

EROSION CONTROL & GRADING NOTES

- 1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHING TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHER WISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- 3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TCP-14.
- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING THE PRECONSTRUCTION MEETING. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND/OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPCS PLAN.
- 16) EROSION CONTROL MEASURES MUST REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED. ONCE STABILIZATION IS ACHIEVED, ALL EROSION CONTROL MEASURES SHALL BE COMPLETELY REMOVED PRIOR TO AS-BUILT APPROVAL.

PUBLIC WORKS NOTES

- 1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- 2) PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- 3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- 4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- 5) ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.

FIRE HYDRANT FLOW RESULTS:

FORTHCOMING

WATER & SEWER NOTES

- 1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- 3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- 5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 6) ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
- 7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
- 8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

LANDSCAPE NOTES

- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- 2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- 3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- 4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- 5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- 6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
- 7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- 10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- 11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- 12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- 13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- 14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF, BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.
- 15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
- 16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.
- 17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

GENERAL PLAN CONSISTENCY NOTE

THE SPECIFIC PLAN DISTRICT PROPOSED HEREIN IS LOCATED WITHIN SUBAREA #7 THE WEST NASHVILLE COMMUNITY PLAN. THE SPECIFIED LAND USE POLICY FOR THIS SITE IS A TRANSECT 4 (T4) URBAN NEIGHBORHOOD EVOLVING POLICY (OR T4 NE). THE PRIMARY GOALS OF THE T4 NE POLICY ARE TO CREATE AND ENHANCE URBAN NEIGHBORHOODS WITH HIGHER DENSITY RESIDENTIAL DEVELOPMENT (BETWEEN 6-40 UNITS PER ACRE) WHILE PROVIDING ADDITIONAL HOUSING OPTIONS AND MAINTAINING THE EXISTING CHARACTER OF THE SURROUNDING COMMUNITY. OPPORTUNITIES FOR IMPROVED PEDESTRIAN, BICYCLE AND VEHICULAR CONNECTIVITY ARE IMPORTANT AS WELL.

AS PROPOSED, THIS SPECIFIC PLAN DISTRICT ENHANCES THE STREETScape BOTH TREVOR STREET AND 35TH AVENUE NORTH BY PROVIDE SHALLOW SETBACKS, REAR LOADED GARAGES, STREET PARKING, STREET TREES AND NEW PUBLIC SIDEWALKS. THIS SPECIFIC PLAN DISTRICT ALSO PROVIDES A HOUSING TYPE NOT READILY AVAILABLE, BUT IN DEMAND, FOR THIS NEIGHBORHOOD. THE MIXTURE OF RESIDENTIAL USES WILL PROVIDE HOUSING OPTIONS WHICH WILL ALL SHARE THE SAME AMENITIES.

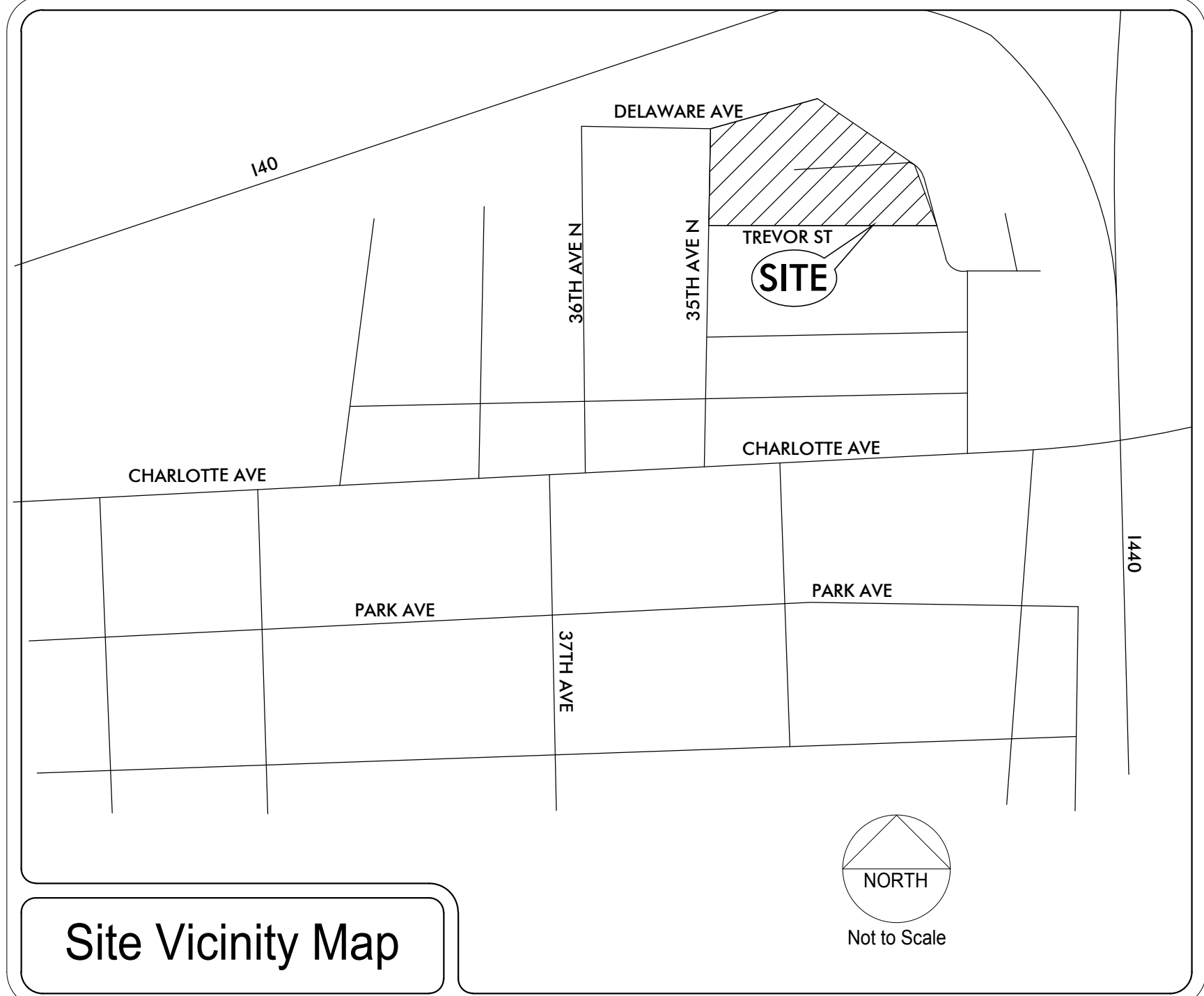
LASTLY, THE DENSITY PROPOSED (26 UNITS PER ACRE) FITS WITHIN THE T4 NE POLICIES DEFINED RANGE.

