

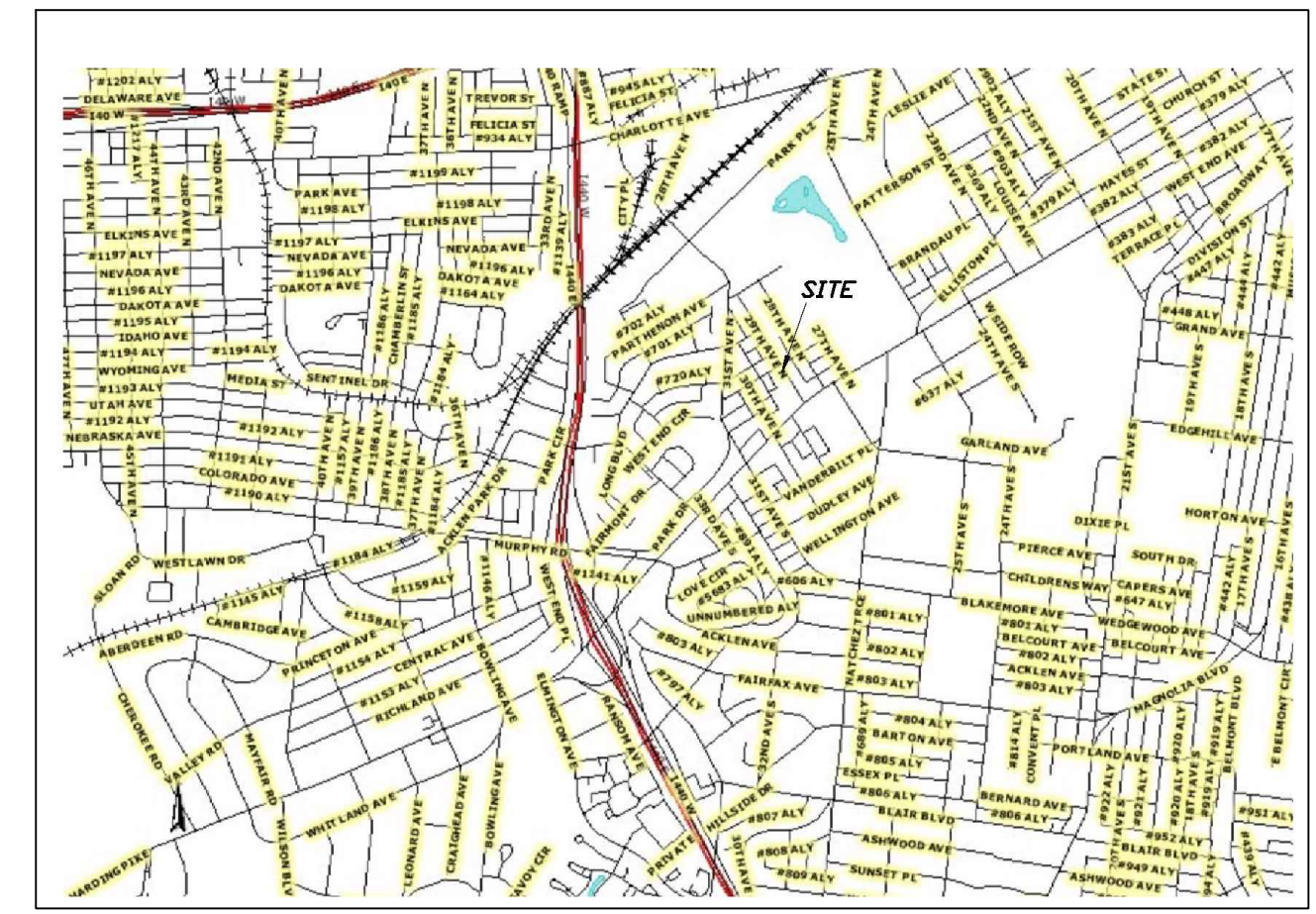
PROPOSED FEATURES LEGEND

BUILDING	[Symbol]
CONCRETE PAVEMENT	[Symbol]
PARKING GARAGE SLAB	[Symbol]
CONCRETE SIDEWALK	[Symbol]
HEAVY DUTY PAVEMENT	[Symbol]
LIGHT DUTY PAVEMENT	[Symbol]
TACTILE WARNING	[Symbol]
PAINTED STRIPE	[Symbol]
CONCRETE CURB	[Symbol]
CENTERLINE	[Symbol]

PARCEL ID:
10402033300
P.A.D.C., TN

SITE TREE DENSITY CALCULATIONS

ACREAGE:	0.45 AC (19,735 SF)
BUILDING ACREAGE:	0.37 AC (16,405 SF)
ADJUSTED ACREAGE:	0.08 AC (3,330 SF)
TREE DENSITY UNITS REQUIRED: (14 TDU/AC. x 0.08 AC)	1.12
TREE DENSITY UNITS PROVIDED: PROPOSED TREES: (SEE CHART BELOW)	3.0
TOTAL TREE DENSITY UNITS PROVIDED:	3.0
TREE DENSITY UNIT REQUIREMENTS SATISFIED	
PROPOSED TREES:	
2" x 0.5 = 3.0	
TOTAL	3.0



VICINITY MAP
NOT TO SCALE

DEVELOPMENT SCHEDULE
COMMENCE SITE WORK: DECEMBER 2017
COMMENCE BUILDING CONSTRUCTION: MAY 2018
COMPLETE CONSTRUCTION/OPEN HOTEL: JULY 2019

