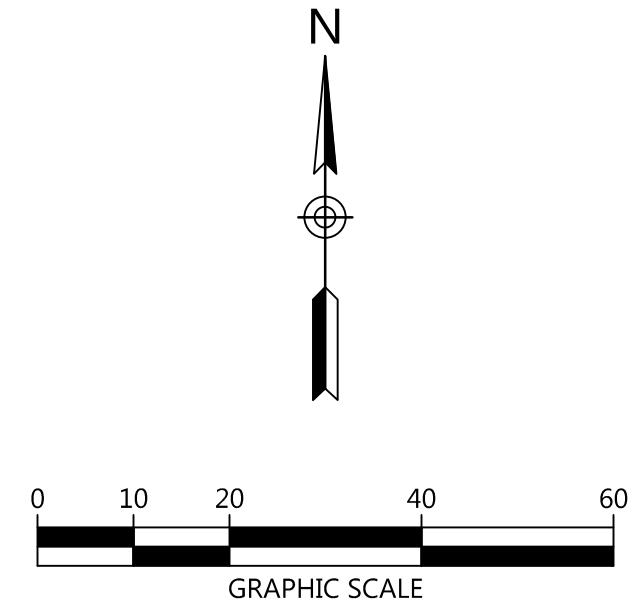
**DEVELOPER**  
 BENTO BOX, LLC  
 BROOKLYN NAVY YARD  
 63 FLUSHING AVE.  
 BUILDING 200, SUITE 515  
 BROOKLYN, NY 11205  
 718-260-8200

**APPLICANT**  
 LITTLEJOHN  
 1935 21st AVE. SOUTH  
 NASHVILLE, TN 37212  
 CONTACT: ALAN MAHER, PE  
 615-385-4144  
 AMAHER@SMEINC.COM



**PROPOSED FEATURES LEGEND**

- BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- TACTILE WARNING
- PAINTED STRIPE
- CONCRETE CURB
- CENTERLINE



**SITE LAYOUT KEYNOTES**

CODE	DESCRIPTION	DET #/SHT #
(S1a)	METRO ST-251 STANDARD STREET PAVEMENT	5-C7.1
(S1b)	ASPHALT PAVEMENT - HEAVY DUTY	1-C7.0
(S2)	CONCRETE PAVEMENT	2-C7.0
(S3a)	CONCRETE CURB & GUTTER	4-C7.0
(S3b)	CONCRETE POST CURB	3-C7.0
(S4a)	CONCRETE SIDEWALK	6.7-C7.0
(S4b)	CONCRETE SIDEWALK WITH TURN DOWN CURB	8-C7.0
(S4c)	8" WIDE STRIP WITH CONTRASTING FINISH	9-C7.1
(S5)	SIDEWALK JOINTS	9-C7.0
(S6a)	ACCESSIBLE SYMBOL	4-C7.1
(S6b)	ACCESSIBLE AISLE MARKING	6-C7.1
(S7)	ACCESSIBLE PARKING SIGN	SEE NOTE 1
(S8a)	ACCESSIBLE RAMP	3-C7.1
(S8b)	ACCESSIBLE WINGED RAMP	2-C7.1
(S9)	TACTILE WARNING SURFACE	2-C7.1
(S10)	CONCRETE WHEELSTOP	8-C7.1
(S11a)	CONCRETE STEPS	2-C7.2
(S13a)	RAMP WITH HANDRAIL	1-C7.2
(S15)	CONCRETE TRANSFORMER PAD	5-C7.2
(S16)	PAVEMENT TRANSITION FROM FLUSH TO 6" CURB	SEE NOTE 2
(S17)	DRIVEWAY RAMP	5-C7.0
(S18)	DIRECTIONAL ARROWS	10-C7.1
(S19)	PEDESTRIAN CROSSWALK	7-C7.1
(S20a)	CHAIN LINK FENCE (SPECIFY HEIGHT)	-
(S21a)	GUARDRAIL AT WALKWAY	11-C7.2
(S21b)	GUARDRAIL AT RETAINING WALL	4-C7.2
(S21c)	RAIL AT DINING AREA	9-C7.3
(S22a)	CONCRETE RETAINING WALL	3-C7.2
(S23)	PAINTED STOP BAR	-
(S24)	PAINTED DOUBLE YELLOW STRIPING	-
(S25)	PAINTED PAVEMENT LEGEND (MESSAGE VARIES)	-
(S26)	BICYCLE RAMP	11-C7.0
(S27)	LIGHT STANDARD	SEE NOTE 3

- NOTES:**
- SIGN DETAILS WILL BE PROVIDED IN A FUTURE DESIGN PACKAGE PROVIDED BY THE SIGNAGE CONSULTANT.
  - REFER TO THE GRADING PLAN FOR THE LIMITS AND ELEVATIONS OF THE PAVEMENT TRANSITION.
  - REFER TO THE SITE ELECTRICAL PLAN FOR DETAILS.



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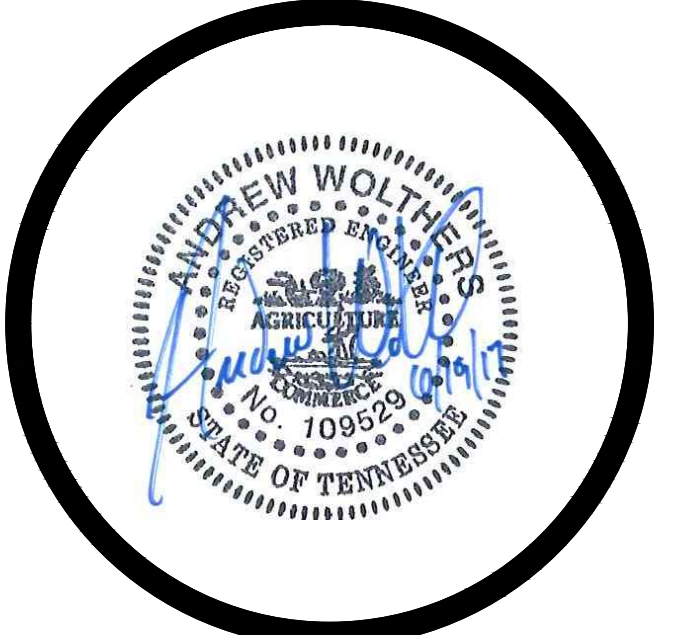
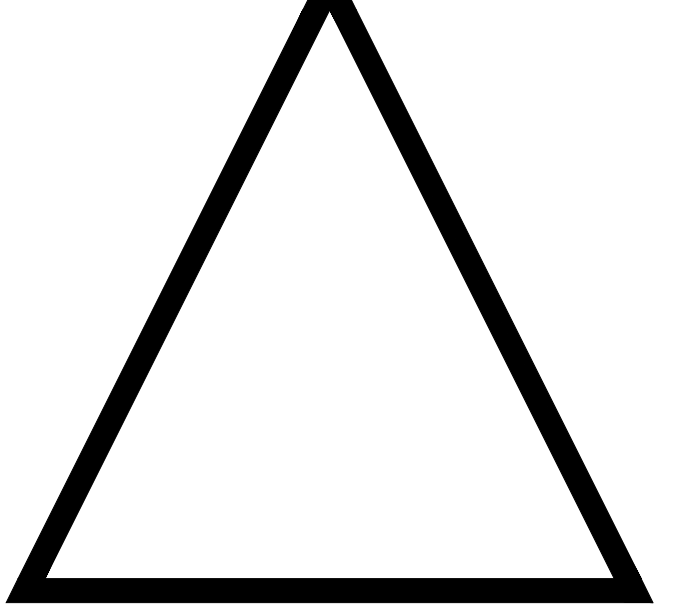


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**SPECIFIC PLAN**  
 Case No. 2016SP-039-004

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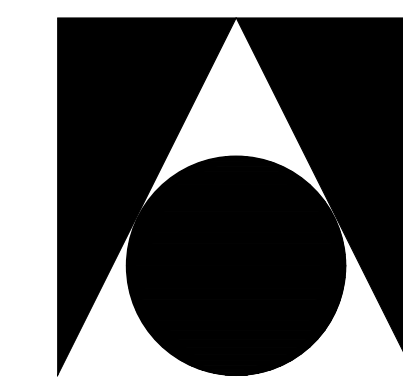
**SITE LAYOUT**

**C4.0**

015.041.00  
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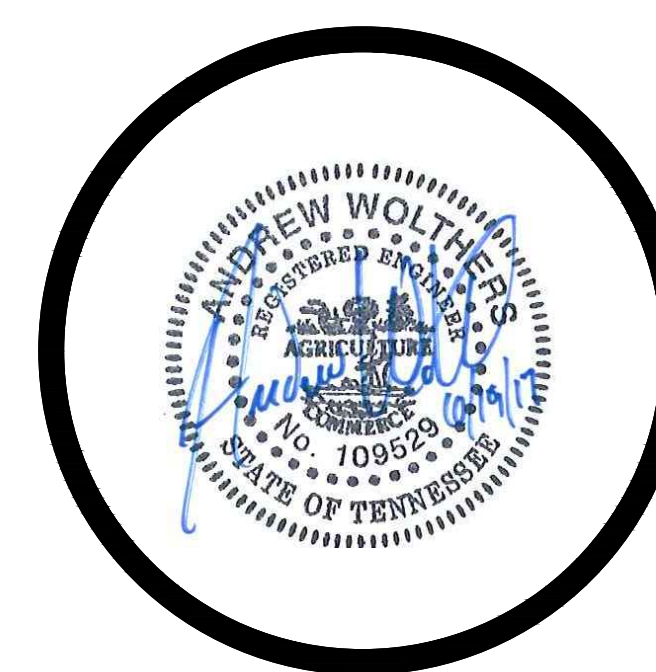
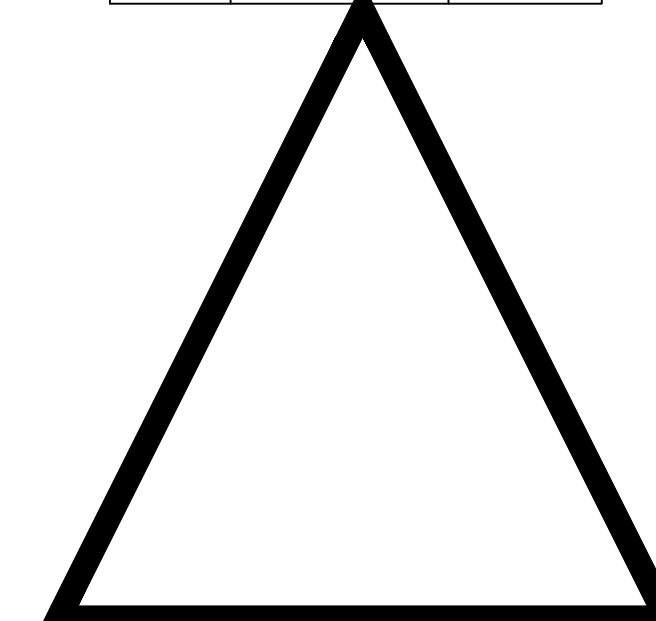
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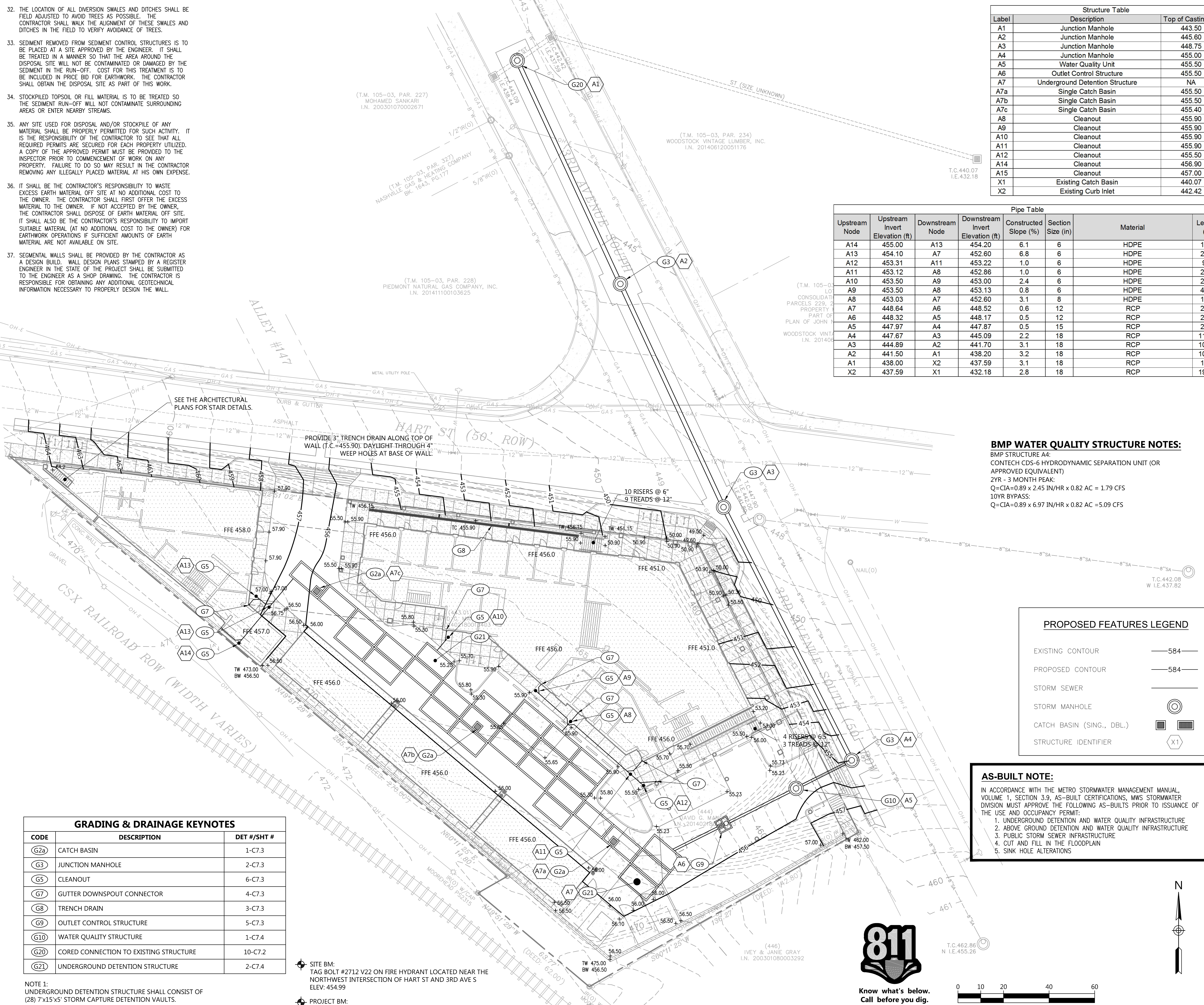
GRADING & DRAINAGE

**C5.0**

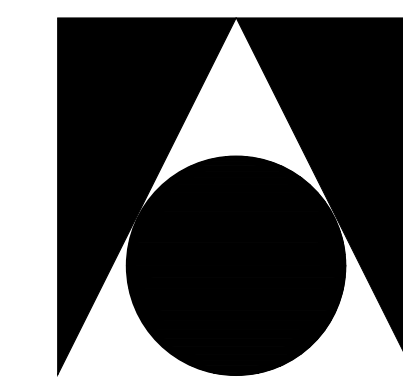
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21 JUNE 2017