STANDARD SP NOTES

- 1) THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A 123 UNIT MULTIFAMILY RESIDENTIAL DEVELOPMENT AS SHOWN.
- 2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 3) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0214F", DATED: APRIL 20, 2001.
- 4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- 5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- 6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
- 8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- 9) INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- 10) SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTER SHOWN ON THIS PLAN.
- 11) THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008-328 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
- 12) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- 13) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- 14) DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- 15) A MINIMUM OF SIX (6) UNITS WITHIN THE MULTI-FAMILY STRUCTURE (BUILDING TYPE "E") SHALL BE DESIGNATED AND RESTRICTED TO AFFORDABLE HOUSING UNITS AS DEFINED BY METRO GUIDELINES AT THE TIME OF PERMIT.

ARCHITECTURAL NOTES

- BUILDING ELEVATIONS FOR ALL STREET FACADES SHALL BE PROVIDED WITH THE FINAL SITE PLAN. THE FOLLOWING STANDARDS SHALL BE MET:
 - A. BUILDING FACADES FOR SINGLE FAMILY DETACHED FRONTING A STREET AND COURTYARD SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
 - B. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATION OF 2:1 OR GREATER. SQUARE WINDOWS AND HORIZONTAL TRANSOM WINDOWS MAY BE PERMITTED IF APPROVED AS PART OF THE ELEVATIONS TO BE PROVIDED WITH THE FINAL SP.
 - C. EIFS AND VINYL SIDING SHALL BE PROHIBITED.
 - D. FINISHED GROUND FLOORS AND PORCHES FOR SINGLE FAMILY DETACHED SHALL BE ELEVATED A MINIMUM OF 18 INCHES TO A MAXIMUM OF 30 INCHES FROM THE ABUTTING AVERAGE GROUND ELEVATION.
 - E. FRONT PORCHES FOR UNITS SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH FOR SINGLE FAMILY DETACHED.



Site Vicinity Map

SPECIFIC PLAN DEVELOPMENT SUMMARY

TOTAL AREA	4.75 ACRES OR 207,126.4 SQUARE FEET
USE	MULTIFAMILY
PROPERTY ZONING	R6
SURROUNDING ZONING	R6, OR20
MINIMUM LOT SIZE	NOT APPLICABLE
NUMBER OF RESIDENTIAL UNITS/DENSITY	123 TOTAL UNITS (25.9 UN/AC)
FAR	2.00 MAXIMUM/ 1.4 PROPOSED
ISR	0.80 MAXIMUM/ 71% PROPOSED
STREET YARD SETBACK:	10' MEASURED FROM WEST, SOUTH, EAST ROW 5' MEASURED FROM NORTH ROW
HEIGHT STANDARDS	TOWNHOMES: 3 STORIES MAXIMUM (40' MEASURED TO ROOF PITCH) BUILDING A: 3 STORIES BUILDING B: 3 STORIES BUILDING C: 3 STORIES BUILDING D: 3 STORIES BUILDING E: 4 STORIES BUILDING F: 3 STORIES

PARKING AND ACCESS

RAMP LOCATION AND NUMBER	UNIT ACCESS VIA DELAWARE AVE & TREVOR ST
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	±40' EAST
DISTANCE TO INTERSECTION	SITE IS LOCATED AT AN INTERSECTION
REQUIRED PARKING	203 REQUIRED (SEE BELOW)
PARKING PROPOSED	17 ONSITE SURFACE PARKING 122 COVERED STALLS 69 STRUCTURED PARKING STALLS 25-8'x23', PARALLEL PARKING STALLS = 233 TOTAL STALLS

PARKING REQUIREMENTS (UZO)	
62 MULTIFAMILY	
25 (1) BEDROOM= 25 STALLS REQUIRED	
37 (2) BEDROOM= 56 STALLS REQUIRED	
61 SINGLE & TWO FAMILY @ 2 STALL/UNIT = 122 STALLS	
203 REQUIRED	

Property Information
Trevor St, Between 33rd & 35th Ave, N.
Nashville, Tennessee 37209
4.75 Total Acres
Council District 21 (Ed Kindall)

Owners of Record
Hill 33, LLC
5644 Franklin Pike Cir
Brentwood, Tennessee 37027

Developer
Ardavan Afrakhteh
Landsouth TN
798 Old Hickory Blvd.
Brentwood, TN 37027
865.310.0896

Civil Engineer
Dale & Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Michael Garrigan, PE
Phone: 615.297.5166
Email: michael@daleandassociates.net

Sheet Schedule

- 1 C1.0 Notes & Project Standards
- 2 C2.0 Existing Conditions
- 3 C3.0 Layout & Landscape Plans
- 4 C4.0 Grading & Utility Plans

Notes & Project Standards

Dale & Associates
Consulting Civil Engineering
Land Planning & Zoning
Landscape Architecture
Surveying