DEVELOPMENT SUMMARY / SITE DATA

ORDINANCE:	BL2017SP-019
CASE #:	2017SP-020-001
PROJECT NAME:	FAIRFIELD INN & SUITES
APPLICATION DATE:	JANUARY 26, 2017
ZONING EXAMINER:	
COUNCIL DISTRICT:	21
COUNCIL MEMBER:	ED KINDALL
PRE-PARCEL CONSOLIDATION ID:	10402033600, 10402033700, AND 10402033800
POST-PARCEL CONSOLIDATION ID:	10402033700
SITE ADDRESS:	109, 111, AND 113 29TH AVENUE NORTH NASHVILLE, TN 37203
USE EXISTING LAND USE:	OFFICE/RESIDENTIAL
PROPOSED LAND USE:	HOTEL
EXISTING ZONING:	OR1
PROPOSED ZONING:	SP (SPECIFIC PLAN)
USE CHARTS:	REFER BELOW
RAMP LOCATION & NUMBER:	SEE PLAN
DISTANCE TO NEAREST EXISTING RAMP: (MIN. 30')	N/A
DISTANCE TO INTERSECTIONS:	ARTERIAL ST. (WEST END AVE.) - 200'
SITE CRITERIA:	
SUBDIVISION PLAN:	N/A
MINIMUM LOT SIZE:	N/A
FLOOR AREA RATIO (FAR):	1.0

PARKING STRUCTURES USED TO ACCOMMODATE REQUIRED PARKING SHALL BE EXCLUDED FROM FLOOR SPACE USED IN THE CALCULATION OF FLOOR AREA RATIO (FAR) PER THE 31ST AVENUE / LONG BOULEVARD URBAN DESIGN OVERLAY.

SITE ACREAGE: ±0.49 AC. (21,344.4 S.F.) BASED PARCEL AREA

PARCEL AREA SHALL MEAN THE HORIZONTAL AREA INCLUDED WITHIN THE BOUNDARY LINES OF THE PARCEL PRIOR TO THE DEDICATION OF RIGHT-OF-WAY AND SHALL BE QUANTITATIVELY DEFINED AS NOTED ON THE SP PLAN (CASE # 2017SP-020-001) (+/-0.49 ACRES OR 21,344.4 SQUARE FEET).

ISR:	95
(ADJUSTMENTS/SLOPES OVER 15%/FLOOD PLAIN)	
STREET SETBACK - STREET TYPE:	0'
STREET TYPE:	0'
REAR YARD:	0'
HEIGHT PLANES:	N/A
REQUIRED BUFFER YARDS:	N/A
OPAQUE FENCE ADJACENT TO RESIDENTIAL IN PARKING AREA:	N/A
SCREENING AROUND DUMPSTERS:	PROVIDED

BUILDING DATA	
PROPOSED BUILDING TYPE:	HOTEL W/ PARKING GARAGE
PROPOSED ROOMS:	155
PROPOSED BUILDING AREA:	
HOTEL:	85,378 S.F. (4x21,344.4 = 85,378 S.F. MAXIMUM)
PARKING GARAGE:	± 67,000 S.F. (INCLUDES SURFACE PARKING AT GRADE)
TOTAL:	± 152,378 S.F.
PROPOSED MAX. BUILDING HEIGHT:	
MAXIMUM HEIGHT OF 90 FEET MEASURED FROM THE GROUND ELEVATION (535' EL) AT THE CORNER OF 29TH AVENUE NORTH AND POSTON AVENUE FOR A TOTAL HEIGHT NOT TO EXCEED (625' EL) INCLUSIVE OF NON-OCCUPIED ROOF-TOP STRUCTURES, EQUIPMENT AND DESIGN ELEMENTS.	

PARKING SUMMARY	
SPACES REQUIRED BASED ON USE:	159 SPACES (1 SP./ROOM @ 155 ROOMS, 1 SP./2 EMP. @ 8 EMP.)
LOADING SPACES REQUIRED:	0 SPACES
SURFACING OVER SPACES:	
SPACE SIZES:	GARAGE PARKING MIN. 8.0'x18' TYP. SPACES
ASILE WIDTH:	24' MIN. WIDTH
ANGLE DATA:	90° PARKING
QUEUING LANES:	PROVIDED
OVER 10 SPACES, 20' QUEUING AT EXIT:	PROVIDED
COMPACT SPACES / %:	N/A

PARKING SPACES PROVIDED	
STANDARD OFF-STREET PARKING SPACES:	145 SPACES
ADA ACCESSIBLE OFF-STREET SPACES:	10 SPACES
STANDARD ON-STREET SPACES:	4 SPACES
TOTAL PARKING PROVIDED:	159 SPACES
ONE ON-STREET PARKING SPACE CAN BE SUBSTITUTED FOR ONE OF EVERY REQUIRED OFF-STREET PARKING SPACE PROVIDED THE ON-STREET SPACE IS LOCATED ON A PUBLIC RIGHT-OF-WAY IMMEDIATELY ADJUTING THE PROPERTY.	

REQUIRED BI-CYCLE PARKING: BI-CYCLE PARKING PROVIDED: 2 SPACES (ANY USE) 2 SPACES

OWNER: MIDTOWN HOTEL PARTNERS, LLC
ADDRESS: 140 DIXIE AVENUE, LEBANON, TN 37090, 615-547-6695
PHONE NO.: 615-547-6695
CONTACT NAME: MR. ROSHAN PATEL
CONTACT E-MAIL ADDRESS: RSPATEL04@GMAIL.COM

PROJECT REPRESENTATIVE: KLINE SWINNEY ASSOCIATES
ADDRESS: 22 MIDDLETON STREET, NASHVILLE, TN 37210, 615-255-1854
PHONE NO.: 615-255-1854
CONTACT NAME: MR. BART KLINE
CONTACT E-MAIL ADDRESS: BKLINE@KSARCHITECTS.COM