**SITE GRADING & EROSION CONTROL NOTES**

- THE DISTURBED AREA FOR THIS PROJECT IS APPROXIMATELY 0.97 ACRES.
- THE SITE IS LOCATED ON DAVISON COUNTY TAX MAP 105-07, PARCELS 443.01 AND 444.
- THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 47037020219F OF THE F.E.M.A. FLOOD INSURANCE RATE MAPS FOR NASHVILLE AND DAVISON COUNTY, TENNESSEE, WITH AN EFFECTIVE DATE OF APRIL 20, 2001.
- CONSTRUCT SILT BARRIERS BEFORE BEGINNING GRADING OPERATIONS.
- MULCH AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER FINAL GRADING IS COMPLETED. UNLESS OTHERWISE INDICATED, CONTRACTOR SHALL TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- PROVIDE TEMPORARY CONSTRUCTION ACCESS(ES) AT THE POINT(S) WHERE CONSTRUCTION VEHICLES EXIT THE CONSTRUCTION AREA. MAINTAIN PUBLIC ROADWAYS FREE OF TRACKED MUD AND DIRT.
- THE CONTRACTOR SHALL COORDINATE THE EXACT LOCATION OF THE STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE PLUMBING PLANS.
- THE CONTRACTOR SHALL CHECK ALL EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY ADDITIONAL GEOTECHNICAL INFORMATION NECESSARY TO PROPERLY DESIGN THE WALL.
- THE CONTRACTOR SHALL ADJUST THE CASTINGS OF ALL NEW AND EXISTING STRUCTURES TO MATCH PROPOSED FINISH GRADES.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- PROPOSED CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF AN ENGINEERED GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE AND MOVEMENT OF MATERIALS. SHOULD THE CONTRACTOR HAVE ANY QUESTION OF THE INTENT OR ANY PROBLEM WITH THE CONTINUITY OF GRADES, THE ENGINEER SHALL BE CONTACTED IMMEDIATELY.
- ALL CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL OR FLATTER UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO THE TOP OF SUBGRADE WITH CRUSHED STONE.
- MINIMUM GRADE ON ASPHALT OR CONCRETE FINISH SHALL BE 1.0%. THE MAXIMUM GRADES WITHIN ACCESSIBLE SPACES SHALL BE 2% IN ANY DIRECTION.
- CONTRACTOR SHALL CONFORM TO ALL APPLICABLE CODES AND OBTAIN APPROVAL AS NECESSARY BEFORE BEGINNING CONSTRUCTION.
- ALL EARTHWORK, INCLUDING THE EXCAVATED SUBGRADE AND EACH LAYER OF FILL, SHALL BE MONITORED AND APPROVED BY A QUALIFIED GEOTECHNICAL ENGINEER, OR HIS REPRESENTATIVE.
- IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.
- THIS GRADING & DRAINAGE PLAN IS NOT A DETERMINATION OR GUARANTEE OF THE SUITABILITY OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED. A GEOTECHNICAL SOILS REPORT HAS BEEN PREPARED AND IS AVAILABLE FROM THE OWNER. DETERMINATION OF THE SUBSURFACE CONDITIONS FOR THE WORK INDICATED IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO COMPACT FILL SUFFICIENTLY AROUND AND OVER ALL PIPES, STRUCTURES, VALVE STEMS, ETC., INSIDE THE PROPOSED PAVED AREAS TO AVOID SETTLEMENT. ANY SETTLEMENT DURING THE WARRANTY PERIOD SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- IN NO CASE SHALL SLOPE, HEIGHT, SLOPE INCLINATION, OR EXCAVATION DEPTH, INCLUDING TRENCH CONSTRUCTION, EXCEED THOSE SPECIFIED IN LOCAL STATE AND FEDERAL REGULATIONS, SPECIFICALLY THE CURRENT OSHA HEALTH AND SAFETY STANDARDS FOR EXCAVATIONS (29 CFR PART 1926) SHALL BE FOLLOWED.
- DO NOT DISTURB VEGETATION OR REMOVE TREES EXCEPT WHEN NECESSARY FOR GRADING PURPOSES.
- STRIP TOPSOIL FROM ALL CUT AND FILL AREAS AND STOCKPILE UPON COMPLETION OF GENERAL GRADING OVER ALL DISTURBED AREAS TO A MINIMUM DEPTH OF 6". CONTRACTOR SHALL SUPPLY ADDITIONAL TOP SOIL IF INSUFFICIENT QUANTITIES EXIST ON SITE.
- TOP OF GRATE ELEVATIONS AND LOCATION OF COORDINATES FOR DRAINAGE STRUCTURES SHALL BE AS SHOWN ON THE DETAIL, UNLESS NOTED OTHERWISE. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADES.
- ALL DRAINAGE CONSTRUCTION MATERIALS AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL GOVERNING AGENCY.
- POSITIVE DRAINAGE SHALL BE ESTABLISHED AS THE FIRST ORDER OF WORK AND SHALL BE MAINTAINED AT ALL TIMES DURING AND AFTER CONSTRUCTION. SOIL SOFTENED BY PERCHED WATER IN FOUNDATION AND PAVEMENT AREAS MUST BE UNDERCUT AND REPLACED WITH SUITABLE FILL MATERIALS APPROVED BY THE GEOTECHNICAL ENGINEER. GROUNDWATER INFILTRATION INTO EXCAVATIONS SHOULD BE EXPECTED, AND THE WATER SHALL BE REMOVED USING GRAVITY DRAINAGE OR PUMPING.
- REINFORCED CONCRETE STORM DRAINAGE PIPE SHALL BE CLASS III WALL 8".
- FILL SLOPES 3:1 AND GREATER SHALL BE PLACED AND COMPACTED 3' BEYOND PROPOSED LIMITS AND THEN EXCAVATED BACK TO THE PROPOSED LOCATION.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY STAMPED BY A LICENSED SURVEYOR IN THE SAME STATE OF THE PROJECT OF ALL PUBLIC STORM SYSTEMS AND ON-SITE DETENTION PONDS AND WATER QUALITY MEASURES VERIFYING COMPLIANCE WITH DESIGN DOCUMENTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 72 HOURS PRIOR TO INSTALLATION OF THE WATER QUALITY DEVICE.
- ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT. THIS MATERIAL SHALL BE PLACED IN LIFTS DIRECTED BY THE GEOTECHNICAL ENGINEER AND COMPACTED AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.







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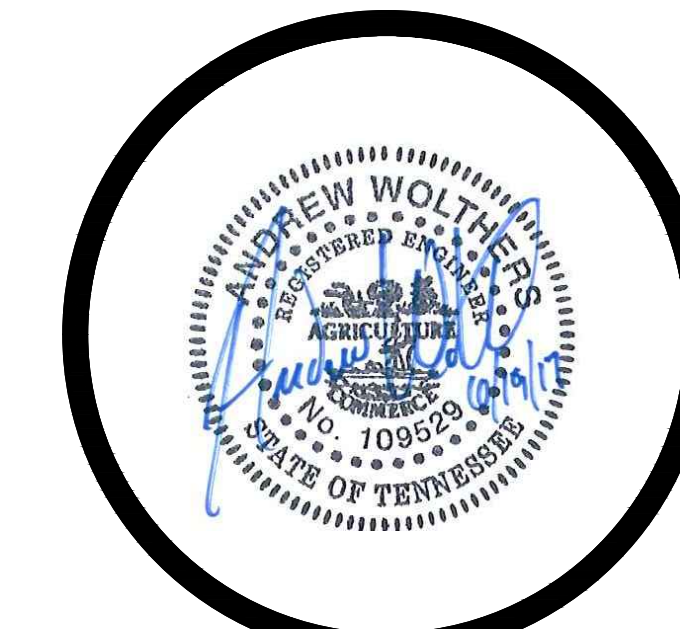
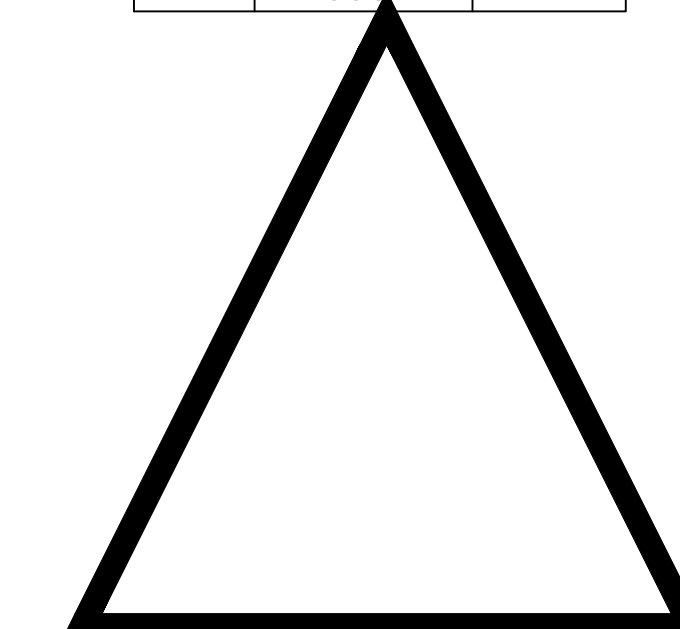
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SITE UTILITIES

**C6.0**

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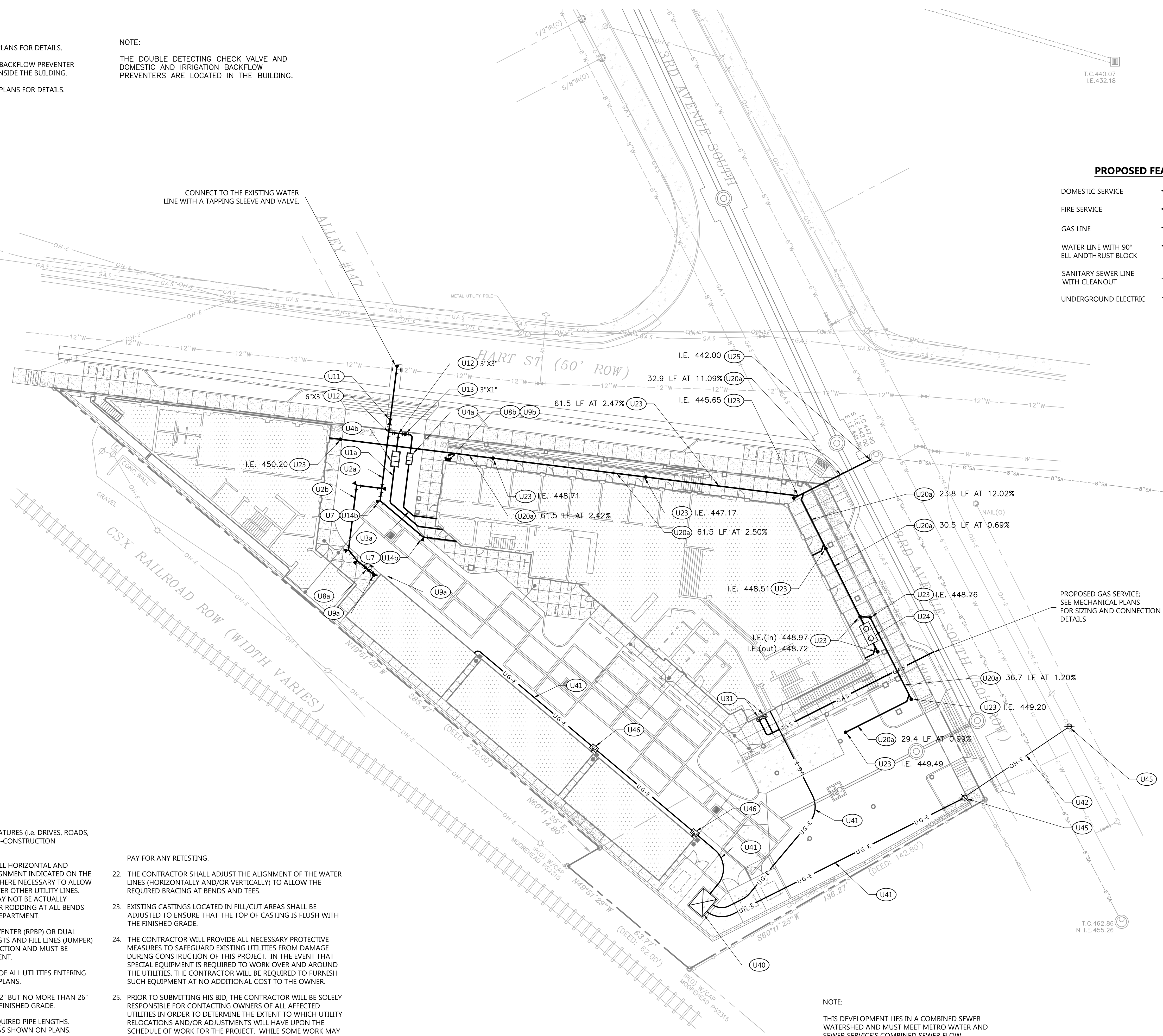
UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U13a	3" PVC DOMESTIC WATER LINE	1-C7.3
U20a	6" DIP FIRE LINE	1-C7.3
U20b	4" DIP FIRE LINE	1-C7.3
U30a	1" PVC IRRIGATION LINE	1-C7.3
U40a	1" IRRIGATION WATER METER	-
U40b	3" DOMESTIC WATER METER	12-C7.2
U7	WATER BLOCKING/KICKERS	3-C7.4
U8a	POST INDICATOR VALVE	8-C7.3
U8b	INDICATOR VALVE (WALL-MOUNTED)	SEE NOTE 1
U9a	STANDPIPE	SEE NOTE 1
U9b	FIRE DEPARTMENT CONNECTION - WALL-MOUNTED	SEE NOTE 1
U11	WATER VALVE	-
U12	TEE (SEE PLAN FOR SIZE)	-
U13	REDUCER (SEE PLAN FOR SIZE)	-
U14a	90° ELL	-
U14b	45° ELL	-
U20c	6" SANITARY SEWER SERVICE - SDR-35 PVC	1-C7.3
U23	SANITARY SEWER CLEANOUT	8-C7.2
U24	GREASE INTERCEPTOR	9-C7.2
U25	CORED CONNECTION TO EXISTING STRUCTURE	10-C7.2
U30	NATURAL GAS LINE	-
U31	NATURAL GAS METER	-
U40	ELECTRIC TRANSFORMER	-
U41	UNDERGROUND ELECTRIC LINE	-
U42	OVERHEAD ELECTRIC LINE	-
U45	ELECTRIC SERVICE POLE	-
U46	ELECTRICAL PULL BOX (TRAFFIC-BEARING)	SEE NOTE 3

NOTES:

- SEE THE PLUMBING PLANS FOR DETAILS.
- CHECK VALVES AND BACKFLOW PREVENTER SHALL BE LOCATED INSIDE THE BUILDING.
- SEE THE ELECTRICAL PLANS FOR DETAILS.

NOTE:

THE DOUBLE DETECTING CHECK VALVE AND DOMESTIC AND IRRIGATION BACKFLOW PREVENTERS ARE LOCATED IN THE BUILDING.

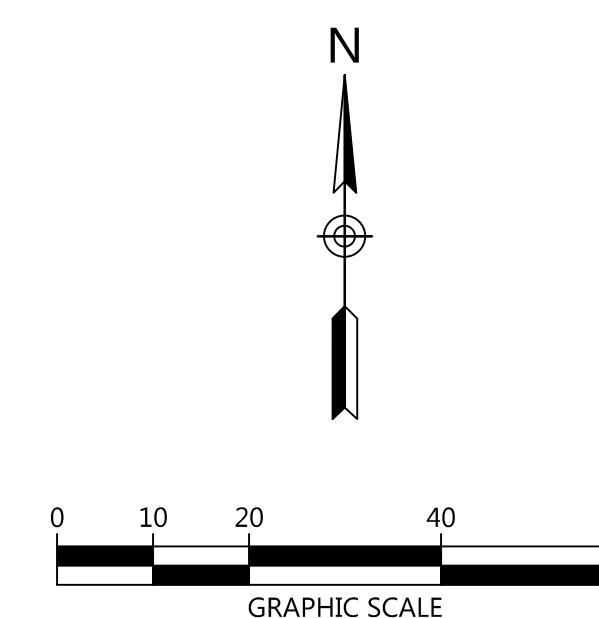


**SITE UTILITY NOTES**

- THE PROJECT SITE IS SHOWN ON JURISDICTION, TAX MAP 105-07, AS PARCELS 443.01 AND 444.
- THE SANITARY SEWER SHALL BE OF THE MATERIAL INDICATED ON THE PLAN. POLYVINYLCHLORIDE (PVC) SHALL BE (SDR35). DUCTILE IRON PIPE (D.I.P.) SHALL BE CLASS 52.
- ALL WATER LINES, SEWER LINES, AND APPURTENANCES SHALL BE OF MATERIALS AND CONSTRUCTION THAT CONFORM TO THE LOCAL AGENCY STANDARDS AND SPECIFICATIONS.
- PROVIDE A MINIMUM 36" OF COVER OVER ALL WATER LINES.
- THE CONTRACTOR SHALL MAINTAIN 10 FEET HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES. WHERE THESE CRITERIA CANNOT BE MET, THE CONTRACTOR SHALL MAINTAIN 18" VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF EXISTING MANHOLES OR SANITARY SEWER LINES AT THE POINT OF CONNECTION PRIOR TO THE COMMENCEMENT OF ORDERING OF MATERIALS, CONSTRUCTION OR REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES SO THAT WATER LINES DO NOT CONFLICT WITH SANITARY SEWERS, SANITARY SEWER SERVICES, STORM SEWERS, OR ANY OTHER UTILITY OR STRUCTURE, EXISTING OR PROPOSED.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- BEFORE CONNECTIONS ARE MADE INTO EXISTING UTILITIES, THE NEW LINES ARE TO BE FLUSHED AND TESTED BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL WATER AND SEWER DEPARTMENT SPECIFICATIONS.
- ALL TRENCHES CUT IN EXISTING ROADS OR DRIVES SHALL UTILIZE A CLEAN SAW CUT AND SHALL BE BACKFILLED (100%) TO FINAL SUBGRADE WITH #57 STONE. REPAIR ROADS PER LOCAL AGENCY REQUIREMENTS.