MPC Case Number
2016SP-004-001

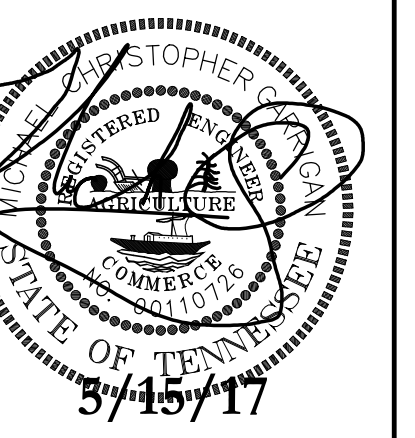
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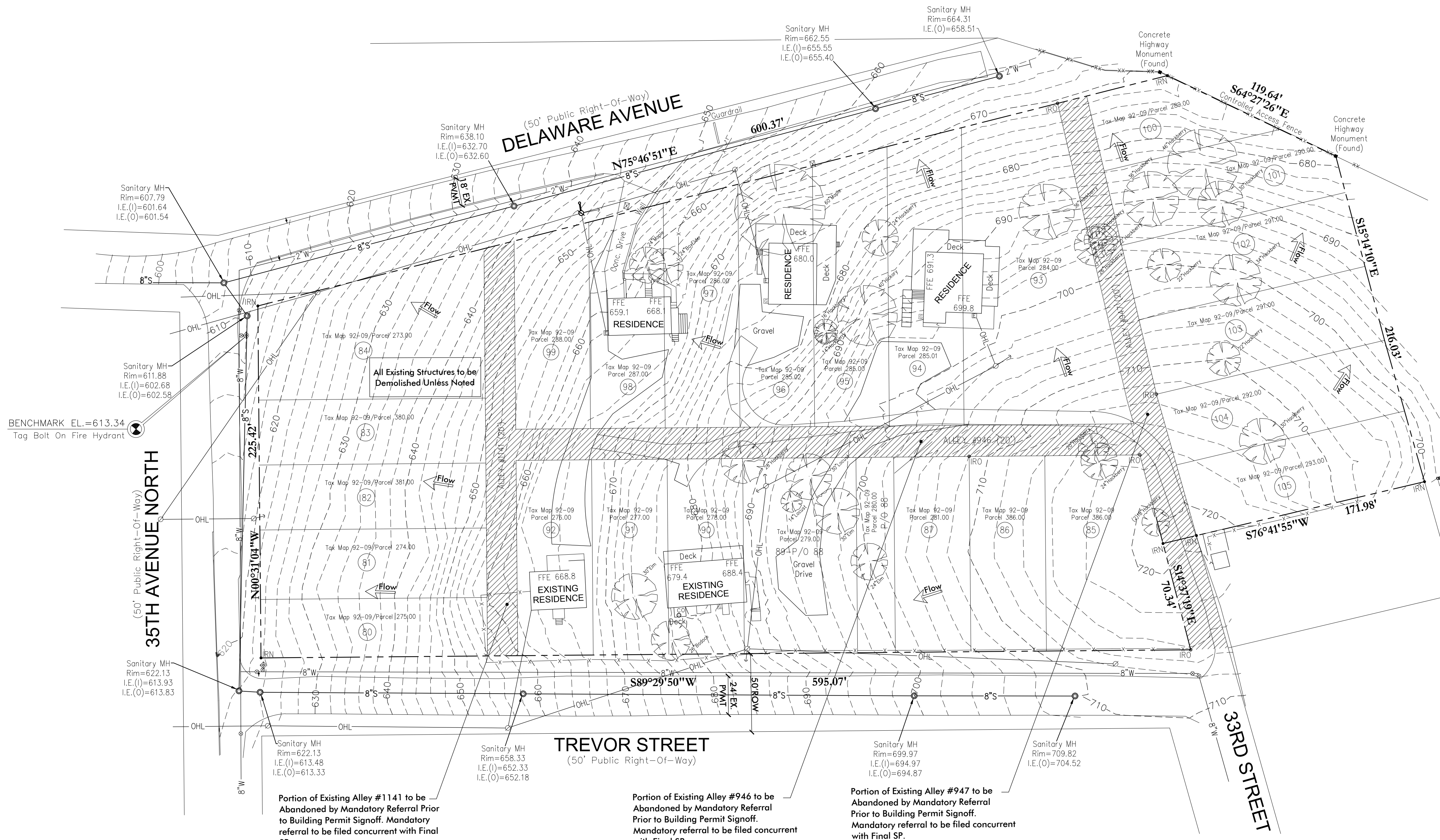
Preparation Date: Dec 2015

Sky Nashville
Preliminary Specific Plan
Tax Map 92-09 Various Parcels (See Sheet C2.0)
Nashville, Davidson County, Tennessee



D&A Project No 15127
Sky Nashville
Preliminary SP Drawings
C1.0
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INTERSTATE 40 RAMP



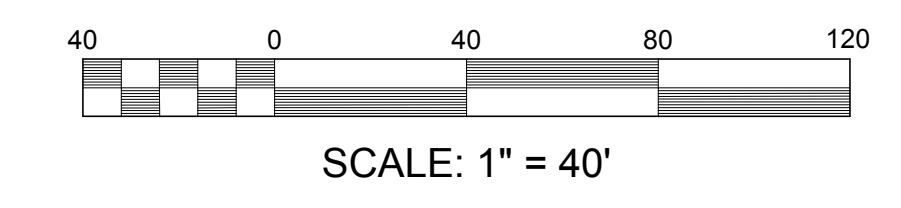
All Existing Structures to be Demolished Unless Noted

Portion of Existing Alley #1141 to be Abandoned by Mandatory Referral Prior to Building Permit Signoff. Mandatory referral to be filed concurrent with Final SP.