PROJECT REPRESENTATIVE: S&M.E. INC.
ADDRESS: 1935 21ST AVENUE SOUTH, NASHVILLE, TN 37212, 615-385-4144
PHONE NO.: 615-385-4144
CONTACT NAME: MR. CHRIS AKERS
CONTACT E-MAIL ADDRESS: CAKERS@SMEINC.COM

FLOOD ZONE NOTE
BY GRAPHIC SCALING FROM THE LATEST F.E.M.A. / FLOOD INSURANCE RATE MAP THIS PROPERTY IS NOT LOCATED IN A F.E.M.A. / F.I.R.M. SPECIAL FLOOD HAZARD AREA. PROPERTY IS LOCATED IN ZONE "X" UNSHADED MAP 470040 PANEL 0214 F. EFFECTIVE DATE = 4-20-01

DAVIDSON COUNTY TAX MAP 104 02
PARCEL 337
COUNCIL DISTRICT No. 21
MEMBER: ED KINDALL
MWS PROJECT No: _____

ALLEY (10')
PUBLIC

HILL, H. G. REALTY CO.
BOOK 752, PAGE 528
R.O.D.C., TN
PARCEL ID:
10402032900
P.A.D.C., TN

WATER QUALITY AND QUANTITY NOTES:

LID WAIVER APPROVED, THEREFORE, 50% TSS REMOVAL WATER QUALITY UNIT EXPECTED TO TREAT SITE

DEVELOPMENT NOTES

- THE PURPOSE OF THE SP IS TO PERMIT A HOTEL DEVELOPMENT.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE 31 ST AVENUE AND LONG BOULEVARD URBAN DESIGN OVERLAY AND THE ORDINANCE AS OF THE DATE OF THE APPLICATION. USES ARE LIMITED AS DESCRIBED IN THE COUNCIL ORDINANCE.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- THIS PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON INDEX MAP 470040 PANEL 0214 F, DATED APRIL 20, 2001.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL, (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP).
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASES THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE ADOPTED TREE ORDINANCE 2008-328 (METRO CODE CHAPTER 17.24, ARTICLE II, TREE PROTECTION AND REPLACEMENT; AND CHAPTER 17.40, ARTICLE X, TREE PROTECTION AND REPLACEMENT PROCEDURES).
- THE FINAL SITE PLAN/ BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONES. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
- PEDESTRIAN SAFETY AT INTERSECTION OF 29TH AVE N AND POSTON AVENUE: PEDESTRIAN SAFETY IMPROVEMENTS SHALL BE PER ATTACHMENT B "INTERSECTION IMPROVEMENT PLAN" AND PEDESTRIAN SAFETY ANALYSIS COMPLETED BY RPM TRANSPORTATION CONSULTANTS, LLC.
- BUILDING LIGHTING
- LIGHTING SHALL BE PROVIDED FOR THE SIDEWALKS ALONG 29TH AVE N AND POSTON AVE. AT A MINIMUM OF 1 FOOT CANDLE PER SF. LIGHTS SHALL BE MOUNTED ON THE BUILDING ENVELOPE.
- BUILDING SIGNAGE WITH INTEGRATED LIGHTING SHALL NOT BE VISIBLE FROM THE 30TH AVE N.
- BLASTING SAFETY, BLASTING PLAN, NOISE MITIGATION, CONSTRUCTION SCHEDULE:
- NO OUTSIDE WORK ON SUNDAYS.
- THERE SHALL BE NO JACKHAMMERING NOR HOE RAMMING BETWEEN 5 PM AND 9 AM.
- BLASTING SHALL OCCUR BETWEEN 9 AM AND 8 PM TUESDAY THRU SATURDAY UNLESS DIRECTED BY THE STATE FIRE MARSHAL, THE NASHVILLE FIRE DEPARTMENT, OR OTHER AUTHORITIES HAVING JURISDICTION FOR PEDESTRIAN SAFETY, TRAFFIC SAFETY, AND/OR THE GENERAL WELFARE OF THE PUBLIC. PRIMARY SHOT TIME TO BE IMMEDIATELY FOLLOWING IMPLEMENTATION OF SAFETY PROTOCOLS TO ATTEMPT TO LIMIT EXPOSURE TO THE PUBLIC.
- PATRONS UTILIZING THE HOTEL'S EXTERIOR POOL AMENITY AREA SHALL NOT PRODUCE EXCESSIVE NOISE ABOVE 70 DB LEVELS PAST 9 PM.
- PARKING FOR CONTRACTORS DURING CONSTRUCTION:
- THE OWNER WILL PROVIDE PARKING AT ANOTHER LOCATION AND PROVIDE A CARPOOL SERVICE DURING CONSTRUCTION OF THE UNDERGROUND PARKING STRUCTURE. ONCE THE UNDERGROUND PARKING STRUCTURE IS COMPLETE, ALL PARKING WILL BE LOCATED WITHIN THE PARKING STRUCTURE.
- ATTACHMENTS:
- C1.0 SITE LAYOUT 29TH ACCESS: 11-07-17
- C1.1 SITE ALLEY ACCESS: 11-07-17
- C2.0 SITE DEMOLITION PLAN: 11-07-17
- ATTACHMENT A: PRELIMINARY ELEVATIONS AND RENDERINGS: 11-07-17
- ATTACHMENT B: INTERSECTION IMPROVEMENT PLAN: 11-07-17
- ATTACHMENT C: BUILDING AREA PLAN: 11-07-17

SITE LAYOUT KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
(S1A)	ASPHALT PAVEMENT - LIGHT DUTY	
(S1B)	ASPHALT PAVEMENT - HEAVY DUTY	
(S2)	CONCRETE PAVEMENT	
(S3)	CONCRETE CURB & GUTTER	
(S4)	CONCRETE POST CURB	
(S5)	CONCRETE SIDEWALK	
(S6)	CONCRETE SIDEWALK WITH TURN DOWN CURB	
(S7)	SIDEWALK JOINTS	