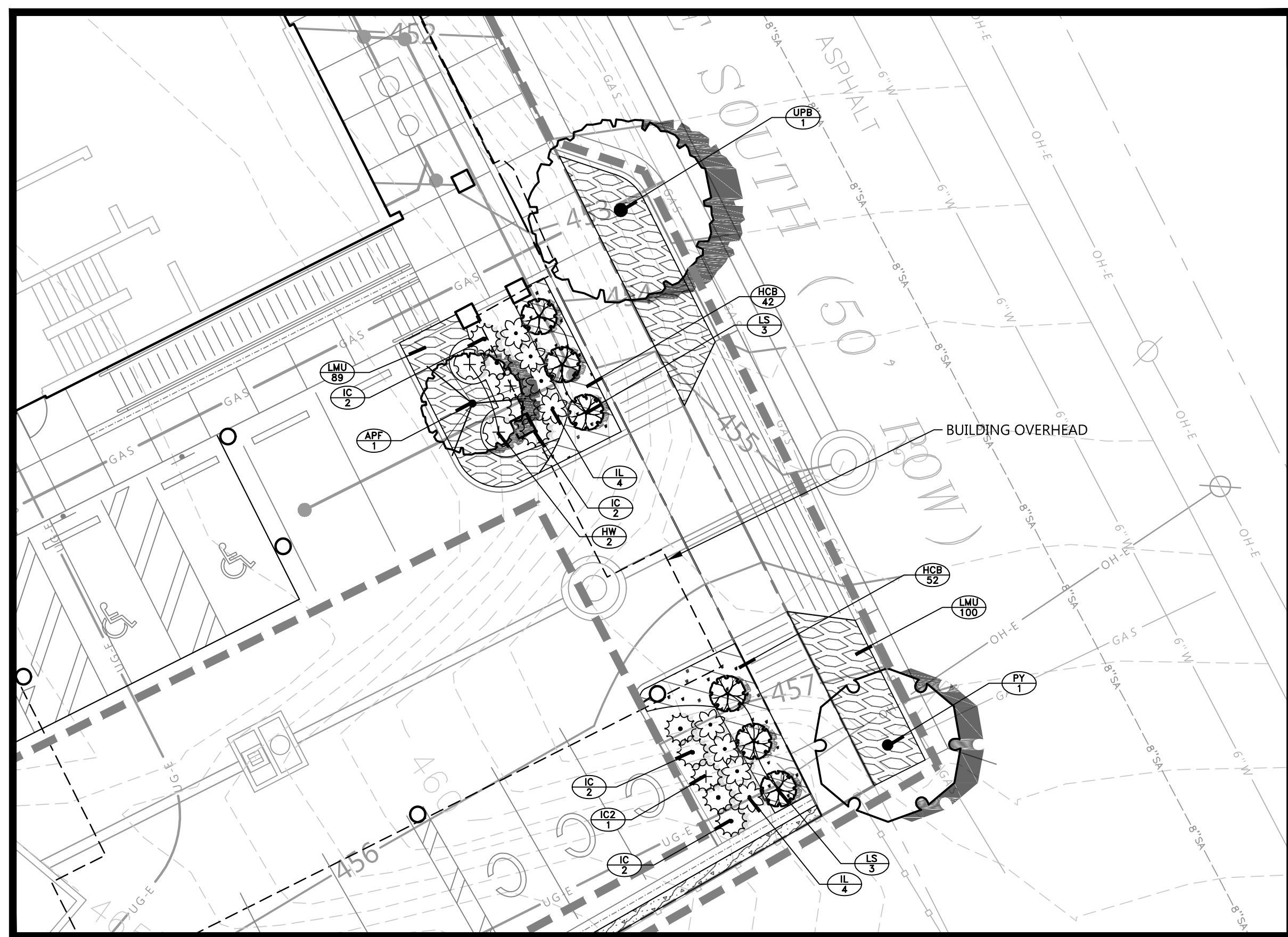
**REQUIREMENTS.**

- REPAIR ALL DAMAGE TO EXISTING FEATURES (i.e. DRIVES, ROADS, YARDS, LANDSCAPING, ETC.) TO PRE-CONSTRUCTION CONDITION.
- THE CONTRACTOR SHALL PROVIDE ALL HORIZONTAL AND VERTICAL BENDS TO ATTAIN THE ALIGNMENT INDICATED ON THE PLANS. PROVIDE VERTICAL BENDS WHERE NECESSARY TO ALLOW WATER LINES TO PASS UNDER OR OVER OTHER UTILITY LINES. (ALL BENDS AND BRACES NEEDED MAY NOT BE ACTUALLY SHOWN). PROVIDE BRACING AND/OR RODDING AT ALL BENDS AND TEES AS REQUIRED BY WATER DEPARTMENT.
- REDUCED PRESSURE BACKFLOW PREVENTER (RBP) OR DUAL CHECK WILL BE REQUIRED ON ALL TESTS AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE WATER DEPARTMENT.
- COORDINATE THE EXACT LOCATION OF ALL UTILITIES ENTERING THE BUILDING WITH THE PLUMBING PLANS.
- WATER METERS SHALL BE AT LEAST 22" BUT NO MORE THAN 26" FROM TOP OF METER TO PROPOSED FINISHED GRADE.
- THE CONTRACTOR SHALL VERIFY REQUIRED PIPE LENGTHS, EXISTING PIPE MATERIAL AND SIZES AS SHOWN ON PLANS.
- REPAIR EXISTING PAVEMENT, CURBS, WALKS, LANDSCAPING, ETC. THAT ARE DAMAGED BY CONSTRUCTION ACTIVITIES TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- THE PROPOSED GAS LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL GAS COMPANY BY THE CONTRACTOR.
- THE PROPOSED ELECTRIC LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL ELECTRIC COMPANY BY THE CONTRACTOR.
- THE PROPOSED TELEPHONE LINE CONSTRUCTION AND INSTALLATION SHALL BE COORDINATED WITH THE LOCAL TELEPHONE COMPANY BY THE CONTRACTOR.
- WHERE DRAINAGE OR UTILITY LINES OCCUR IN PROPOSED FILL AREAS, THE FILL MATERIAL IS TO BE PLACED AND COMPACTED TO 100% STANDARD PROCTOR OR MAXIMUM DRY DENSITY ACCORDING TO ASTM D698/D1557 PRIOR TO INSTALLATION OF DRAINAGE OR UTILITY LINES. FILL IS TO BE INSPECTED BY A PROFESSIONAL GEOTECHNICAL ENGINEER TESTING FIRM EMPLOYED BY THE OWNER. RESULTS OF THE TEST SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE. CONTRACTOR TO PAY FOR ANY RETESTING.
- THE CONTRACTOR SHALL ADJUST THE ALIGNMENT OF THE WATER LINES (HORIZONTALLY AND/OR VERTICALLY) TO ALLOW THE REQUIRED BRACING AT BENDS AND TEES.
- EXISTING CASTINGS LOCATED IN FILL/CUT AREAS SHALL BE ADJUSTED TO ENSURE THAT THE TOP OF CASTING IS FLUSH WITH THE FINISHED GRADE.
- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER AND AROUND THE UTILITIES, THE CONTRACTOR WILL BE REQUIRED TO FURNISH SUCH EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- PRIOR TO SUBMITTING HIS BID, THE CONTRACTOR WILL BE SOLELY RESPONSIBLE FOR CONTACTING OWNERS OF ALL AFFECTED UTILITIES IN ORDER TO DETERMINE THE EXTENT TO WHICH UTILITY RELOCATIONS AND/OR ADJUSTMENTS WILL HAVE UPON THE SCHEDULE OF WORK FOR THE PROJECT. WHILE SOME WORK MAY BE REQUIRED AROUND UTILITY FACILITIES THAT WILL REMAIN IN PLACE, OTHER UTILITY FACILITIES MAY NEED TO BE ADJUSTED CONCURRENTLY WITH THE CONTRACTOR'S OPERATIONS.
- ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY THE CORING AND RESILIENT SEAL METHOD.
- CONTRACTOR SHALL MARK THE LOCATION OF ALL NEW PVC LINES WITH #8 WIRE.
- BACKFLOW PREVENTION DEVICE FOR THE DOMESTIC WATER SERVICE SHALL BE LOCATED INSIDE THE BUILDING, SEE PLUMBING PLANS.
- SIAMSESE STAND PIPE TO BE GALVANIZED STEEL.
- SEWER SERVICES TO BE 6" DIAMETER PVC AT A MINIMUM SLOPE OF 1.0% UNLESS SHOWN OTHERWISE ON THE DRAWINGS. LINES SHALL START 5' BEYOND THE BUILDINGS. COORDINATE CONNECTION POINTS WITH THE BUILDING PLUMBING DRAWINGS. PROVIDE A MINIMUM 30" OF COVER OVER ALL SEWER SERVICES IN GRASS AREAS AND 48" OF COVER IN PAVED AREAS.
- ALL FIRE LINES SHALL BE INSTALLED BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.



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DETAILED LANDSCAPE PLAN

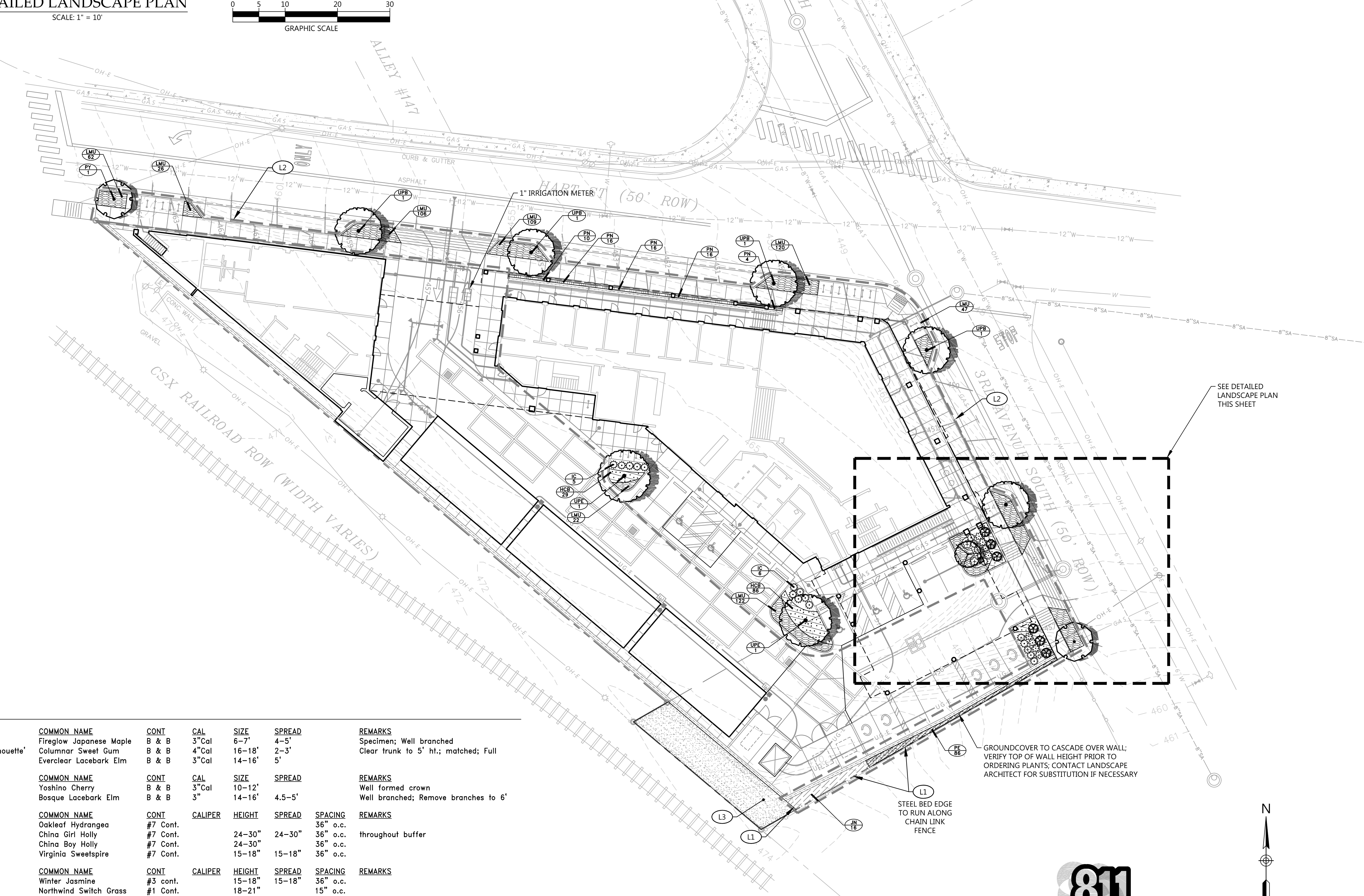
SCALE: 1" = 10'



LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(L1)	STEEL BED EDGE	
(L2)	IRRIGATION LIMITS	NOTES/L2.0
(L3)	AREA TO BE SEEDED	SEE SPECS
(L5)	AREA TO BE 4"-6" RIVER ROCK	

**SITE TREE DENSITY CALCULATIONS**

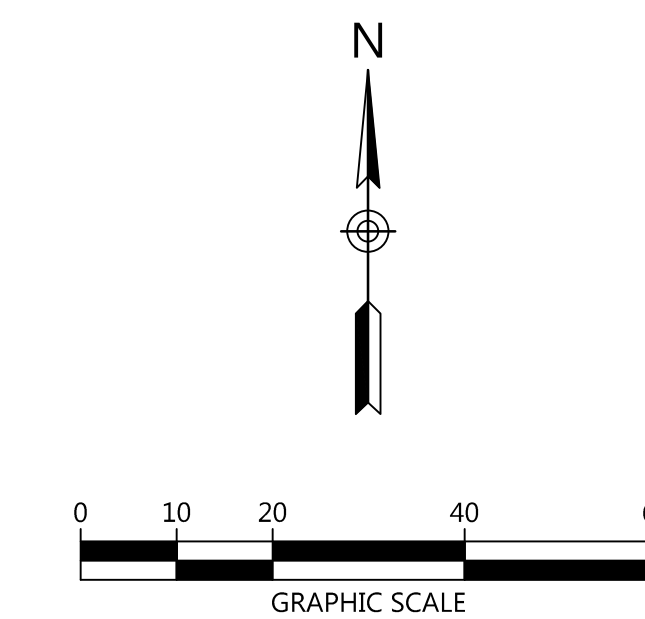
ACREAGE:	0.90
BUILDING ACREAGE:	0.56
ADJUSTED ACREAGE:	0.34
TREE DENSITY UNITS REQUIRED: (14 TDU/Ac. x 0.34)	4.76
TREE DENSITY UNITS PROVIDED:	
EXISTING TREE CREDITS:	N/A
PROPOSED TREES: (SEE CHART BELOW)	5.3
TOTAL TREE DENSITY UNITS PROVIDED:	5.3
PROPOSED TREES:	
2" 00 x 0.5 =	0.0
3" 03 x 0.6 =	1.8
4" 06 x 0.7 =	4.2
TOTAL	6.0



**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS	
APF	1	Acer palmatum 'Fireglow'	Fireglow Japanese Maple	B & B	3" Cal	6-7'	4-5'	Specimen; Well branched	
LS	6	Liquidambar styraciflua 'Slender Silhouette'	Columnar Sweet Gum	B & B	4" Cal	16-18'	2-3'	Clear trunk to 5' ht.; matched; Full	
UPE	2	Ulmus parvifolia 'BSNUPF' Everclear	Everclear Lacebark Elm	B & B	3" Cal	14-16'	5'		
STREET TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS	
PY	2	Prunus x yedoensis	Yoshino Cherry	B & B	3" Cal	10-12'		Well formed crown	
UPB	5	Ulmus parvifolia 'Bosque'	Bosque Lacebark Elm	B & B	3"	14-16'	4.5-5'	Well branched; Remove branches to 6'	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
HW	2	Hydrangea quercifolia 'Pee Wee'	Oakleaf Hydrangea	#7 Cont.				36" o.c.	
IC	19	Ilex x meserveae 'China Girl' TM	China Girl Holly	#7 Cont.		24-30"	24-30"	36" o.c.	throughout buffer
IC2	2	Ilex x meserveae 'China Boy' TM	China Boy Holly	#7 Cont.		24-30"		36" o.c.	
IL	8	Itea virginica 'Little Henry' TM	Virginia Sweetspire	#7 Cont.		15-18"	15-18"	36" o.c.	
SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
JN	16	Jasminum nudiflorum	Winter Jasmine	#3 cont.		15-18"	15-18"	36" o.c.	
FN	62	Panicum virgatum 'North Wind'	Northwind Switch Grass	#1 Cont.		18-21"		15" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
HCB	209	Hypericum calycinum 'Brigadoon'	Brigadoon Aaron's Beard	4" pot				16" o.c.	Plant on 16" centers; Full cans
LMU	931	Liriope muscari 'Big Blue'	Big Blue Lilyturf	Pints				12" o.c.	Plant on 12" centers
FE	86	Phlox subulata 'Emerald Blue'	Emerald Blue Moss Phlox	#1 Cont.		4"	12"	15" o.c.	