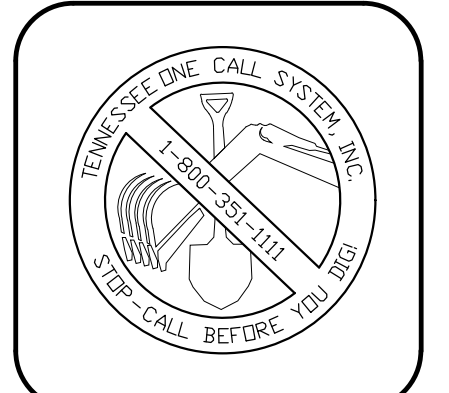
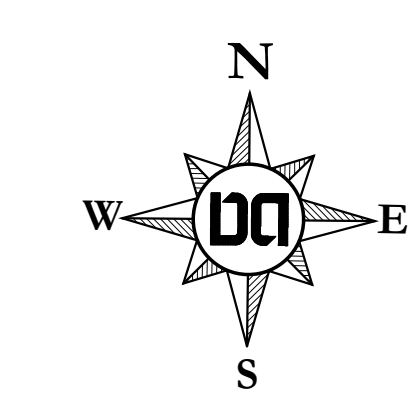
Portion of Existing Alley #946 to be Abandoned by Mandatory Referral Prior to Building Permit Signoff. Mandatory referral to be filed concurrent with Final SP.

Portion of Existing Alley #947 to be Abandoned by Mandatory Referral Prior to Building Permit Signoff. Mandatory referral to be filed concurrent with Final SP.

PARCEL SUMMARY	
Tax Map 92-09/Parcel 273.00	0.25 ACRES
Tax Map 92-09/Parcel 380.00	0.15 ACRES
Tax Map 92-09/Parcel 381.00	0.13 ACRES
Tax Map 92-09/Parcel 274.00	0.16 ACRES
Tax Map 92-09/Parcel 275.00	0.16 ACRES
Tax Map 92-09/Parcel 276.00	0.14 ACRES
Tax Map 92-09/Parcel 277.00	0.14 ACRES
Tax Map 92-09/Parcel 278.00	0.14 ACRES
Tax Map 92-09/Parcel 279.00	0.14 ACRES
Tax Map 92-09/Parcel 280.00	0.07 ACRES
Tax Map 92-09/Parcel 281.00	0.14 ACRES
Tax Map 92-09/Parcel 386.00	0.38 ACRES
Tax Map 92-09/Parcel 293.00	0.17 ACRES
Tax Map 92-09/Parcel 292.00	0.17 ACRES
Tax Map 92-09/Parcel 291.00	0.34 ACRES
Tax Map 92-09/Parcel 290.00	0.17 ACRES
Tax Map 92-09/Parcel 289.00	0.17 ACRES
Tax Map 92-09/Parcel 284.00	0.34 ACRES
Tax Map 92-09/Parcel 285.01	0.21 ACRES
Tax Map 92-09/Parcel 285.00	0.20 ACRES
Tax Map 92-09/Parcel 285.02	0.19 ACRES
Tax Map 92-09/Parcel 286.00	0.16 ACRES
Tax Map 92-09/Parcel 287.00	0.16 ACRES
Tax Map 92-09/Parcel 288.00	0.13 ACRES



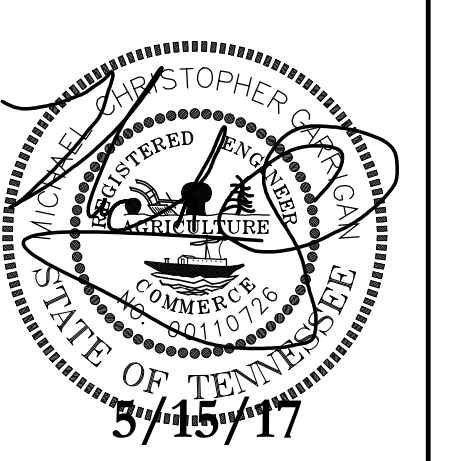
TOTAL EXISTING AREA = 4.75 ACRES OR 207,126.4 SQUARE FEET



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 Tax Map 92-09 Various Parcels (See Sheet C2.0)
 Nashville, Davidson County, Tennessee



Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

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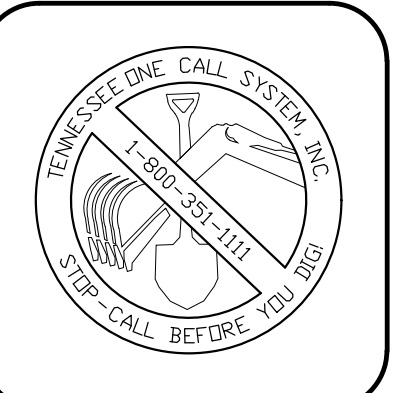
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 Preliminary SP Drawings

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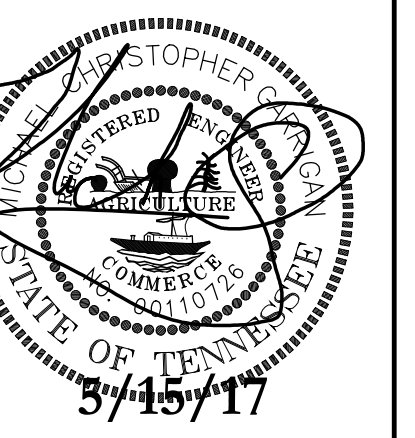
Existing Conditions