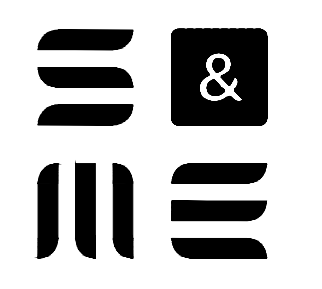
(S6)	ACCESSIBLE SYMBOL	
(S7)	ACCESSIBLE PARKING SPACE	
(S8)	ACCESSIBLE RAMP	
(S9)	ACCESSIBLE WINGED RAMP	
(S10)	TACTILE WARNING SURFACE	
(S11)	CONCRETE WHEELSTOP	
(S12)	CONCRETE STAIRS WITH HANDRAIL	
(S13)	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	
(S14)	BOLLARD	
(S15)	UTILITY PAD	

(S16)	CONCRETE DUMPMSTER PAD	
(S17)	DRIVEWAY RAMP	
(S18)	DIRECTIONAL ARROWS	
(S19)	PEDESTRIAN CROSSWALK	
(S20)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(S21)	CONCRETE RETAINING WALL	
(S22)	SEGMENTAL RETAINING WALL	
(S23)	PAINTED STOP BAR (SPECIFY WIDTH)	
(S24)	BICYCLE RACK	

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE AND OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT AND FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS

SITE BM: CURB INLET (SEE PLAN)
ELEV: 531.21
PROJECT BM: NAVD 88



1935 21st AVENUE SOUTH
NASHVILLE, TN 37212
(615) 385-4144

MIDTOWN HOTEL
PARTNERS, LLC
140 DIXIE AVENUE
LEBANON, TN 37090
(615) 547-6695

FAIRFIELD INN & SUITES
AT 29TH & POSTON
NASHVILLE, TENNESSEE

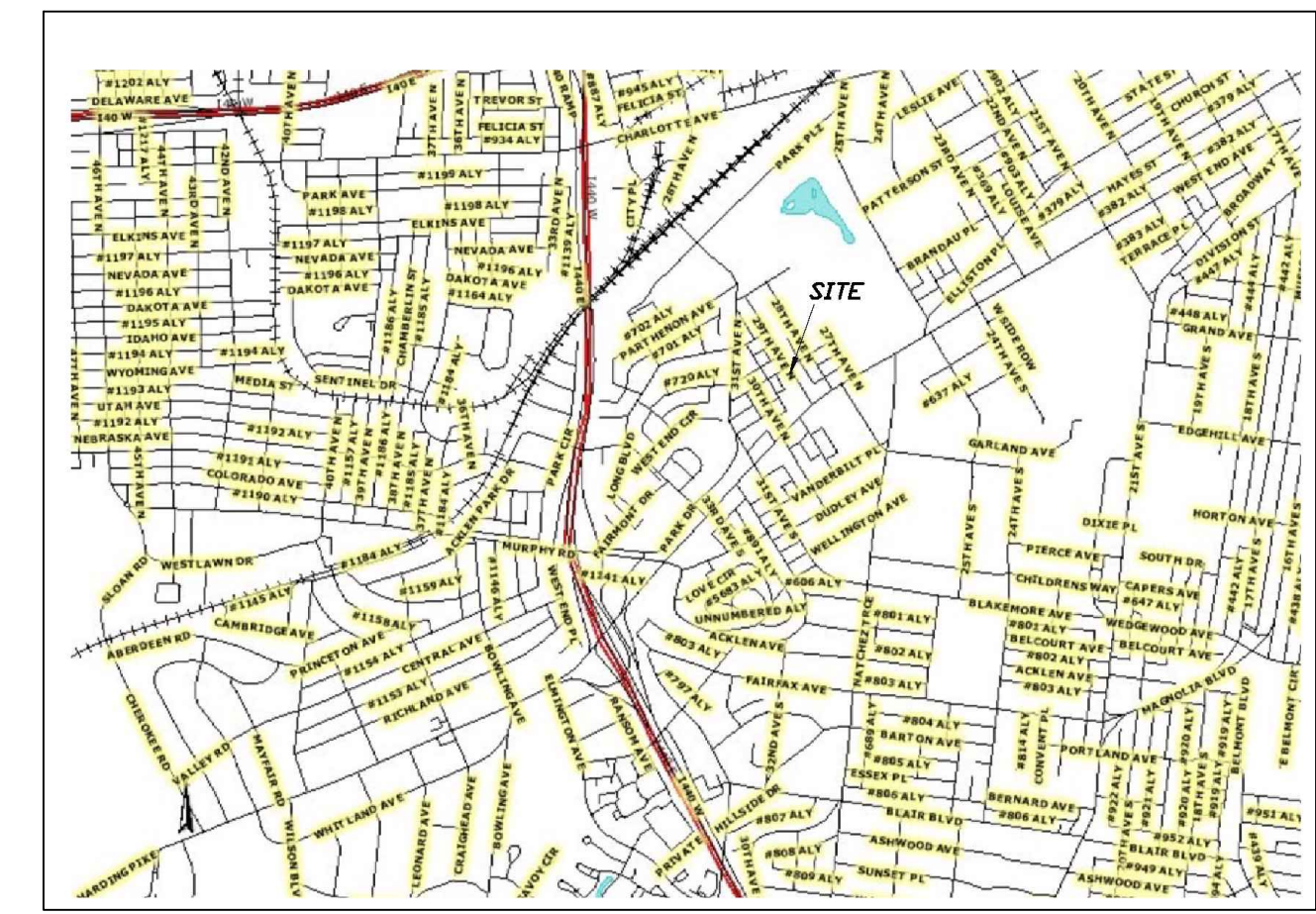


NO.	DATE	DESCRIPTION
11/07/2017	SP REVISIONS	
11/30/2017	SP REVISIONS	

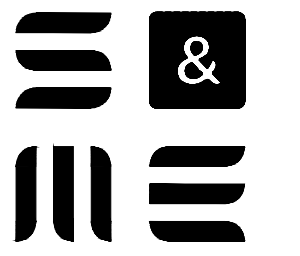
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DRAWING NUMBER: C1.0
DRAWING NAME: SITE LAYOUT 29TH ACCESS