\* TREES WITHIN ROW NOT COUNTED IN TDU COUNT



SITE BM:  
 TAG BOLT #2712 V22 ON FIRE HYDRANT LOCATED NEAR THE  
 NORTHWEST INTERSECTION OF HART ST AND 3RD AVE S  
 ELEV: 454.99  
 PROJECT BM:  
 NAVD 88 (GPS DERIVED)



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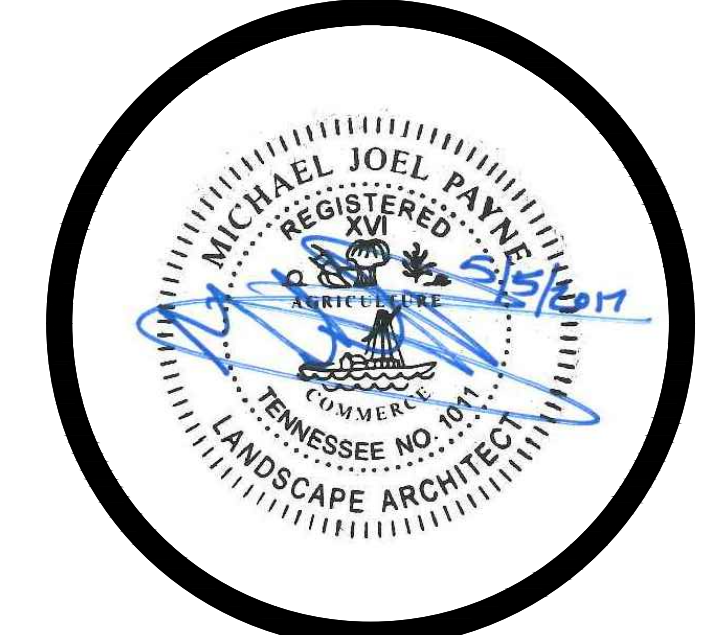
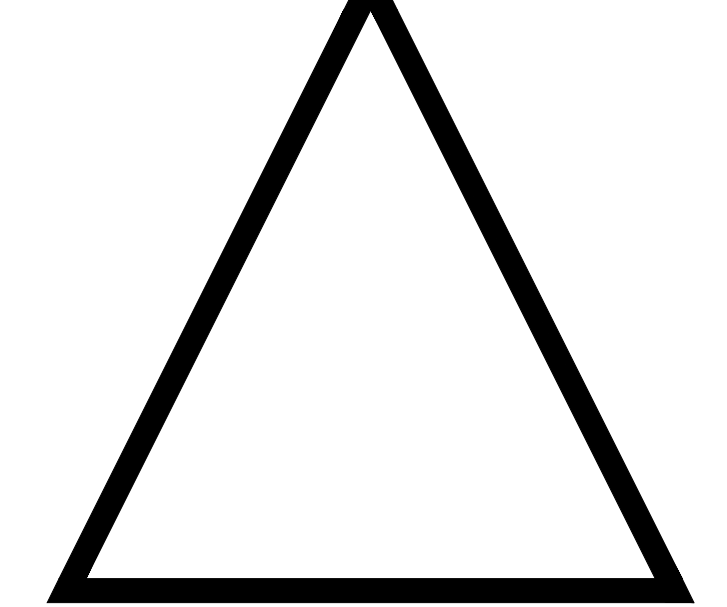


1267 3rd Ave. S.  
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SPECIFIC PLAN  
 Case No. 2016SP-039-004

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LANDSCAPE PLAN  
**L1.0**  
 015.041.00  
 21 JUNE 2017

SWGR T2016059636

G:\Projects\2016\514716018\Wg\Construction\514716018.L1.0-LAN.dwg-L1.0-LAN Jun 16, 2017 jbrumley



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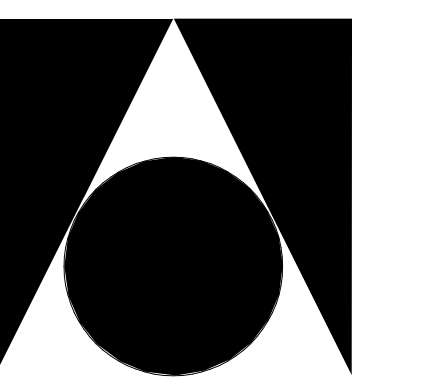


3 ROOFTOP VIEW

2 CORNER OF 4TH AVENUE SOUTH AND HART



1 ELEVATION ALONG HART STREET - VIEW FROM 3RD STREET



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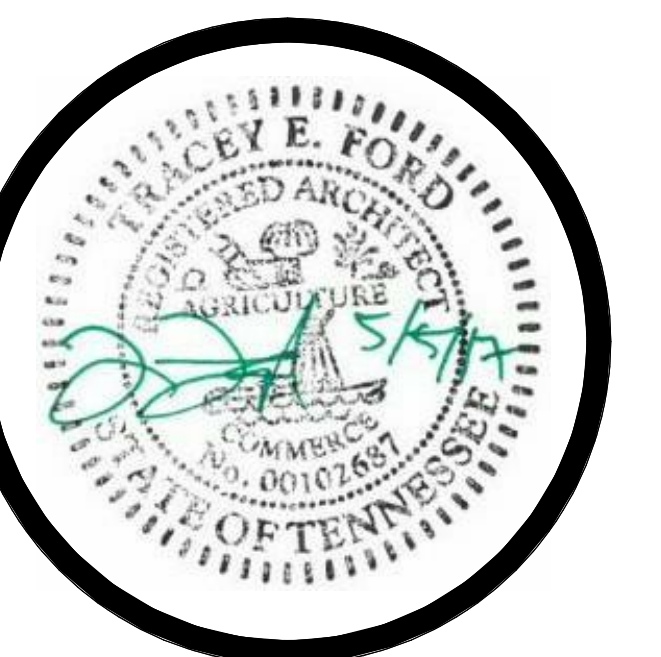
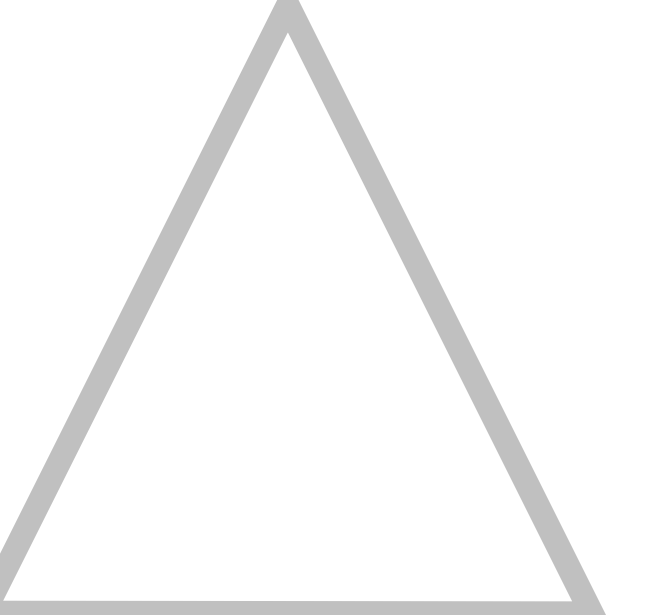
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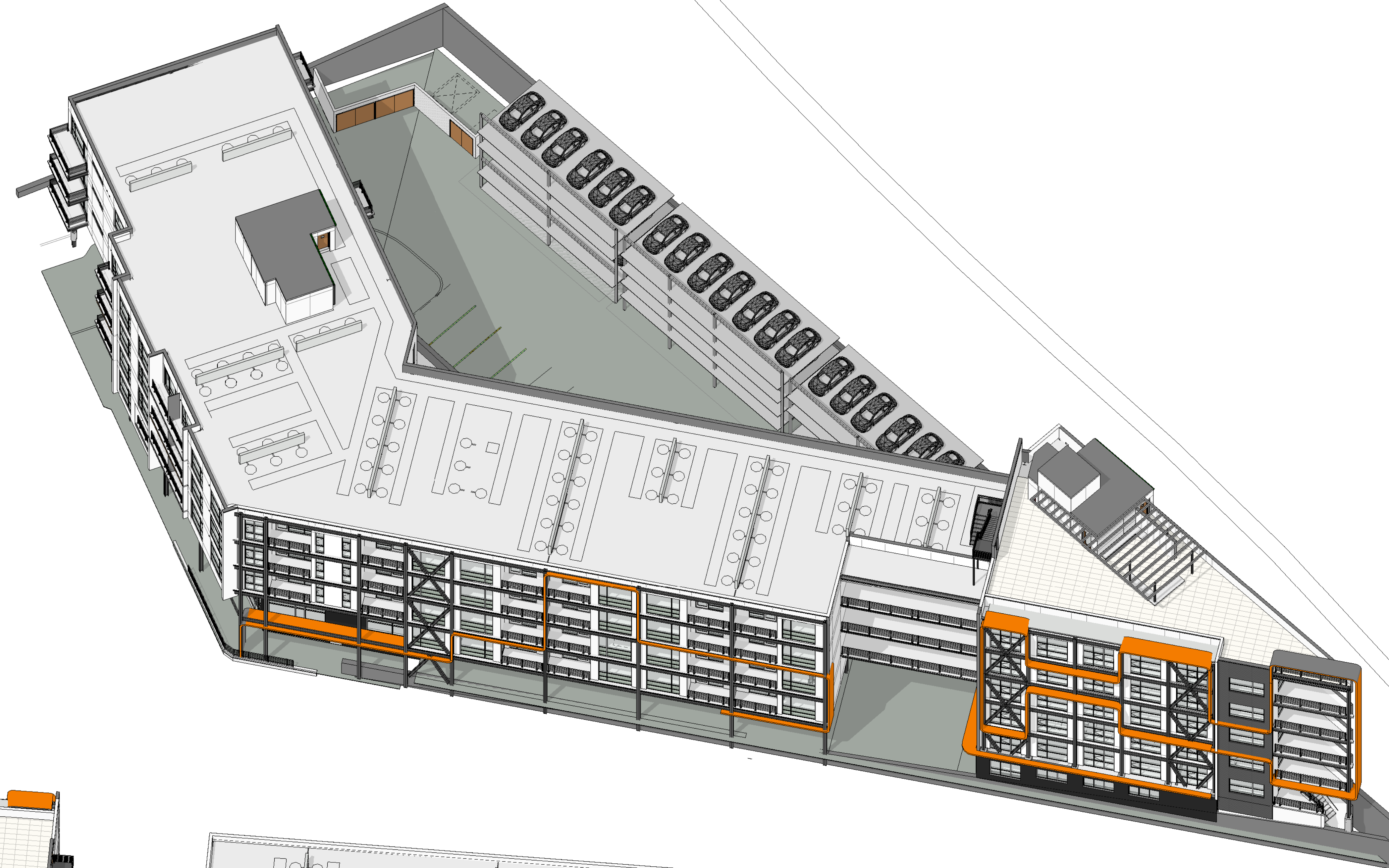
3D VIEWS

**GN.06**

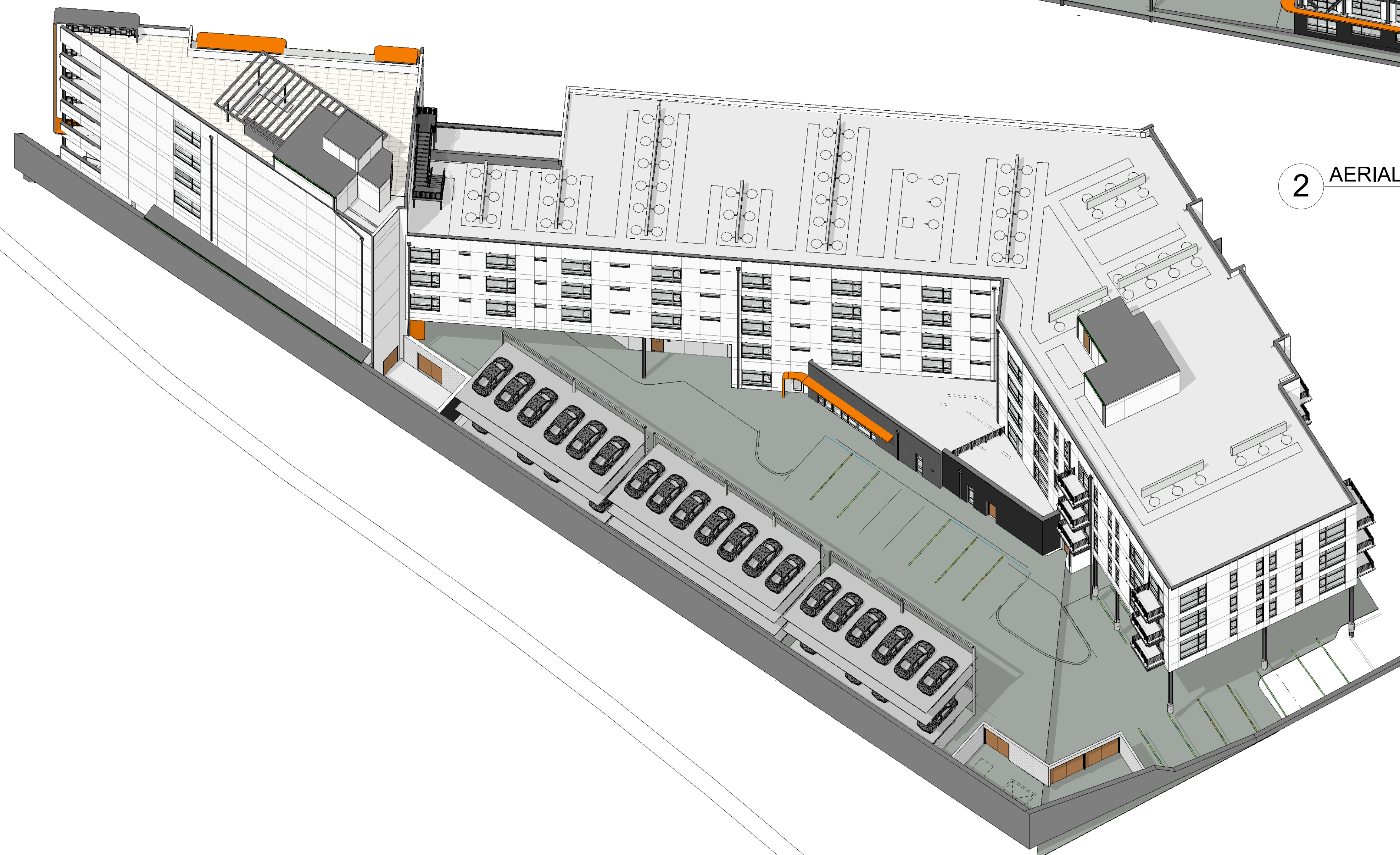
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5 MAY 2017



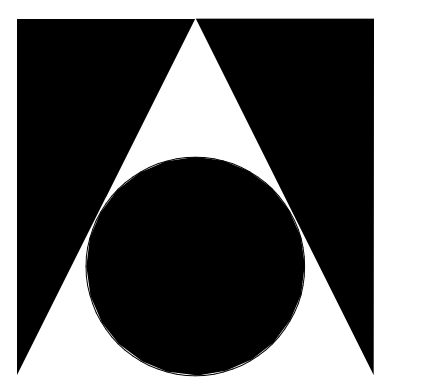
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2 AERIAL VIEW OF THE NORTH ELEVATION



1 AERIAL VIEW OF SOUTH ELEVATIONS



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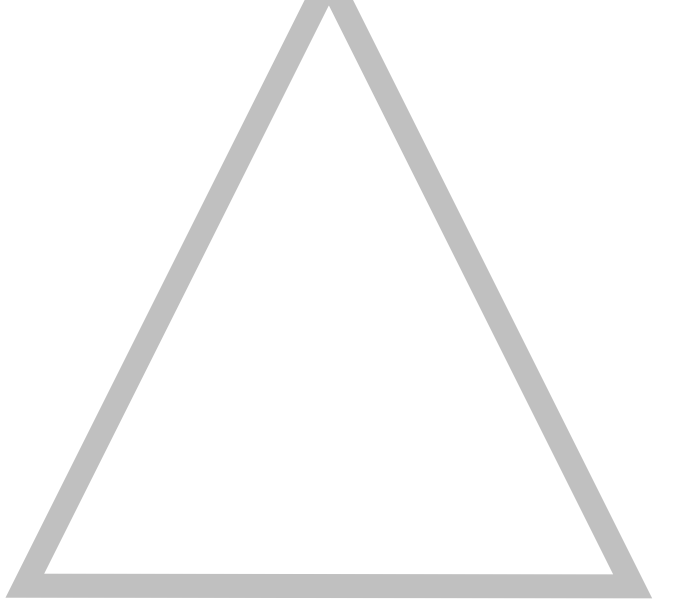
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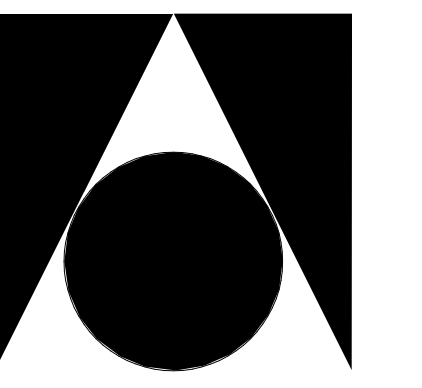
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3D VIEWS