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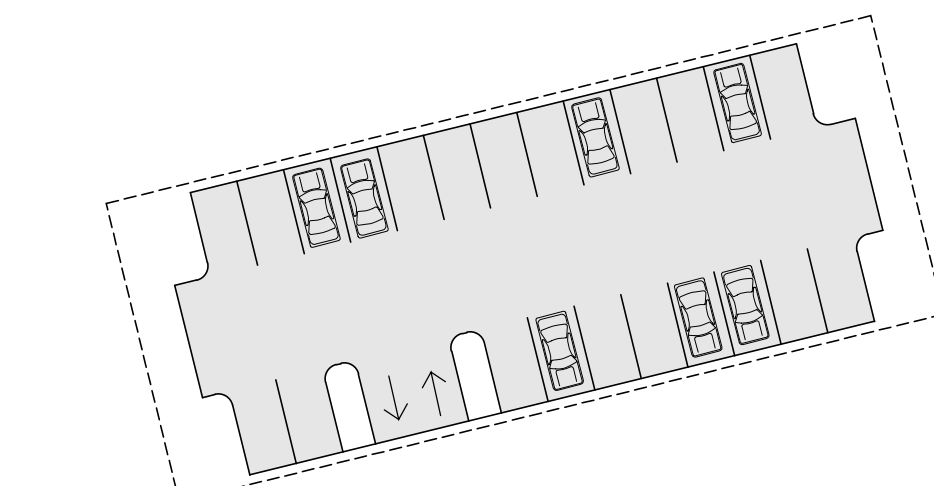
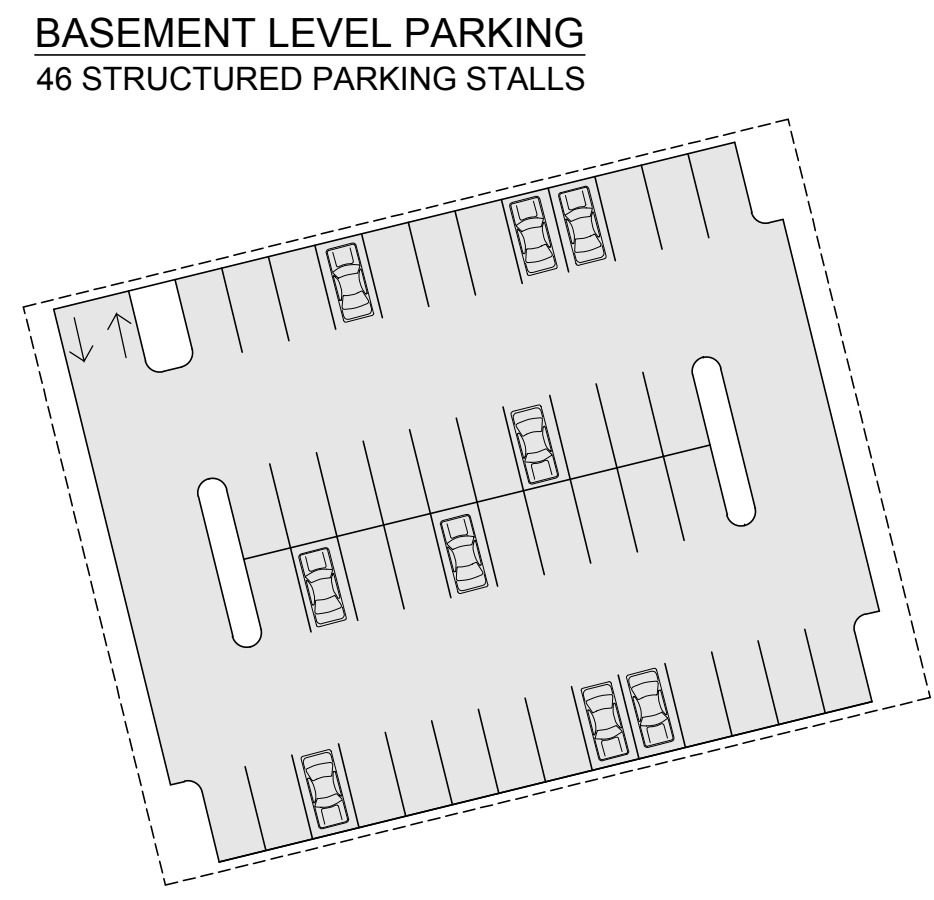
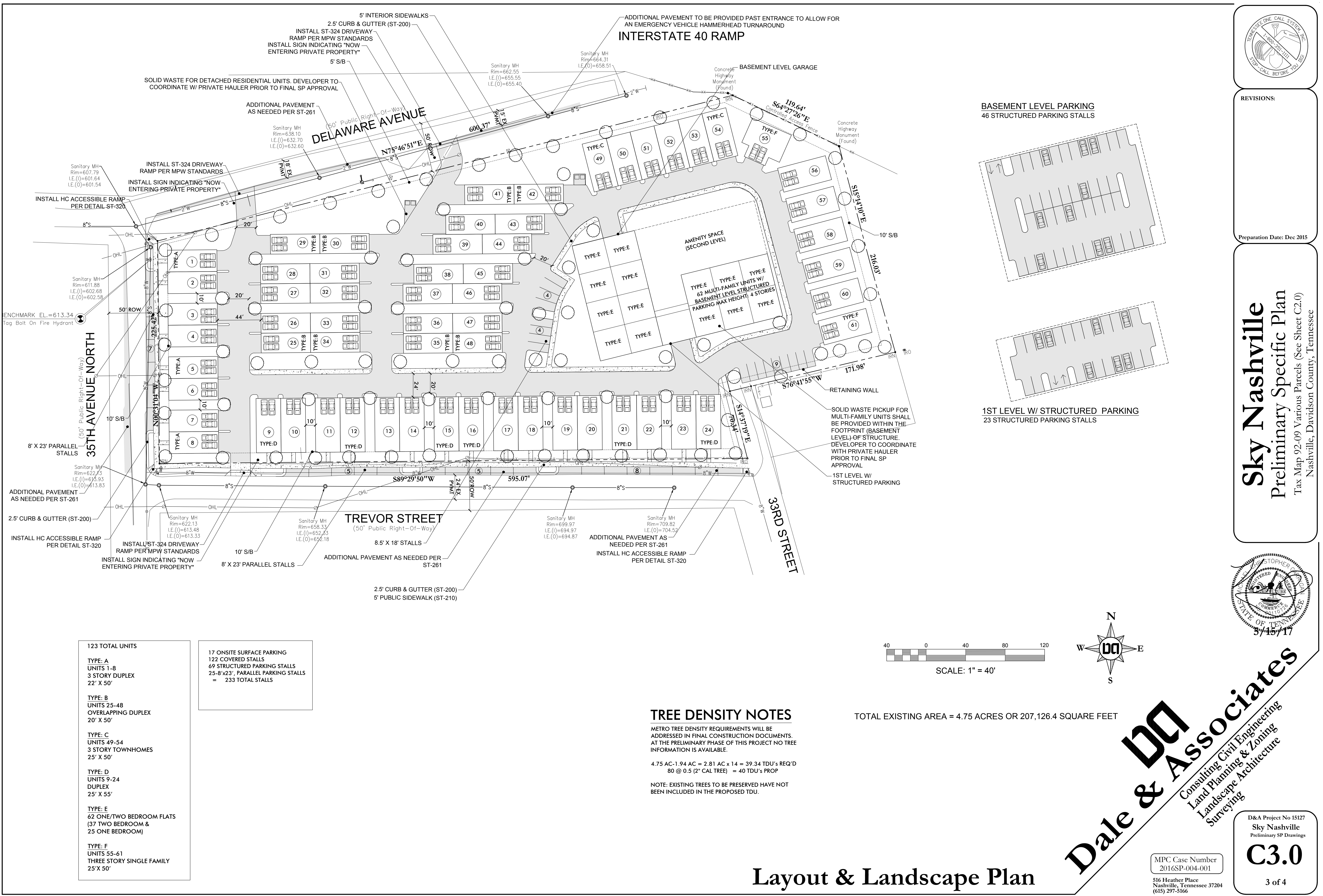
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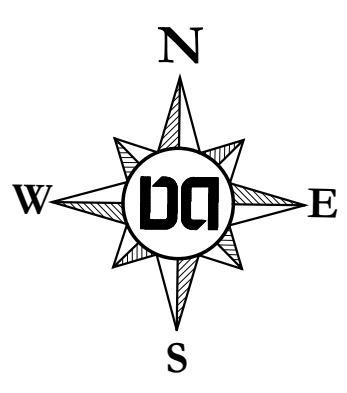
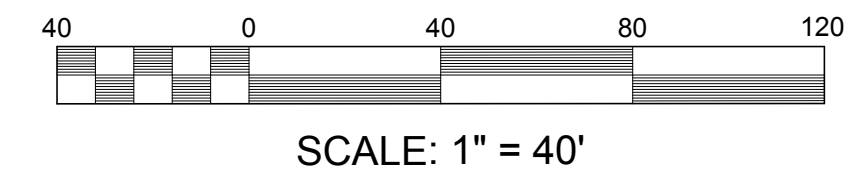
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C3.0
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1ST LEVEL W/ STRUCTURED PARKING
 23 STRUCTURED PARKING STALLS