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FRIDRICH PROPERTIES
BOOK 9195, PAGE 96
R.O.D.C., TN.
PARCEL ID:
10402033300
P.A.D.C., TN



VICINITY MAP
NOT TO SCALE

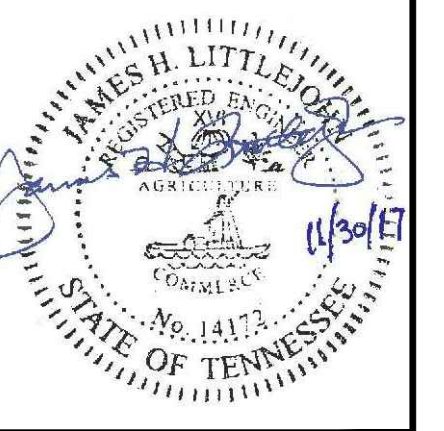


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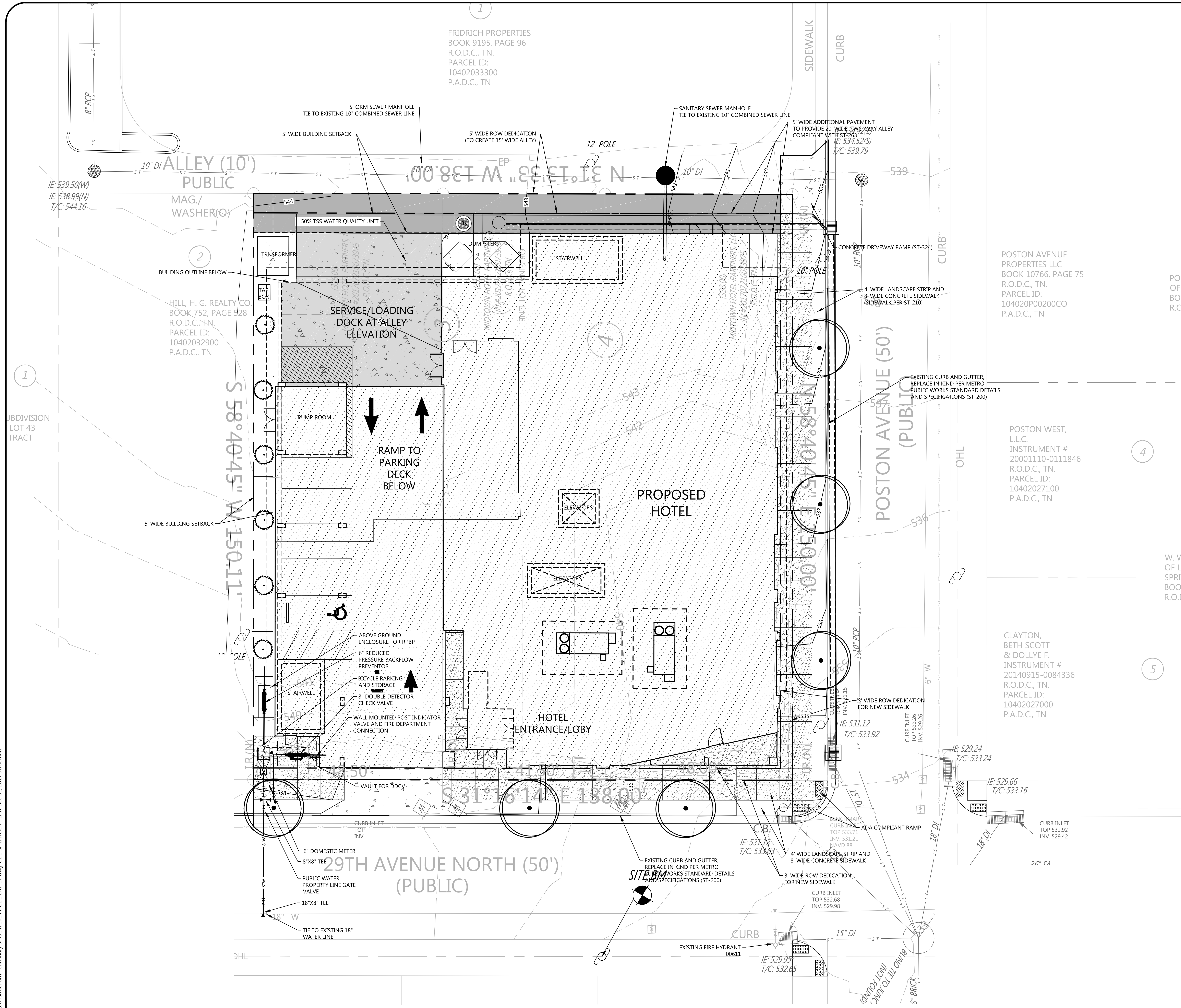
FAIRFIELD INN & SUITES