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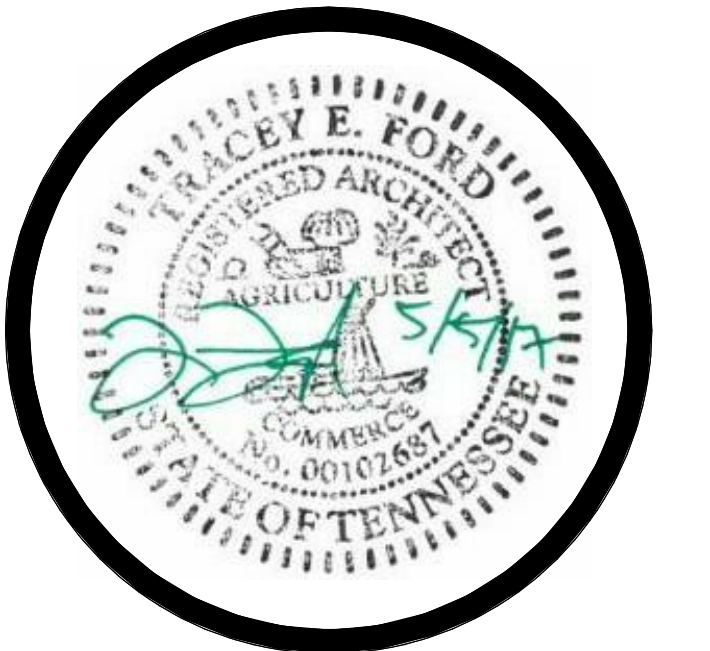
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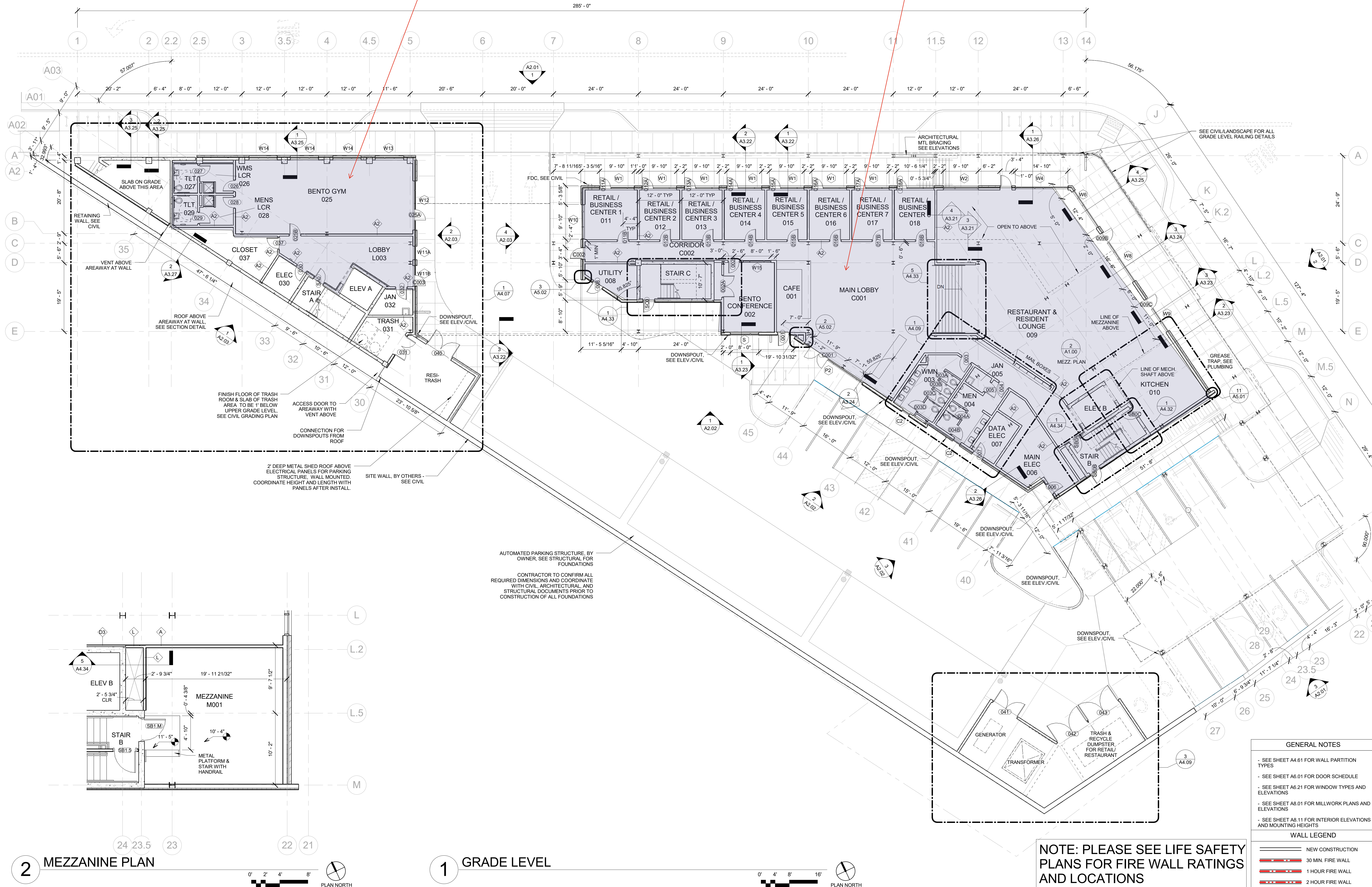
GRADE LEVEL FLOOR PLAN

**A1.00**

016.006.00  
5 MAY 2017

**BENTO GYM FOR  
RESIDENTS &  
HOTEL GUEST**

**MAIN LOBBY,  
RETAIL, OFFICE &  
RESTAURANT**



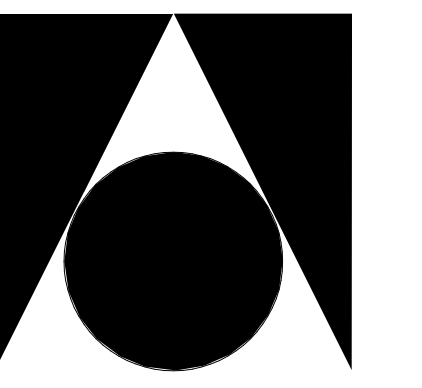
**2 MEZZANINE PLAN**

**1 GRADE LEVEL**

**NOTE: PLEASE SEE LIFE SAFETY  
PLANS FOR FIRE WALL RATINGS  
AND LOCATIONS**

GENERAL NOTES	
-	SEE SHEET A4.61 FOR WALL PARTITION TYPES
-	SEE SHEET A6.01 FOR DOOR SCHEDULE
-	SEE SHEET A6.21 FOR WINDOW TYPES AND ELEVATIONS
-	SEE SHEET A8.01 FOR MILLWORK PLANS AND ELEVATIONS
-	SEE SHEET A8.11 FOR INTERIOR ELEVATIONS AND MOUNTING HEIGHTS
WALL LEGEND	
	NEW CONSTRUCTION
	30 MIN. FIRE WALL
	1 HOUR FIRE WALL
	2 HOUR FIRE WALL





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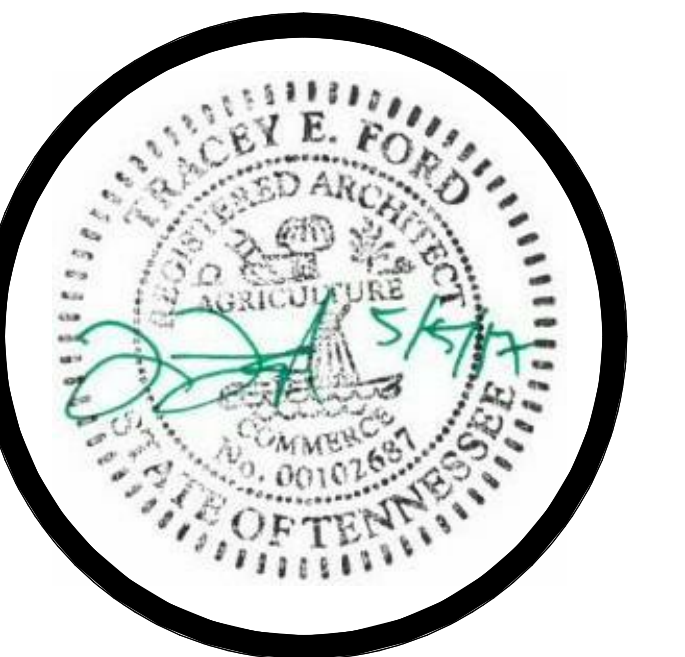
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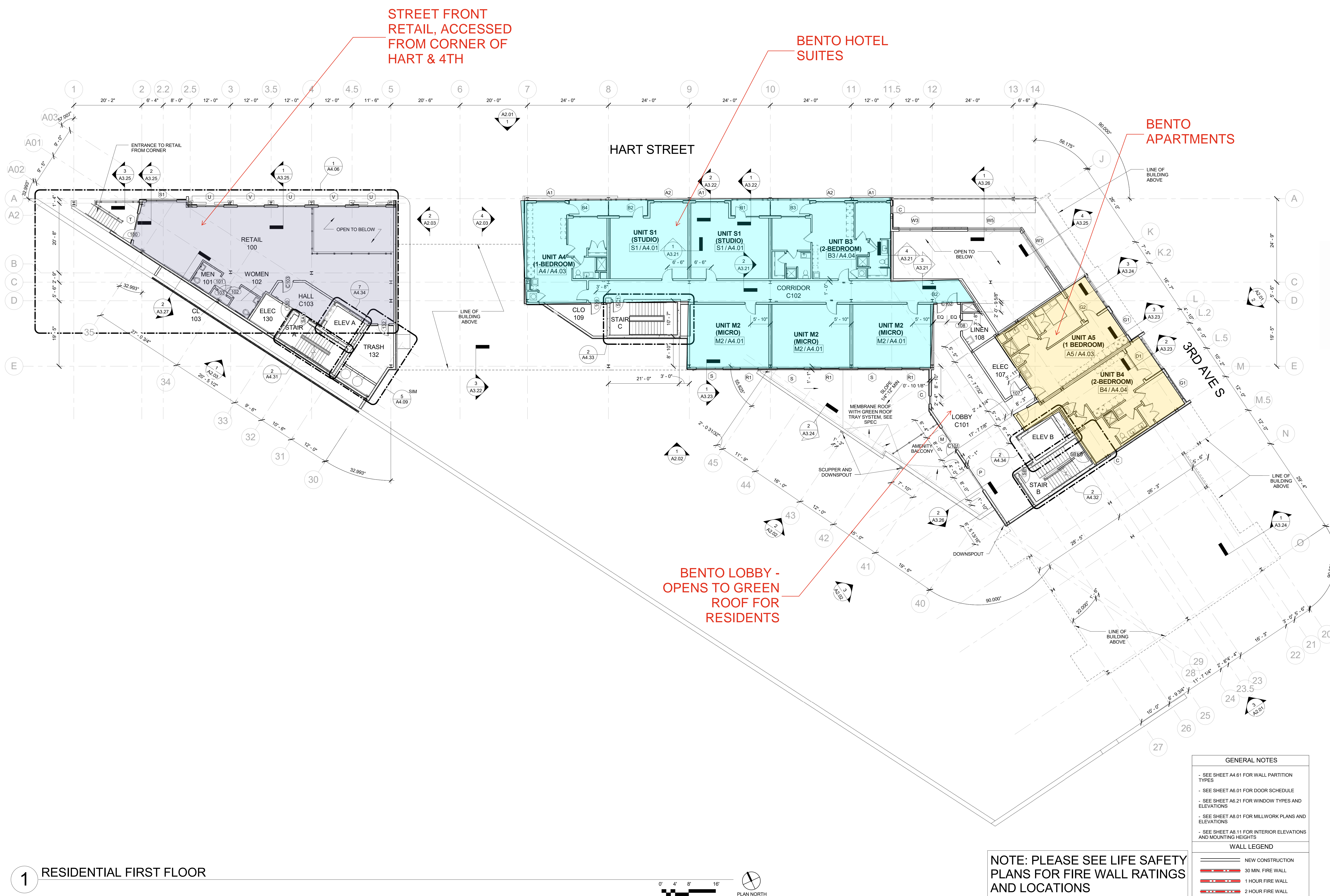


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RESIDENTIAL FIRST FLOOR

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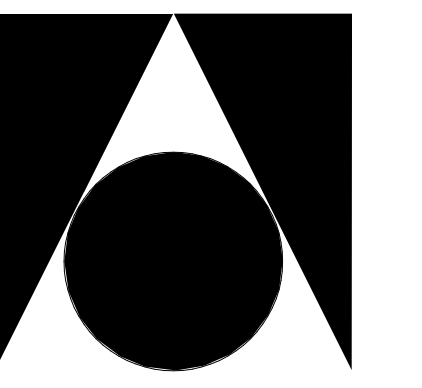


**1 RESIDENTIAL FIRST FLOOR**

**NOTE: PLEASE SEE LIFE SAFETY  
PLANS FOR FIRE WALL RATINGS  
AND LOCATIONS**

GENERAL NOTES	
-	SEE SHEET A4.61 FOR WALL PARTITION TYPES
-	SEE SHEET A6.01 FOR DOOR SCHEDULE
-	SEE SHEET A6.21 FOR WINDOW TYPES AND ELEVATIONS
-	SEE SHEET A8.01 FOR MILLWORK PLANS AND ELEVATIONS
-	SEE SHEET A8.11 FOR INTERIOR ELEVATIONS AND MOUNTING HEIGHTS
WALL LEGEND	
	NEW CONSTRUCTION
	30 MIN. FIRE WALL
	1 HOUR FIRE WALL
	2 HOUR FIRE WALL





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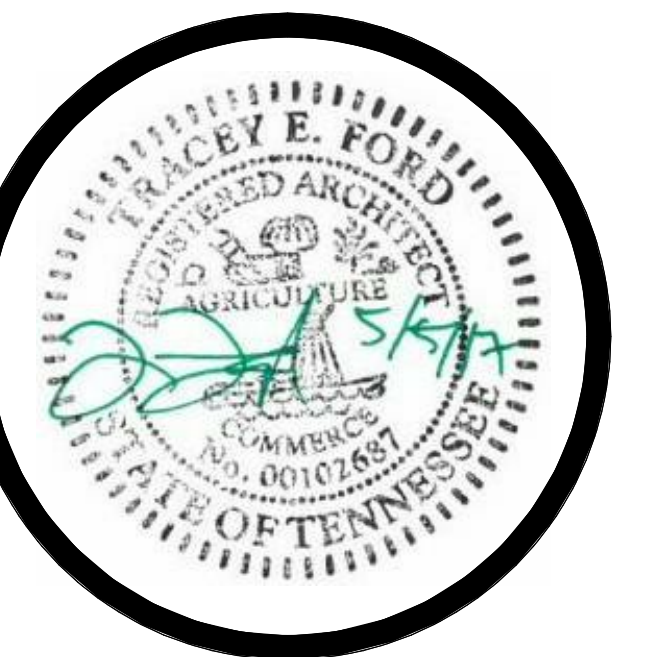
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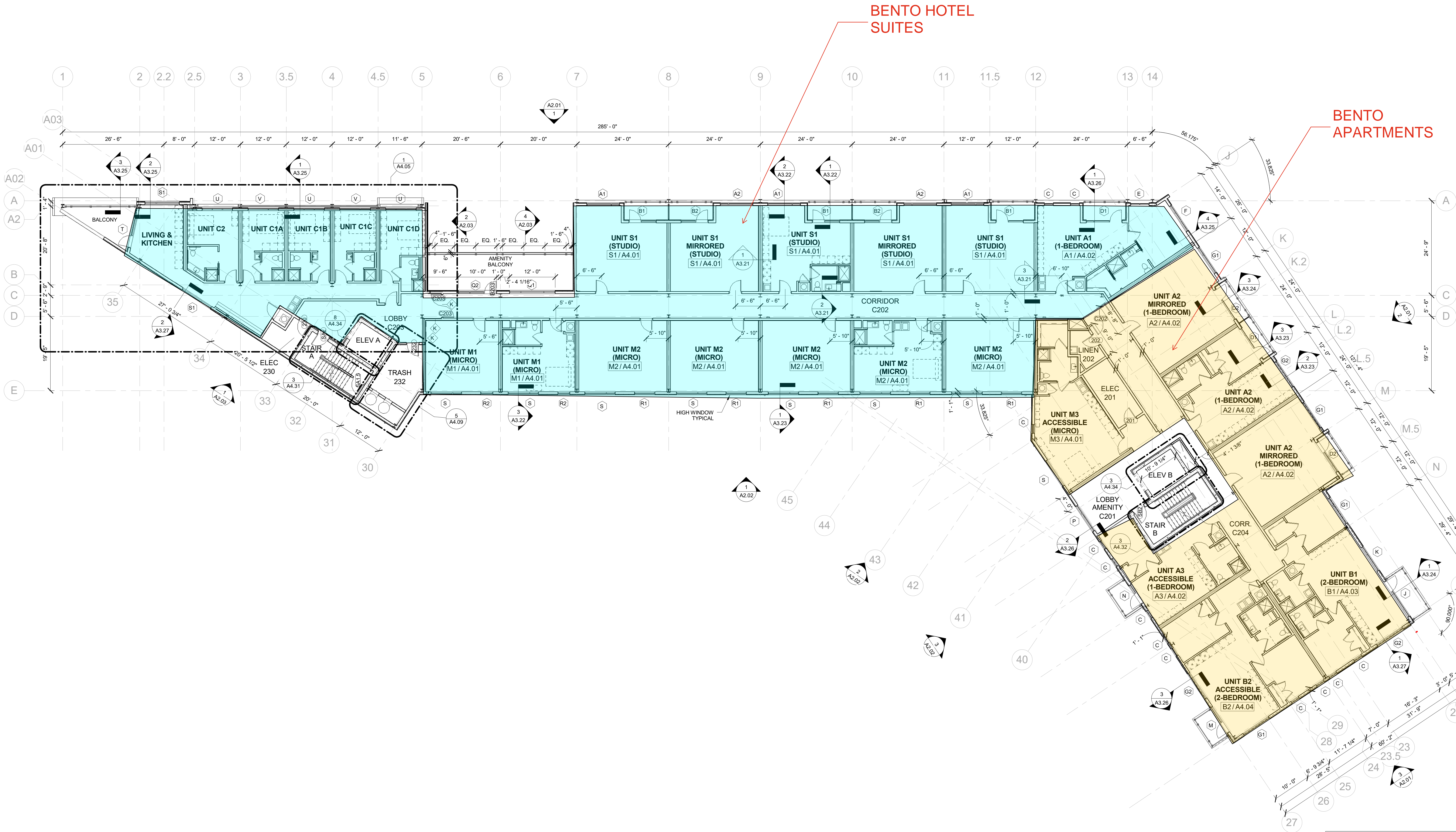
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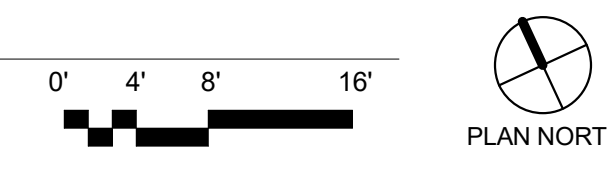
RESIDENTIAL FLOORS 2, 3 & 4

**A1.02**

016.006.00  
5 MAY 2017



**1 RESIDENTIAL FLOORS 2 & 4**



**NOTE: PLEASE SEE LIFE SAFETY  
PLANS FOR FIRE WALL RATINGS  
AND LOCATIONS**

GENERAL NOTES	
-	SEE SHEET A4.61 FOR WALL PARTITION TYPES
-	SEE SHEET A6.01 FOR DOOR SCHEDULE
-	SEE SHEET A6.21 FOR WINDOW TYPES AND ELEVATIONS
-	SEE SHEET A8.01 FOR MILLWORK PLANS AND ELEVATIONS
-	SEE SHEET A8.11 FOR INTERIOR ELEVATIONS AND MOUNTING HEIGHTS

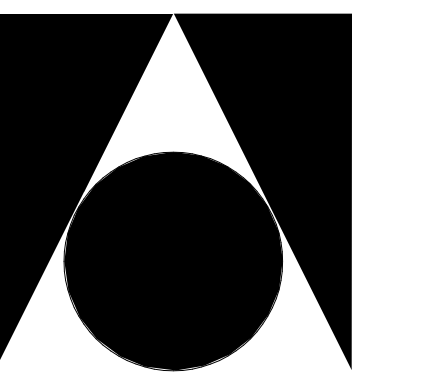
WALL LEGEND	
	NEW CONSTRUCTION
	30 MIN. FIRE WALL
	1 HOUR FIRE WALL
	2 HOUR FIRE WALL

NOTE:  
"TYPE A ACCESSIBLE" UNITS (C2, M3, A3 AND B2) TO BE LOCATED ON RESIDENTIAL 2ND FLOOR ONLY. ALL OTHER UNITS ON THIS FLOOR AND ALL OTHER FLOORS TO BE "TYPE B ACCESSIBLE". SHOWERS IN "TYPE A" UNITS ARE TO BE DEPRESSED (2") PER THRESHOLD DETAILS ON A8 SHEETS. SEE STRUCTURAL DRAWINGS AS WELL.