BASEMENT LEVEL PARKING
 46 STRUCTURED PARKING STALLS



TOTAL EXISTING AREA = 4.75 ACRES OR 207,126.4 SQUARE FEET

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.

4.75 AC-1.94 AC = 2.81 AC x 14 = 39.34 TDU's REQ'D
 80 @ 0.5 (2" CAL TREE) = 40 TDU's PROP

NOTE: EXISTING TREES TO BE PRESERVED HAVE NOT BEEN INCLUDED IN THE PROPOSED TDU.

- 123 TOTAL UNITS
- TYPE: A
UNITS 1-8
3 STORY DUPLEX
22' X 50'
 - TYPE: B
UNITS 25-48
OVERLAPPING DUPLEX
20' X 50'
 - TYPE: C
UNITS 49-54
3 STORY TOWNHOMES
25' X 50'
 - TYPE: D
UNITS 9-24
DUPLEX
25' X 55'
 - TYPE: E
62 ONE/TWO BEDROOM FLATS
(37 TWO BEDROOM & 25 ONE BEDROOM)
 - TYPE: F
UNITS 55-61
THREE STORY SINGLE FAMILY
25' X 50'

- 17 ONSITE SURFACE PARKING
 122 COVERED STALLS
 69 STRUCTURED PARKING STALLS
 25-8'x23', PARALLEL PARKING STALLS
 = 233 TOTAL STALLS

Layout & Landscape Plan

MPC Case Number
 2016SP-004-001

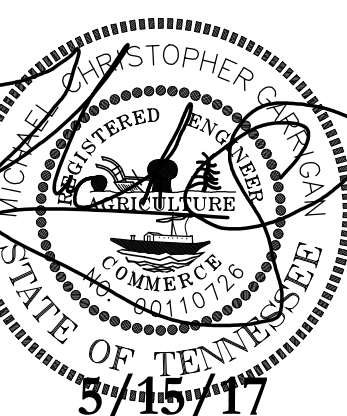
516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166



REVISIONS:

Preparation Date: Dec 2015

Sky Nashville
 Preliminary Specific Plan
 Tax Map 92-09 Various Parcels (See Sheet C2.0)
 Nashville, Davidson County, Tennessee