AT 29TH & POSTON
NASHVILLE, TENNESSEE



NO.	DATE	BY	CHK	APV	DESCRIPTION

PROJECT NUMBER
514716144
DRAWING NUMBER
C1.1
DRAWING NAME
SITE LAYOUT ALLEY ACCESS



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CODE	DESCRIPTION	DET #/SHT #
(S1A)	ASPHALT PAVEMENT - LIGHT DUTY	
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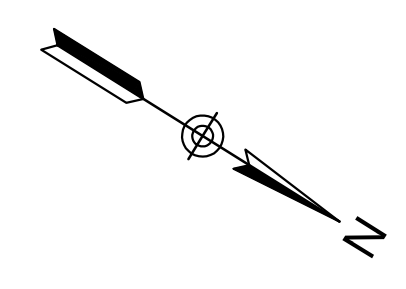
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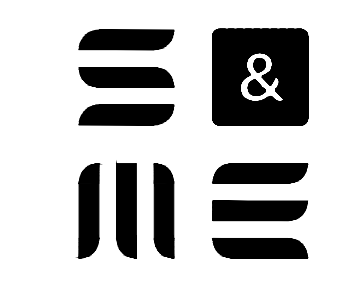
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CURB INLET (SEE PLAN)
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NAVD 88



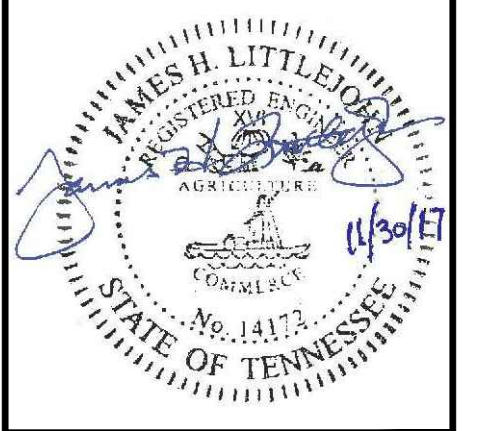


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FAIRFIELD INN & SUITES

AT 29TH & POSTON
NASHVILLE, TENNESSEE



VICINITY MAP
NOT TO SCALE

DEMOLITION NOTES

- ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNAGE, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
- CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
- EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
- RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAIL ON THE LANDSCAPE PLAN.
- NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
- THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPPLINGS UNDER 1" DIAMETER AND UNDERBUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24" (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
- WHERE EXISTING IRRIGATION LINED LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL REMOVE THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED.

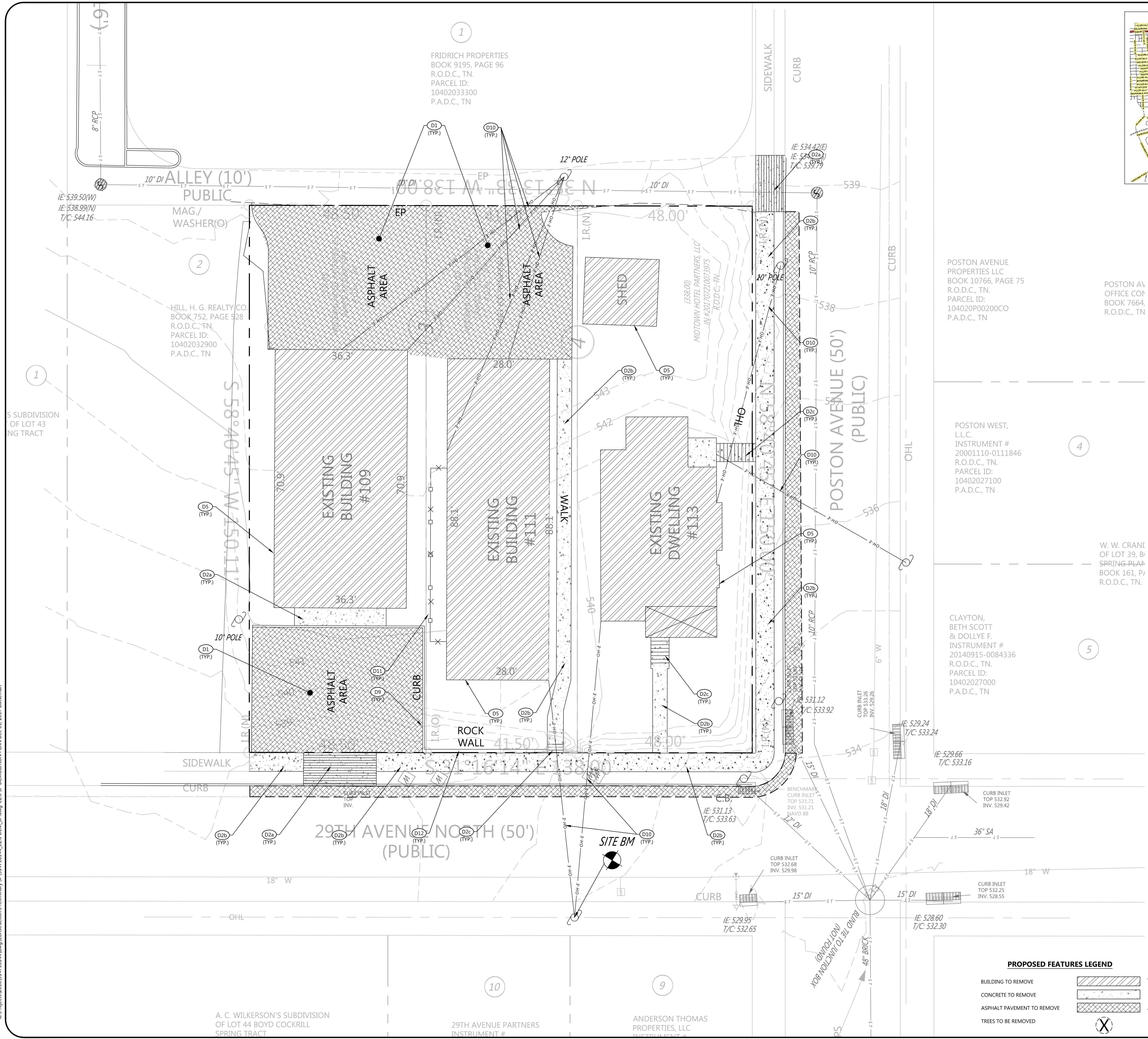
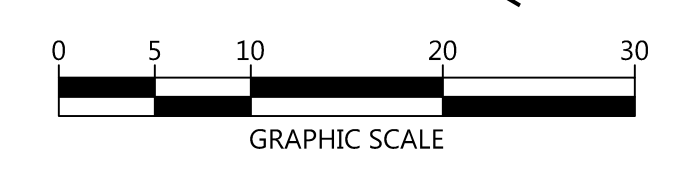
DEMOLITION KEYNOTES