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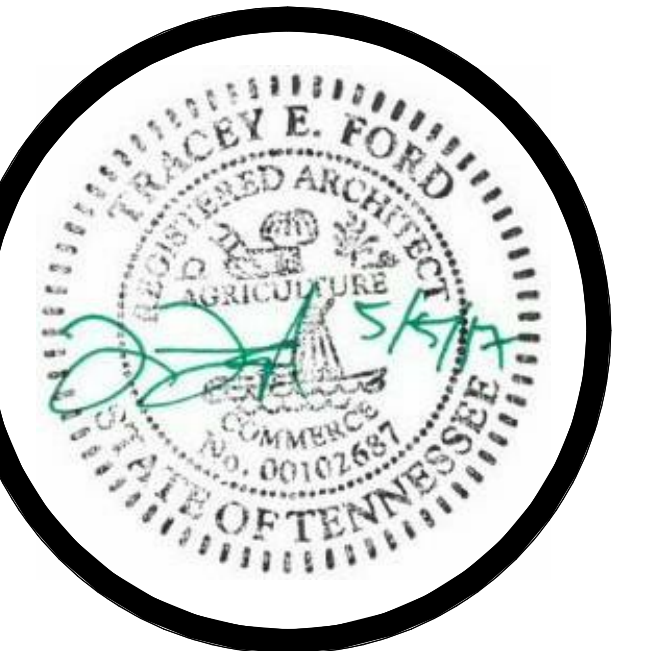
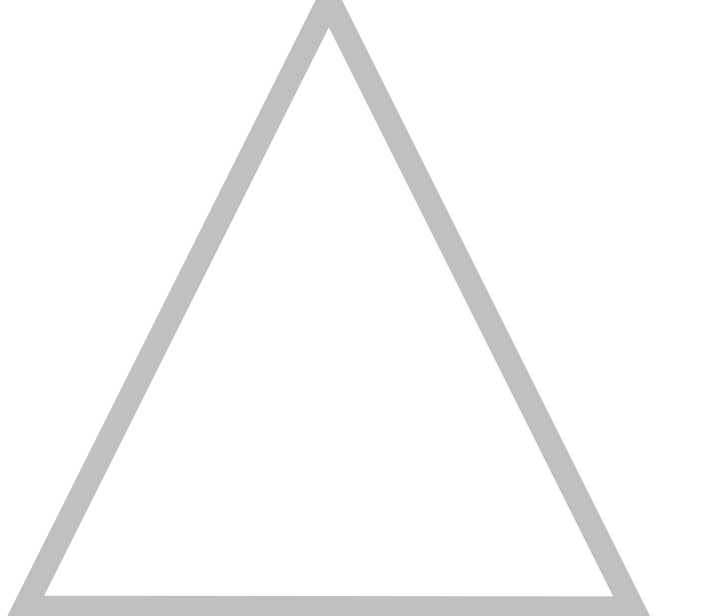
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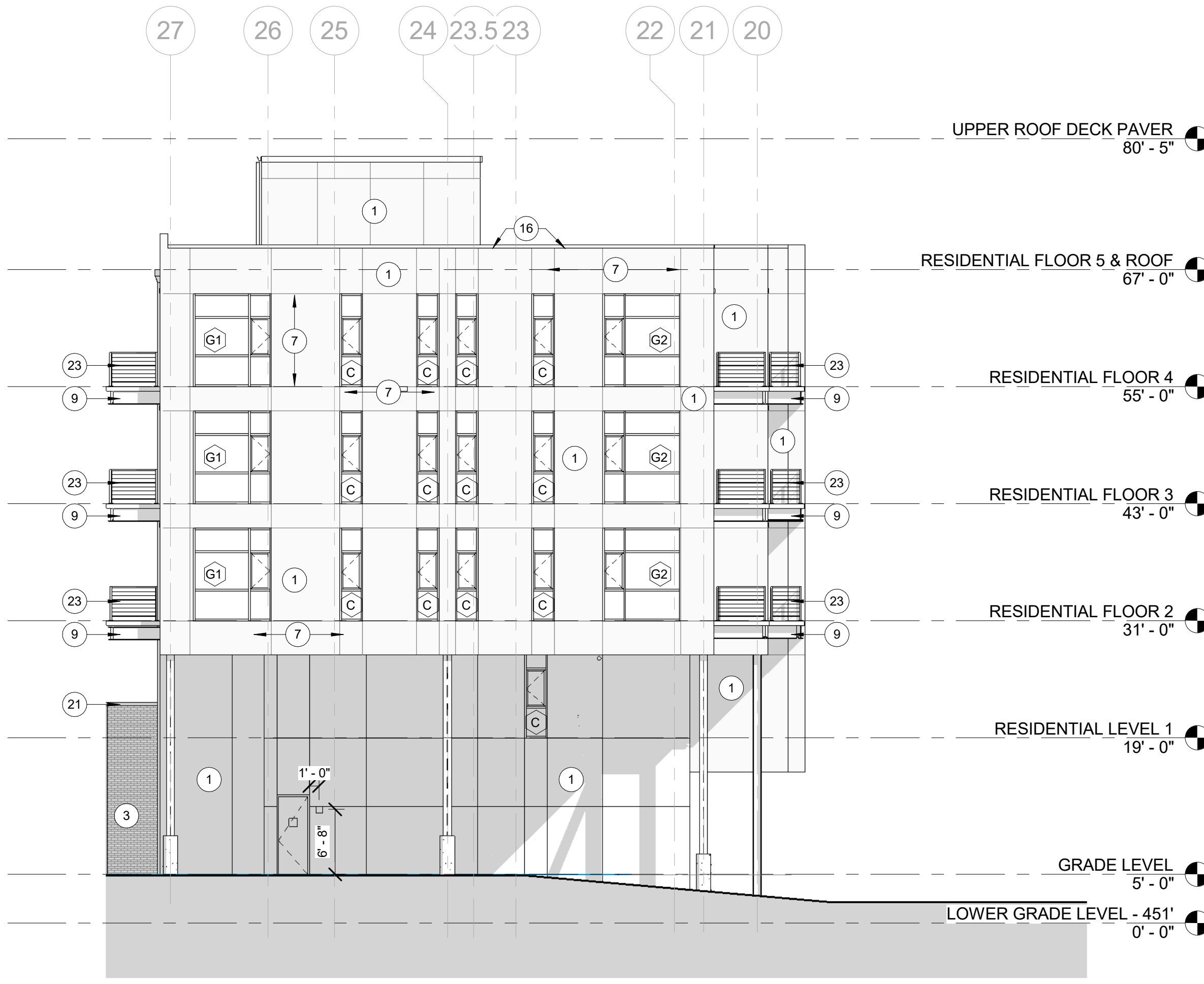


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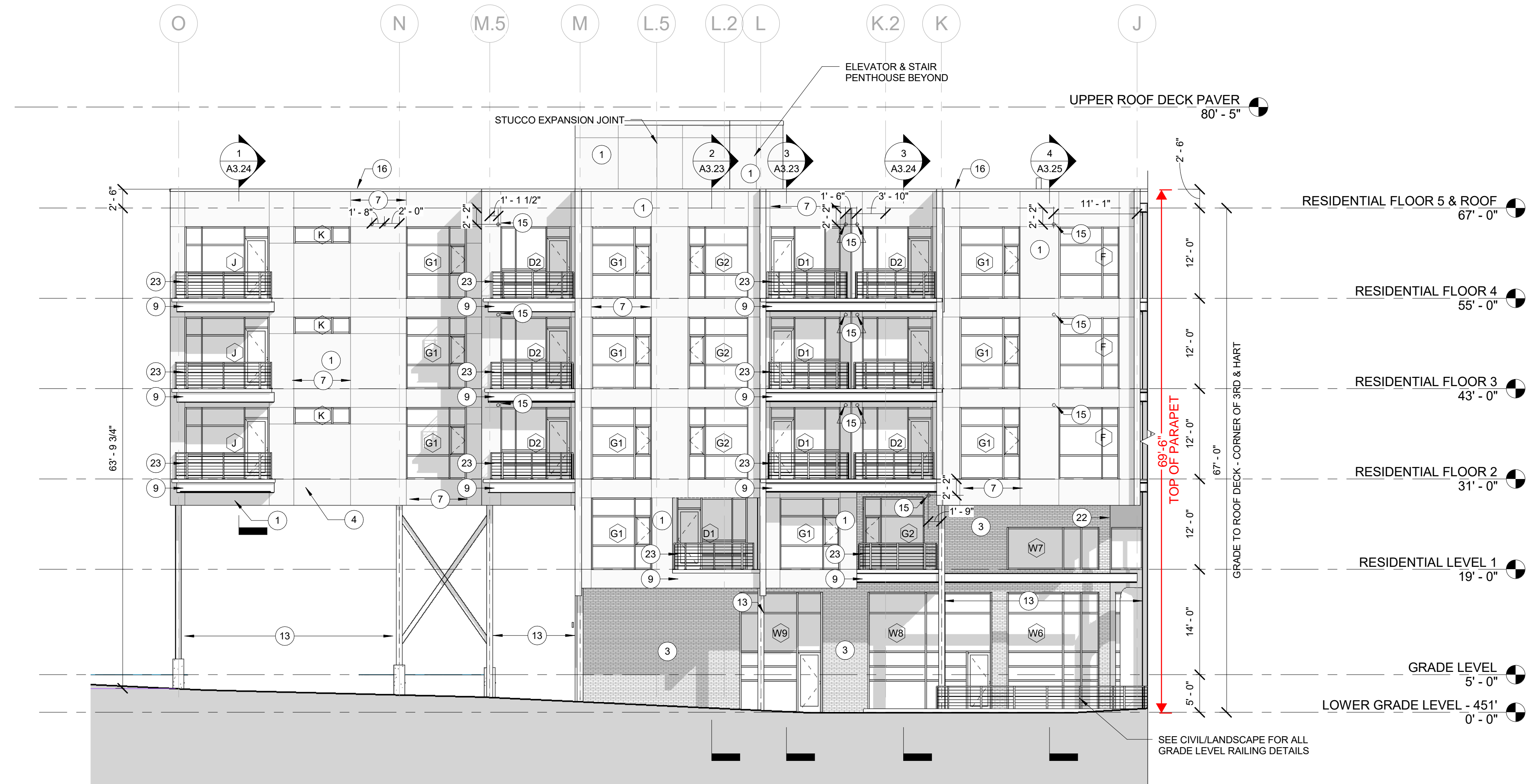
EXTERIOR ELEVATIONS

**A2.01**

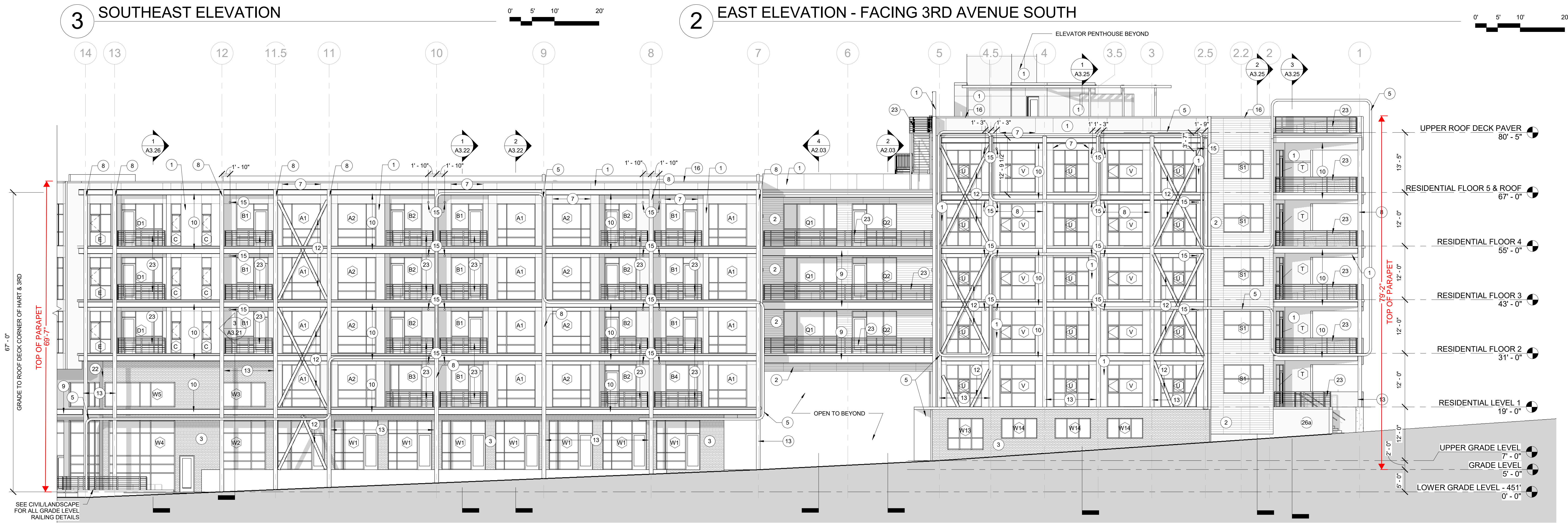
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**3** SOUTHEAST ELEVATION



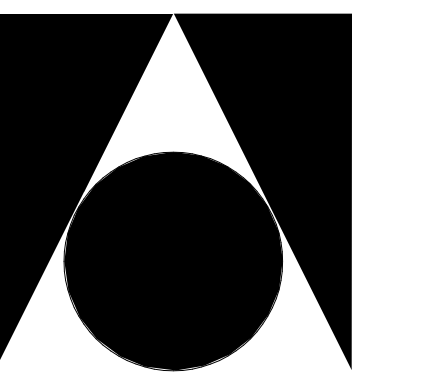
**2** EAST ELEVATION - FACING 3RD AVENUE SOUTH