3/15/17

Dale & Dale Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

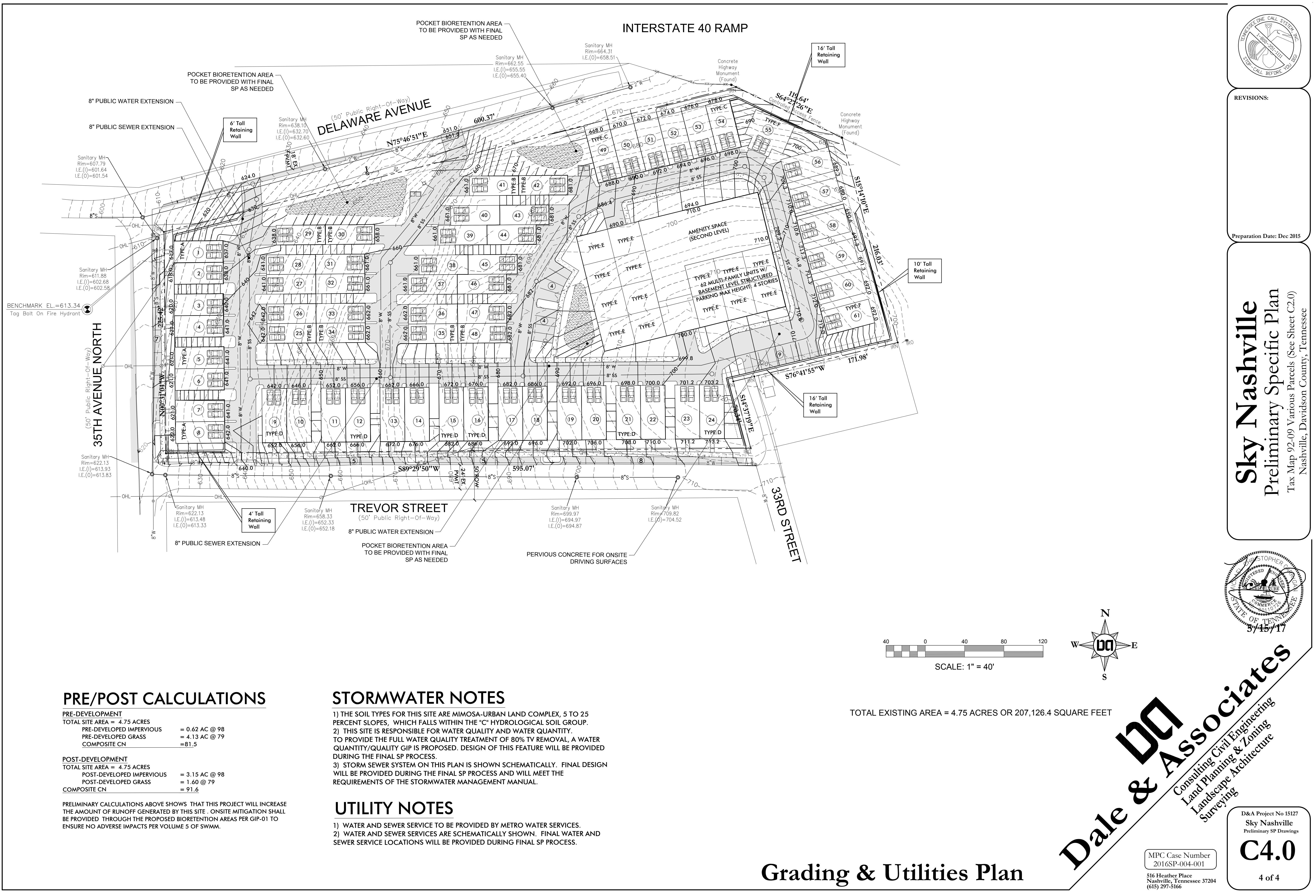
D&A Project No 15127
 Sky Nashville
 Preliminary SP Drawings

C4.0

4 of 4

MPC Case Number
 2016SP-004-001

516 Heather Place
 Nashville, Tennessee 37204
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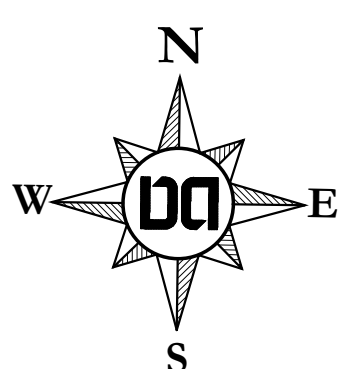
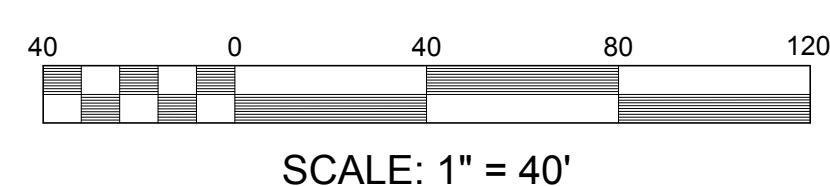
INTERSTATE 40 RAMP

DELAWARE AVENUE
 (50' Public Right-Of-Way)
 N75°46'51"E

35TH AVENUE NORTH
 (50' Public Right-Of-Way)
 N100°31'01"W

TREVOR STREET
 (50' Public Right-Of-Way)
 S89°29'50"W

33RD STREET
 S14°37'10"E



PRE/POST CALCULATIONS

PRE-DEVELOPMENT	
TOTAL SITE AREA =	4.75 ACRES
PRE-DEVELOPED IMPERVIOUS	= 0.62 AC @ 98
PRE-DEVELOPED GRASS	= 4.13 AC @ 79
COMPOSITE CN	= 81.5
POST-DEVELOPMENT	
TOTAL SITE AREA =	4.75 ACRES
POST-DEVELOPED IMPERVIOUS	= 3.15 AC @ 98
POST-DEVELOPED GRASS	= 1.60 @ 79
COMPOSITE CN	= 91.6

PRELIMINARY CALCULATIONS ABOVE SHOWS THAT THIS PROJECT WILL INCREASE THE AMOUNT OF RUNOFF GENERATED BY THIS SITE. ONSITE MITIGATION SHALL BE PROVIDED THROUGH THE PROPOSED BIORETENTION AREAS PER GIP-01 TO ENSURE NO ADVERSE IMPACTS PER VOLUME 5 OF SWMM.

STORMWATER NOTES

- 1) THE SOIL TYPES FOR THIS SITE ARE MIMOSA-URBAN LAND COMPLEX, 5 TO 25 PERCENT SLOPES, WHICH FALLS WITHIN THE "C" HYDROLOGICAL SOIL GROUP.
- 2) THIS SITE IS RESPONSIBLE FOR WATER QUALITY AND WATER QUANTITY. TO PROVIDE THE FULL WATER QUALITY TREATMENT OF 80% TV REMOVAL, A WATER QUANTITY/QUALITY GIP IS PROPOSED. DESIGN OF THIS FEATURE WILL BE PROVIDED DURING THE FINAL SP PROCESS.
- 3) STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.