CODE	DESCRIPTION	DET #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D2c	REMOVE EXISTING CONCRETE STAIRS AND LANDING	
D3	REMOVE EXISTING CONCRETE CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING BUILDING/STRUCTURE	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATERLINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING OVERHEAD UTILITY LINE	
D11	REMOVE EXISTING FENCE	
D12	REMOVE ROCK WALL	
D13	REMOVE EXISTING TREE	

PROPOSED FEATURES LEGEND

- BUILDING TO REMOVE
- CONCRETE TO REMOVE
- ASPHALT PAVEMENT TO REMOVE
- TREES TO BE REMOVED

- SITE BM: CURB INLET (SEE PLAN) ELEV: 531.21
- PROJECT BM: NAVD 88



POSTON AV OFFICE COM BOOK 7664, R.O.D.C., TN

POSTON AVENUE PROPERTIES LLC BOOK 10766, PAGE 75 R.O.D.C., TN. PARCEL ID: 104020P00200CO P.A.D.C., TN

POSTON WEST, L.L.C. INSTRUMENT # 20001110-0111846 R.O.D.C., TN. PARCEL ID: 10402027100 P.A.D.C., TN

CLAYTON, BETH SCOTT & DOLLYE F. INSTRUMENT # 20140915-0084336 R.O.D.C., TN. PARCEL ID: 10402027000 P.A.D.C., TN

HILL, H. G. REALTY CO. BOOK 752, PAGE 528 R.O.D.C., TN. PARCEL ID: 10402032900 P.A.D.C., TN

FRIDRICH PROPERTIES BOOK 9195, PAGE 96 R.O.D.C., TN. PARCEL ID: 10402033300 P.A.D.C., TN

MIDTOWN HOTEL PARTNERS, LLC (338.00) IN #20170710073975 R.O.D.C., TN

A. C. WILKERSON'S SUBDIVISION OF LOT 44 BOYD COCKRILL SPRING TRACT

29TH AVENUE PARTNERS INSTRUMENT #

ANDERSON THOMAS PROPERTIES, LLC

G:\Projects\2016\514716144\Ang\Construction\Preliminary\SP\514716144_C2.0_DEM_SP.dwg-C2.0 SP DEMOLITION PLAN Dec 01, 2017 awiseman