**1** NORTH ELEVATION - FACING HART STREET

EXTERIOR FINISH KEYNOTES			
1	THREE COAT STUCCO ASSEMBLY WITH LIGHT TEXTURE, TOP COAT ACRYLIC (SHERWIN WILLIAMS 7005 - PURE WHITE), SEE SPEC/FINISH PLANS	6	PRE-FINISHED MTL. SOFFIT
2	FIBER CEMENT RAINSCREEN, OKO SKIN - RIEDER, (FINISH ANTHRACITE WITH TEXTURE/COLOR VARIATION) - SEE SPECS	7	STUCCO CONTROL JOINTS - ALIGN WITH WINDOWS UNLESS OTHERWISE NOTED
3	3/8\"x2 1/4\"x1 5/8\" CAROLINA CERAMICS, INDIGO BLACK, CHARCOAL OR BLACK MORTAR, THIRD RUNNING BOND, SPLIT TEXTURE WITH A SMOOTH TEXTURE COURSE EVERY 6 COURSES - SEE SPEC	8	PTD. STL. COLUMN (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
4	ALUMINUM STOREFRONT WINDOW SYSTEM - CLEAR ANODIZED FINISH	9	PTD. STL. BEAM AT BALCONY (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
5	METAL PANEL RIBBON ASSEMBLY - DRAWINGS BY OTHERS	10	ARCHITECTURAL (NON-STRUCTURAL) PTD. STL. CHANNEL (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
6	PRE-FINISHED MTL. SOFFIT	11	STEEL BENT PLATE AT EDGE OF SLAB - SEE SECTIONS / STRUCT. - PAINTED (PT-4)
7	STUCCO CONTROL JOINTS - ALIGN WITH WINDOWS UNLESS OTHERWISE NOTED	12	ARCHITECTURAL (NON-STRUCTURAL) STEEL CROSS BRACING (PT-4), SEE STRUCT/SPEC
8	PTD. STL. COLUMN (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS	13	EXPOSED CONCRETE COLUMN - SEE SPEC FOR FINISH
9	PTD. STL. BEAM AT BALCONY (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS	14	EXTERIOR LIGHT FIXTURE - SEE ELEC/ FINISH PLANS
10	ARCHITECTURAL (NON-STRUCTURAL) PTD. STL. CHANNEL (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS	15	ANODIZED VENT CAP, SEE MECH. DRAWINGS
11	STEEL BENT PLATE AT EDGE OF SLAB - SEE SECTIONS / STRUCT. - PAINTED (PT-4)	16	MTL. COPING, SEE SPEC. COLOR: BLACK
12	ARCHITECTURAL (NON-STRUCTURAL) STEEL CROSS BRACING (PT-4), SEE STRUCT/SPEC	17	CAST IN PLACE CONCRETE WALL, SEE SPEC FOR FINISH
13	EXPOSED CONCRETE COLUMN - SEE SPEC FOR FINISH	18	SCUPPER AND DOWNSPOUT, SEE ELEV. SEE SPEC - COLOR: WHITE AT STUCCO WALLS; BLACK AT REMAINING WALLS
14	EXTERIOR LIGHT FIXTURE - SEE ELEC/ FINISH PLANS	19	DOWNSPOUT, MATCH ADJACENT SURFACE COLOR
15	ANODIZED VENT CAP, SEE MECH. DRAWINGS	20	OVERFLOW SCUPPER
16	MTL. COPING, SEE SPEC. COLOR: BLACK	21	MASONRY CONTROL JOINT
17	CAST IN PLACE CONCRETE WALL, SEE SPEC FOR FINISH	22	MASONRY WRAPS CORNER
18	SCUPPER AND DOWNSPOUT, SEE ELEV. SEE SPEC - COLOR: WHITE AT STUCCO WALLS; BLACK AT REMAINING WALLS	23	METAL GUARDRAIL, SEE SPEC
19	DOWNSPOUT, MATCH ADJACENT SURFACE COLOR	24	STUCCO WRAPS CORNER
20	OVERFLOW SCUPPER	25	SIGNAGE, NOT IN CONTRACT
21	MASONRY CONTROL JOINT	26a	EXPOSED CONCRETE WALL, SEE SPEC FOR FINISH
22	MASONRY WRAPS CORNER	26	OBSCURED GLASS AT WINDOW FOR PRIVACY AT TOILET ROOMS, SEE SPEC FOR DETAILS
23	METAL GUARDRAIL, SEE SPEC	27	MECHANICAL EXHAUST GRILL - ALIGN WITH WINDOW
24	STUCCO WRAPS CORNER		





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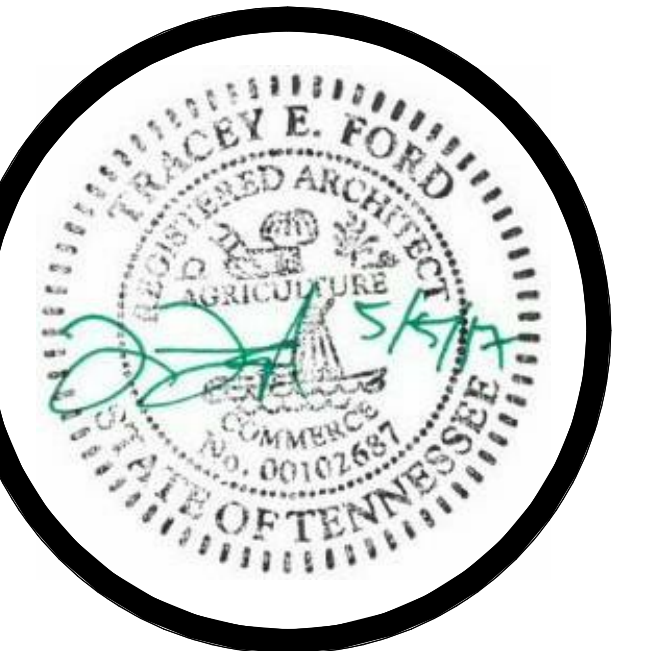
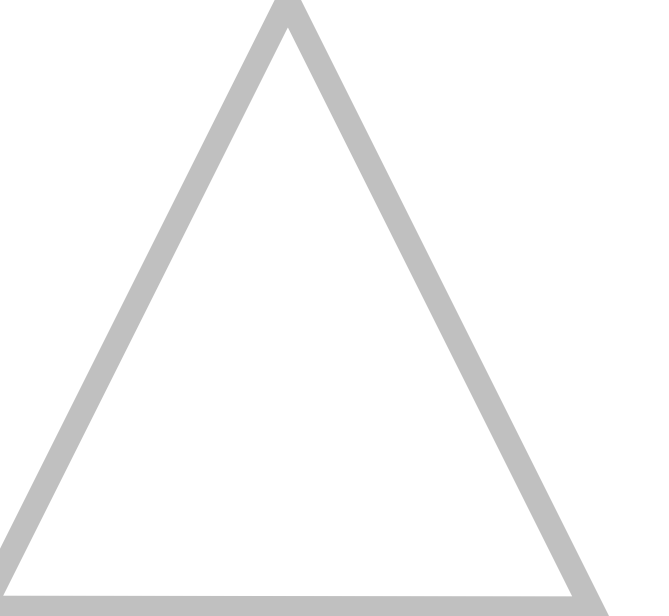
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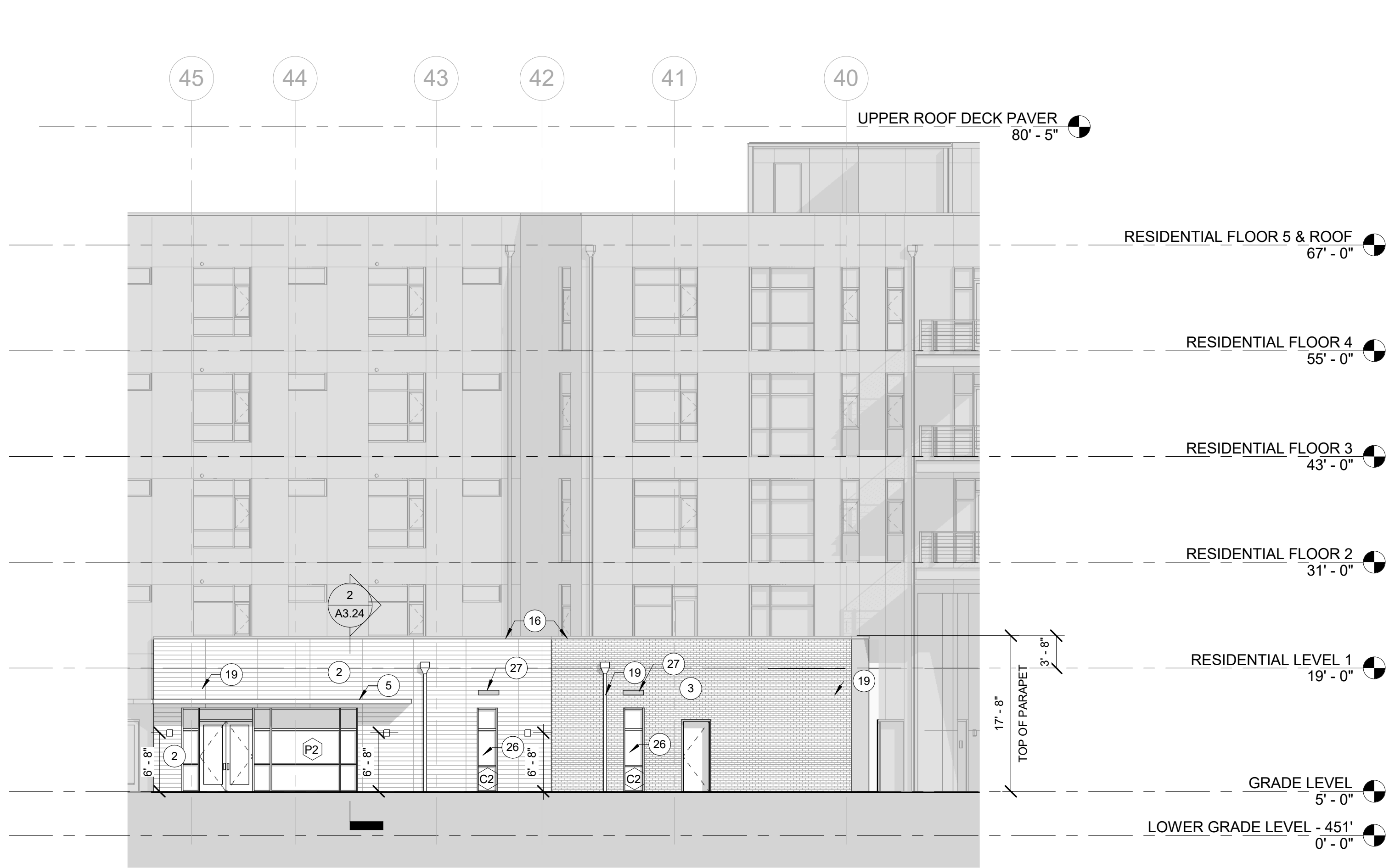


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EXTERIOR ELEVATIONS

**A2.02**

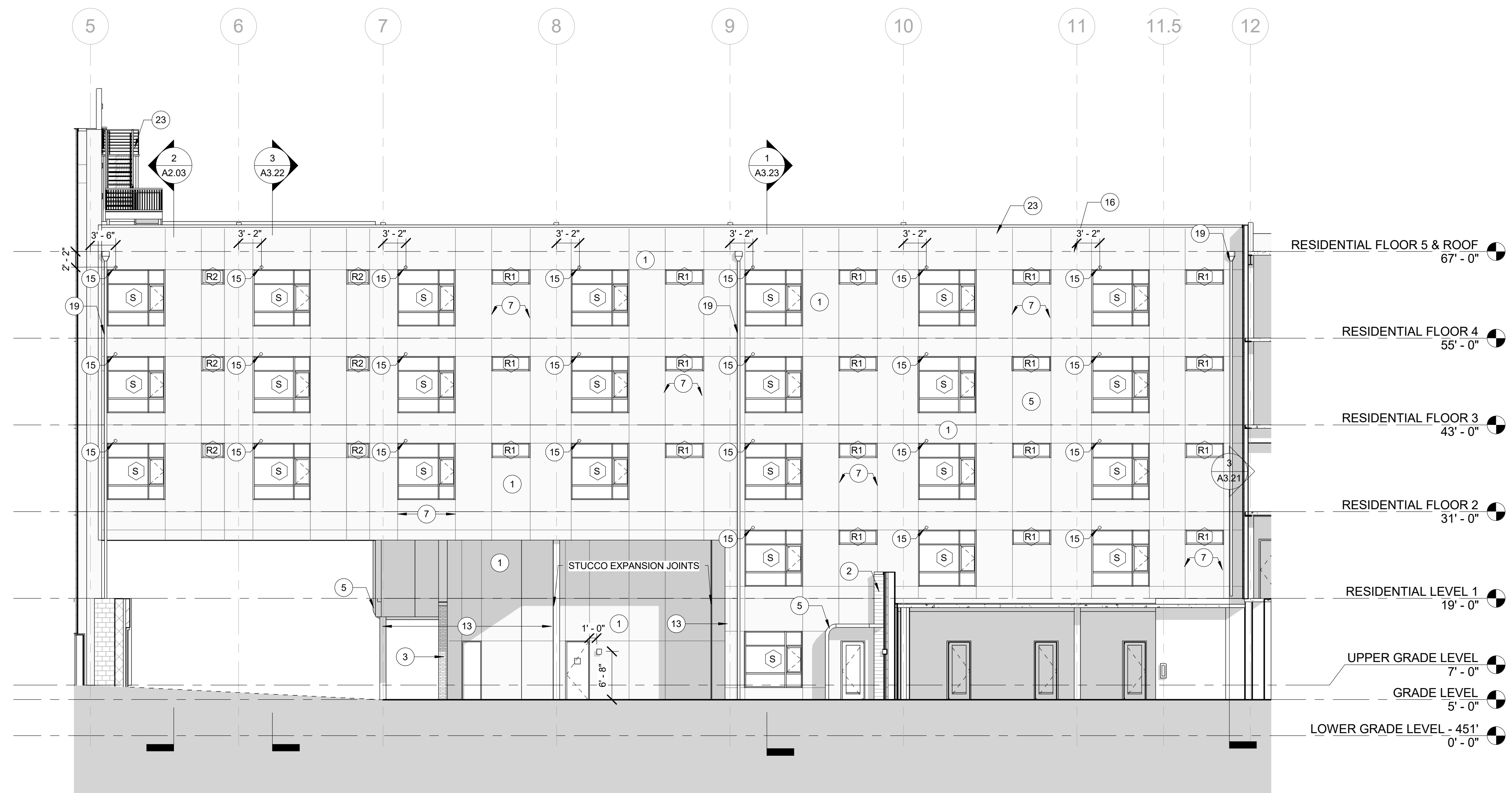
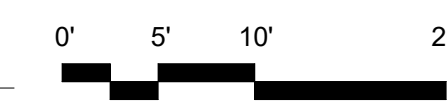
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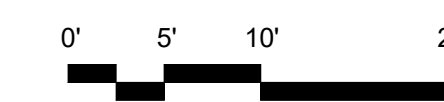
**2** COURTYARD ELEVATION - SOUTH WEST



**3** COURTYARD ELEVATION - WEST

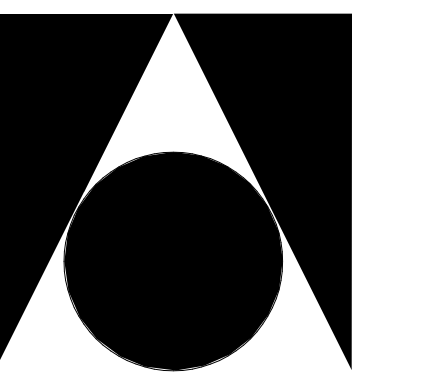


**1** SOUTH ELEVATION



EXTERIOR FINISH KEYNOTES			
1	THREE COAT STUCCO ASSEMBLY WITH LIGHT TEXTURE, TOP COAT ACRYLIC (SHERWIN WILLIAMS 7005 - PURE WHITE). SEE SPECS/FINISH PLANS.	6	PRE-FINISHED MTL. SOFFIT
2	FIBER CEMENT RAINSCREEN, OKO SKIN - RIEDER. (FINISH-ANTHRACITE WITH TEXTURE/COLOR VARIATION) - SEE SPECS	7	STUCCO CONTROL JOINTS - ALIGN WITH WINDOWS UNLESS OTHERWISE NOTED
3	3 5/8"X2 1/4"X11 5/8" CAROLINA CERAMICS, INDIGO BLACK, CHARCOAL OR BLACK MORTAR; THIRD RUNNING BOND, SPLIT TEXTURE WITH A SMOOTH TEXTURE COURSE EVERY 6 COURSES - SEE SPEC	8	PTD. STL. COLUMN (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
4	ALUMINUM STOREFRONT WINDOW SYSTEM - CLEAR ANODIZED FINISH	9	PTD. STL. BEAM AT BALCONY (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
5	METAL PANEL RIBBON ASSEMBLY - DRAWINGS BY OTHERS	10	ARCHITECTURAL (NON-STRUCTURAL) PTD. STL. CHANNEL (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS
		11	STEEL BENT PLATE AT EDGE OF SLAB - SEE SECTIONS / STRUCT. - PAINTED (PT-4)
		12	ARCHITECTURAL (NON-STRUCTURAL) STEEL CROSS BRACING (PT-4). SEE STRUCT/SPEC
		13	EXPOSED CONCRETE COLUMN - SEE SPEC FOR FINISH
		14	EXTERIOR LIGHT FIXTURE - SEE ELEC/ FINISH PLANS
		15	ANODIZED VENT CAP, SEE MECH. DRAWINGS
		16	MTL. COPING, SEE SPEC. COLOR: BLACK
		17	CAST IN PLACE CONCRETE WALL, SEE SPEC FOR FINISH
		18	SCUPPER AND DOWNSPOUT, SEE ELEV. SEE SPEC - COLOR: WHITE AT STUCCO WALLS; BLACK AT REMAINING WALLS
		19	DOWNSPOUT, MATCH ADJACENT SURFACE COLOR
		20	OVERFLOW SCUPPER
		21	MASONRY CONTROL JOINT
		22	MASONRY WRAPS CORNER
		23	METAL GUARDRAIL, SEE SPEC
		24	STUCCO WRAPS CORNER
		25	SIGNAGE, NOT IN CONTRACT
		26a	EXPOSED CONCRETE WALL, SEE SPEC FOR FINISH
		26	OBSCURED GLASS AT WINDOW FOR PRIVACY AT TOILET ROOMS, SEE SPEC FOR DETAILS
		27	MECHANICAL EXHAUST GRILL - ALIGN WITH WINDOW