UTILITY NOTES

- 1) WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
- 2) WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.

Grading & Utilities Plan

123 TOTAL UNITS

TYPE: A
UNITS 1-8
3 STORY DUPLEX
22' X 50'

TYPE: B
UNITS 25-48
OVERLAPPING DUPLEX
20' X 50'

TYPE: C
UNITS 49-61
3 STORY TOWNHOMES
25' X 50'

TYPE: D
UNITS 9-24
DUPLEX
25' X 55'

TYPE: E
62 ONE/TWO BEDROOM FLATS



TYPE "A"

TYPE "B"

TYPE "C"

POOL AND AMENITIES

TYPE "E"

TYPE "F"

TYPE "D"



1511 Sunset Rd.
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o. 615.251.7060
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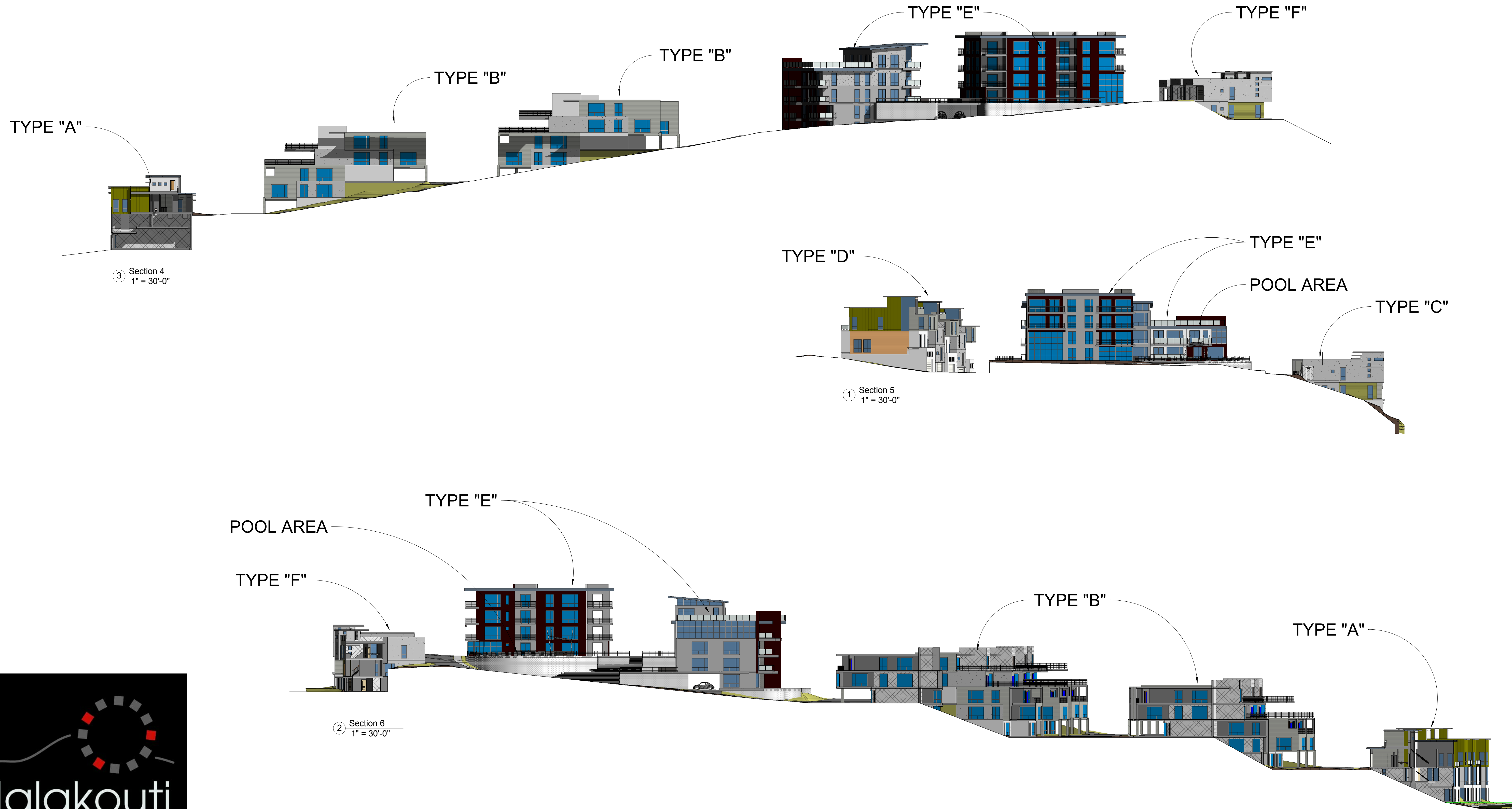
info@malakoutiarchitects.com

SKY NASHVILLE

NASHVILLE TENNESSEE

11/14/2016
11:00:09 AM

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POOL VIEW FROM TYPE C ROOF TOPS



STREET VIEW- TYPE E AND D UNITS



STREET VIEW-TYPE D AND B UNITS



POOL AREA ENTRANCE



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TREVOR STREET VIEW

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DOWN TOWN VIEW FROM POOL AREA

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POOL ENTRANCE VIEW



STREET VIEW- TYPE B AND E UNITS



STREET VIEW-TYPE A AND B UNITS



SREET VIEW- TYPE B AND B UNITS



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VIEW FROM INTERSTATE



DELAWARE ENTRANCE-TYPE B AND B



VIEW FROM INTERSTATE



VIEW FROM INTERSTATE



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VIEW FROM I40-1440



INTRIOR STREET VIEW- UNIT TYPE "E" AND "B"



TREVOR STREET ENTRANCE



POOL VIEW FROM TYPE F ROOF TOPS



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