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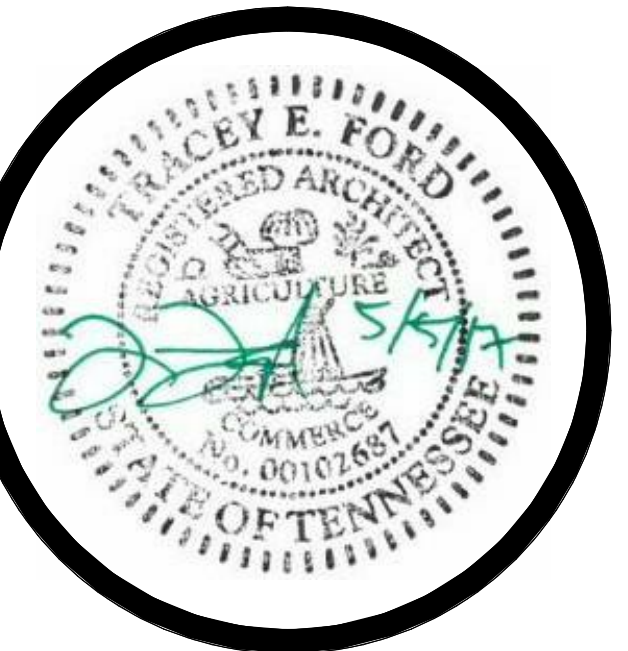
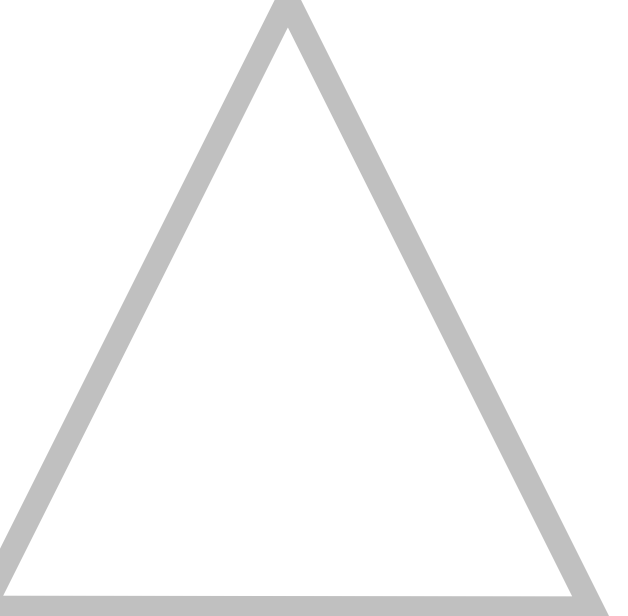
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REVISIONS		
DELTA	ISSUE	DATE

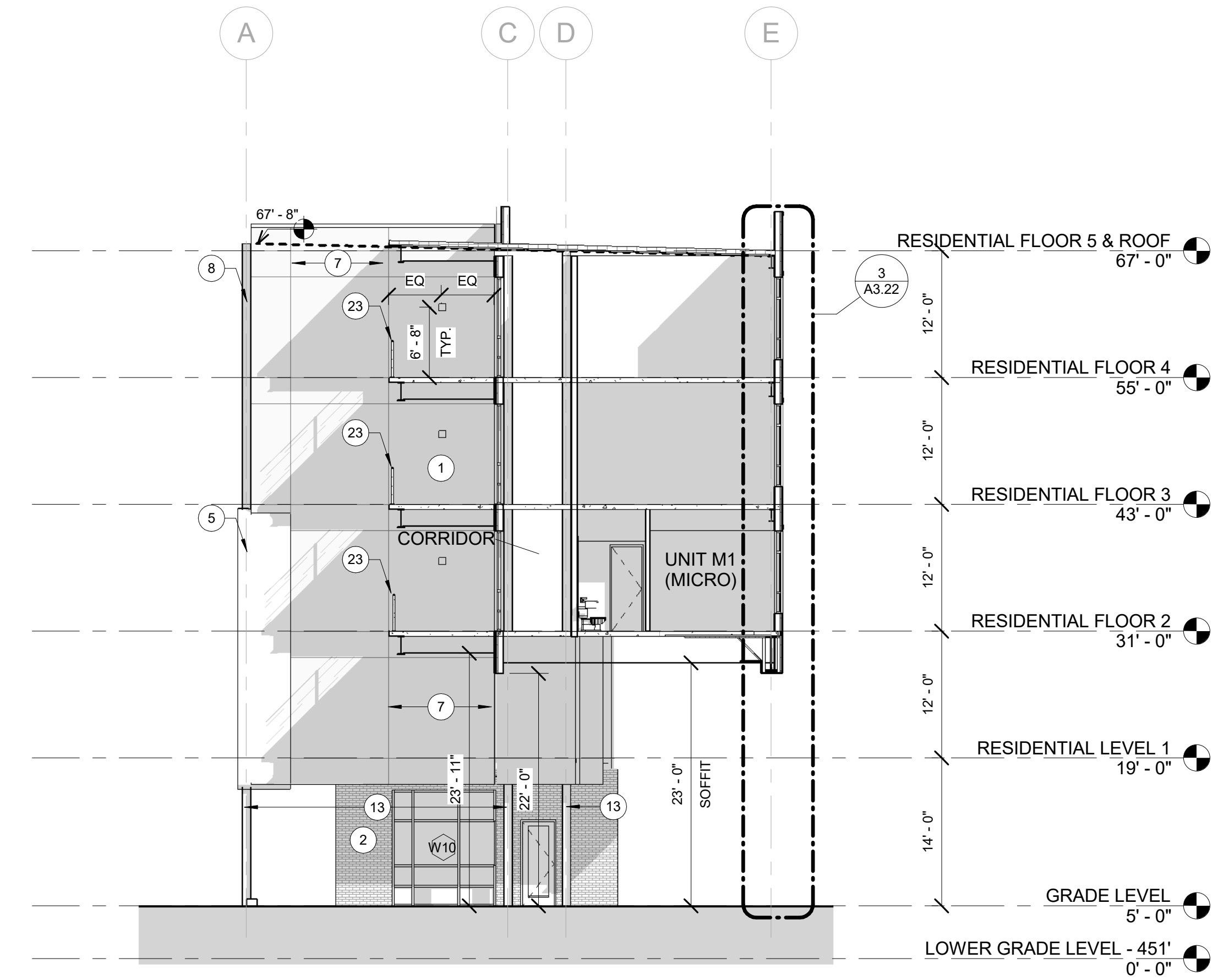


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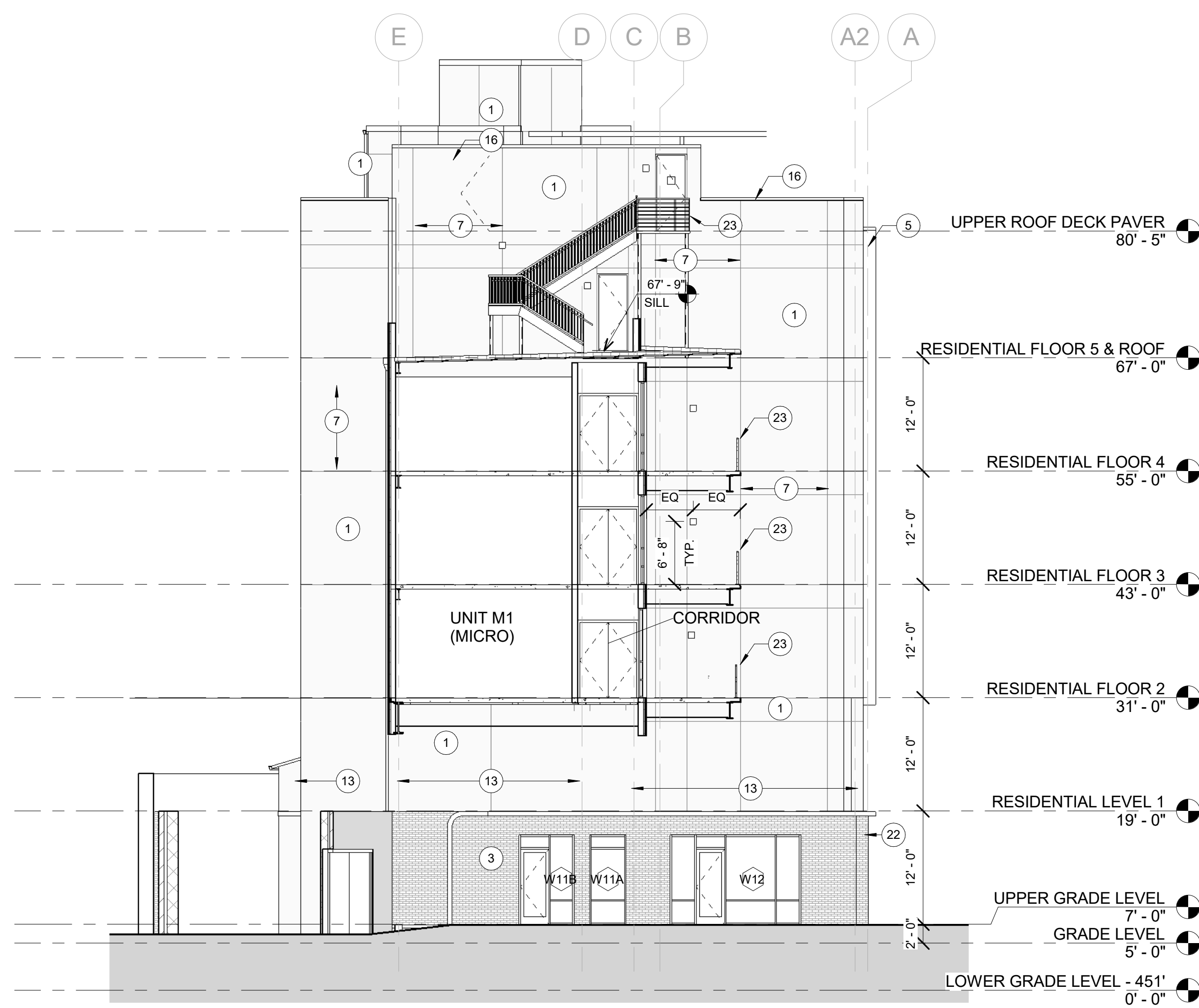
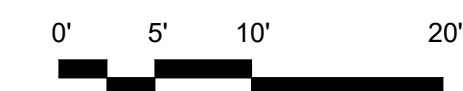
EXTERIOR ELEVATIONS

**A2.03**

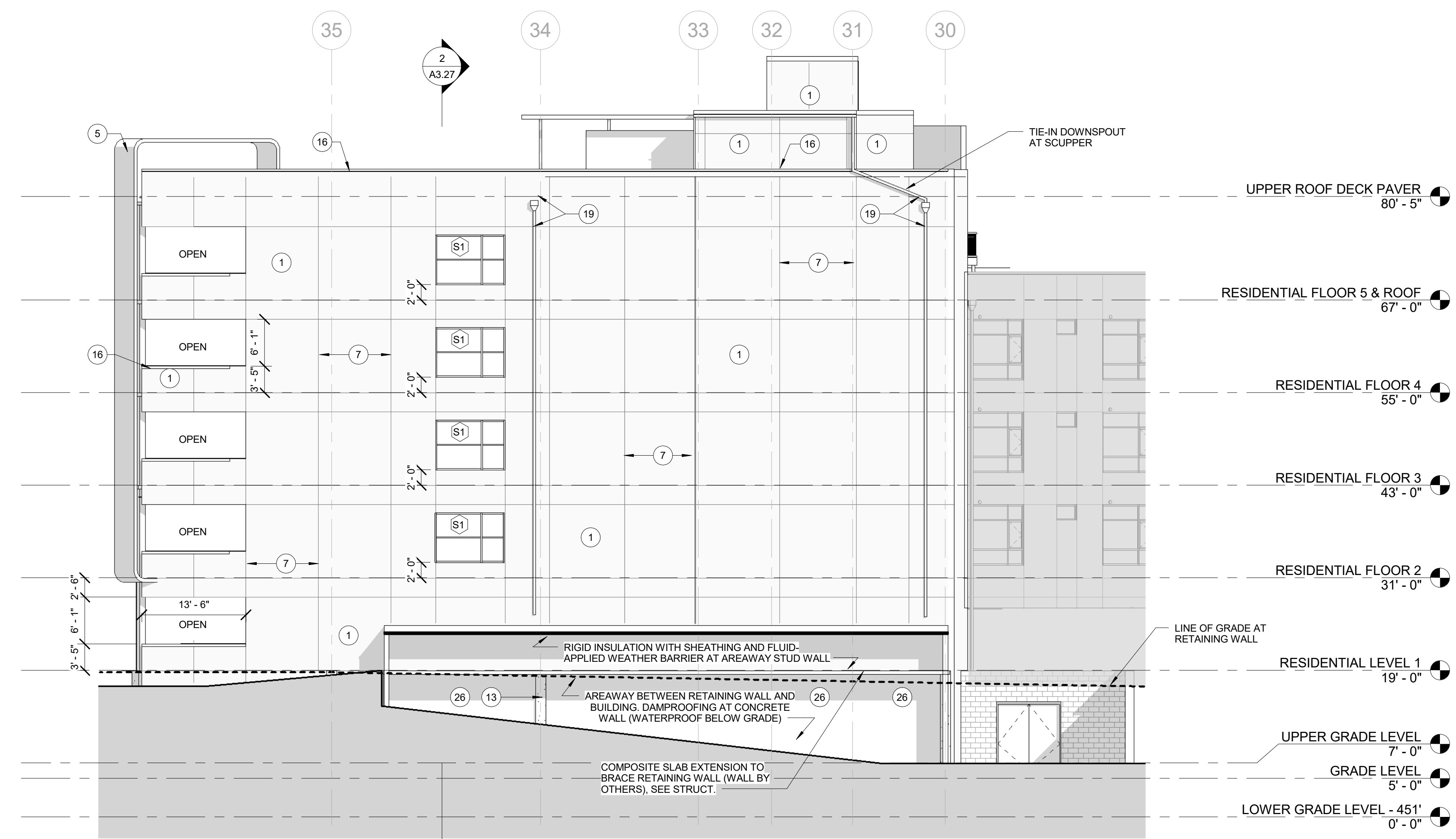
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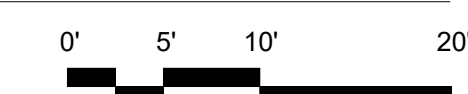
**4 SECTION - HART STREET ENTRANCE EAST**



**2 SECTION - HART STREET ENTRANCE WEST**



**1 SOUTH ELEVATION - AT CSX**



EXTERIOR FINISH KEYNOTES

- |  |  |   |   |
|--|--|---|---|
| 1 THREE COAT STUCCO ASSEMBLY WITH LIGHT TEXTURE. TOP COAT ACRYLIC (SHERWIN WILLIAMS 7005 - PURE WHITE). SEE SPECS/FINISH PLANS   | 6 PRE-FINISHED MTL. SOFFIT   | 13 EXPOSED CONCRETE COLUMN - SEE SPEC FOR FINISH  | 20 OVERFLOW SCUPPER   |
| 2 FIBER CEMENT RAINSCREEN, OKO SKIN - RIEDER. (FINISH-ANTHRACITE WITH TEXTURE/COLOR VARIATION) - SEE SPECS   | 7 STUCCO CONTROL JOINTS - ALIGN WITH WINDOWS UNLESS OTHERWISE NOTED                              | 14 EXTERIOR LIGHT FIXTURE - SEE ELEC/FINISH PLANS   | 21 MASONRY CONTROL JOINT  |
| 3 3/8"x2 1/4"x11 5/8" CAROLINA CERAMICS, INDIGO BLACK, CHARCOAL OR BLACK MORTAR; THIRD RUNNING BOND. SPLIT TEXTURE WITH A SMOOTH TEXTURE COURSE EVERY 6 COURSES - SEE SPEC | 8 PTD. STL. COLUMN (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS                                  | 15 ANODIZED VENT CAP. SEE MECH. DRAWINGS  | 22 MASONRY WRAPS CORNER   |
| 4 ALUMINUM STOREFRONT WINDOW SYSTEM - CLEAR ANODIZED FINISH  | 9 PTD. STL. BEAM AT BALCONY (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS                         | 16 MTL COPING. SEE SPEC. COLOR: BLACK   | 23 STUCCO WRAPS CORNER  |
| 5 METAL PANEL RIBBON ASSEMBLY - DRAWINGS BY OTHERS   | 10 ARCHITECTURAL (NON-STRUCTURAL) PTD. STL. CHANNEL (PT-4) - SEE STRUCTURAL & FINISH PLANS/SPECS | 17 CAST IN PLACE CONCRETE WALL. SEE SPEC FOR FINISH   | 24 STUCCO WRAPS CORNER  |
|  | 11 STEEL BENT PLATE AT EDGE OF SLAB - SEE SECTIONS / STRUCT. - PAINTED (PT-4)                    | 18 SCUPPER AND DOWNSPOUT. SEE ELEV. SEE SPEC - COLOR: WHITE AT STUCCO WALLS; BLACK AT REMAINING WALLS | 25 SIGNAGE, NOT IN CONTRACT   |
|  | 12 ARCHITECTURAL (NON-STRUCTURAL) STEEL CROSS BRACING (PT-4). SEE STRUCT/SPEC                    | 19 DOWNSPOUT, MATCH ADJACENT SURFACE COLOR  | 26 EXPOSED CONCRETE WALL. SEE SPEC FOR FINISH                                 |
|  |  |   | 27 OBSERVED GLASS AT WINDOW FOR PRIVACY AT TOILET ROOMS. SEE SPEC FOR DETAILS |
|  |  |   | 28 MECHANICAL EXHAUST GRILL - ALIGN WITH WINDOW                               |