PROJECT NUMBER
514716144

DRAWING NUMBER
C2.0

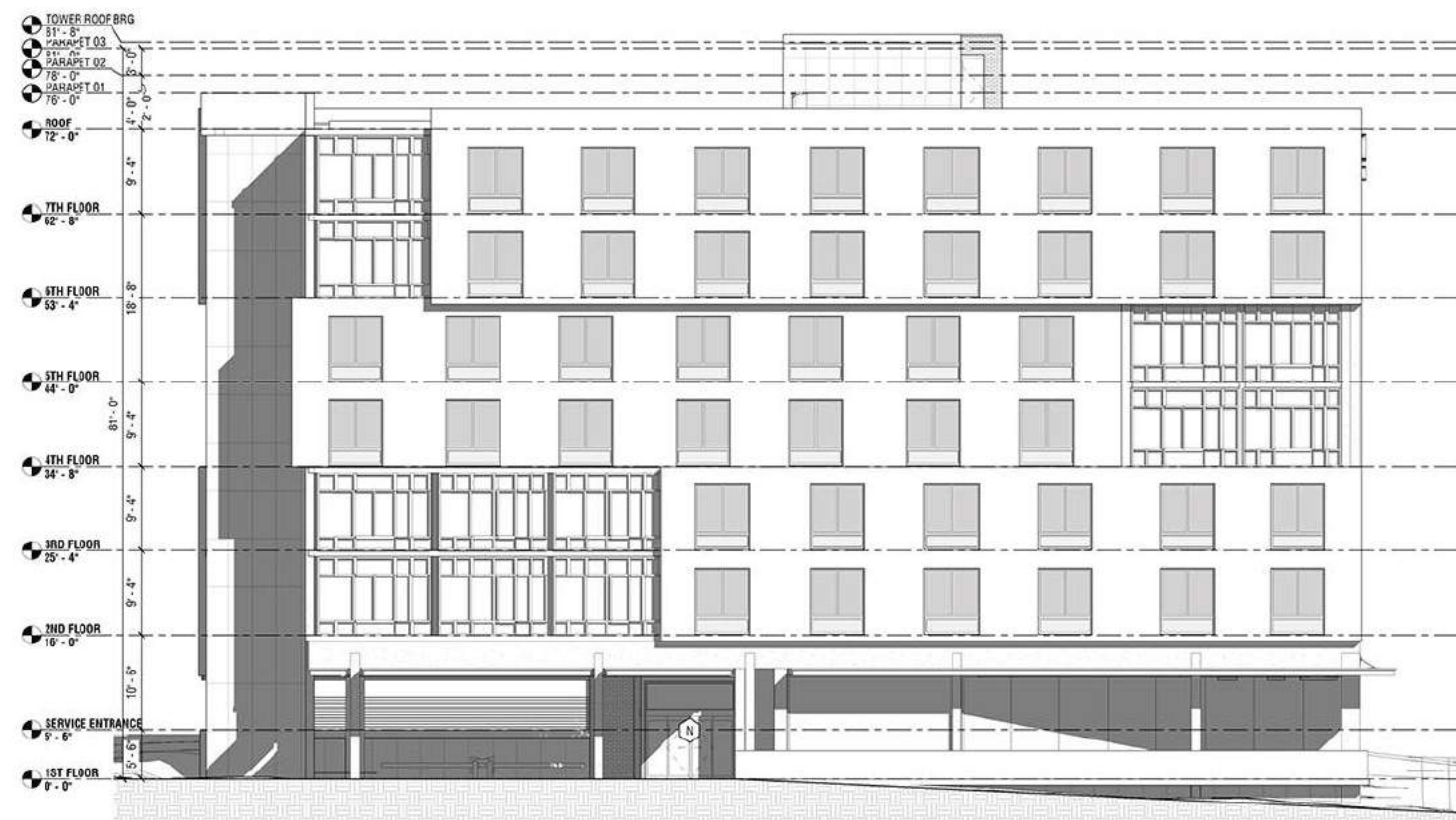
DRAWING NAME
SITE DEMOLITION PLAN

NO.	DATE	DESCRIPTION	BY	CHK	APV

Attachment A

Preliminary Elevations and Rendering 11-7-17

Key Plan



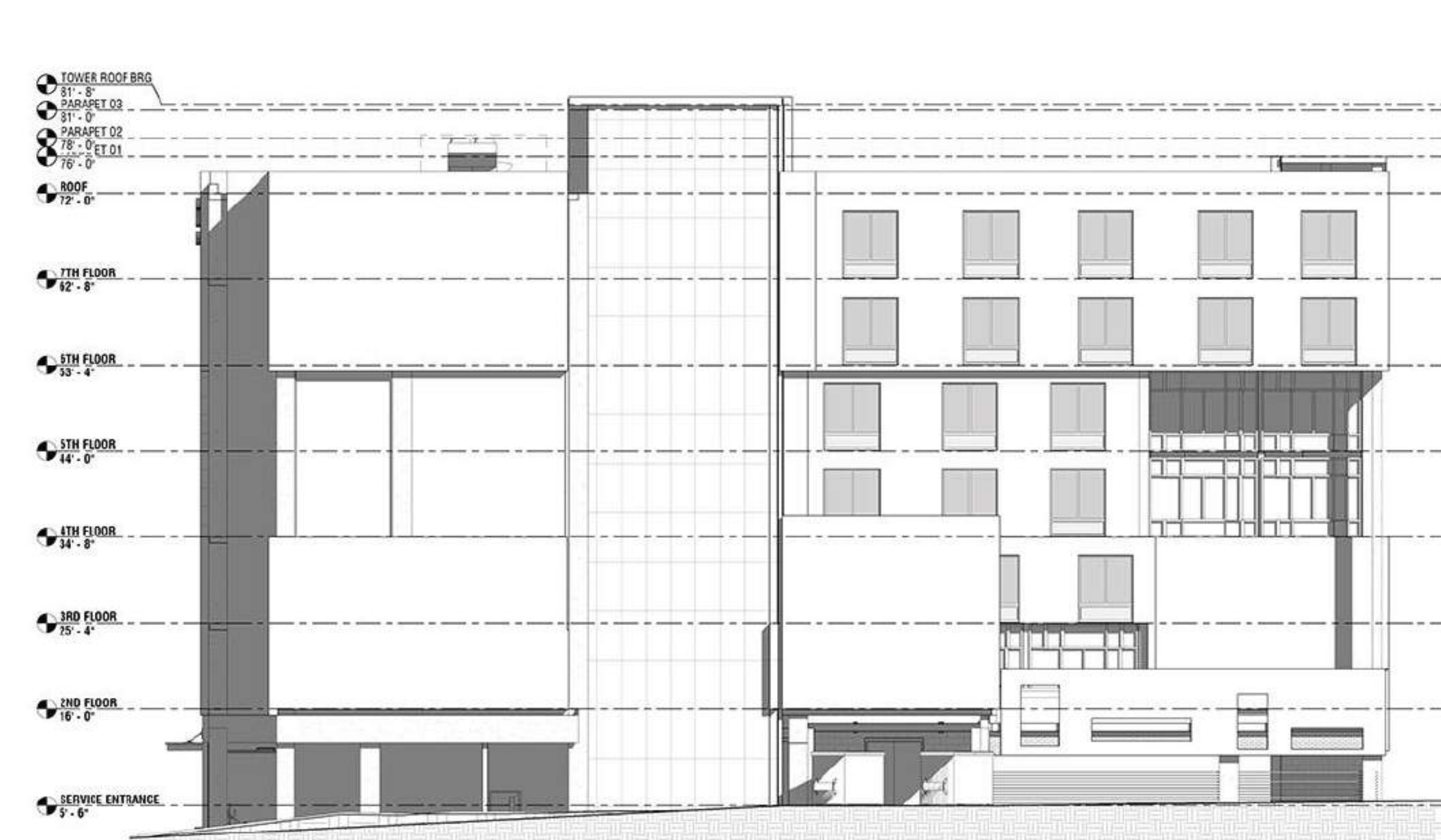
② EXTERIOR ELEVATION: FRONT
3/32" = 1'-0"



① EXTERIOR ELEVATION: RIGHT
3/32" = 1'-0"



④ EXTERIOR ELEVATION LEFT
3/32" = 1'-0"



③ EXTERIOR ELEVATION: BACK
3/32" = 1'-0"

Attachment B Intersection Improvement Plan 11-7-17

Prepared by: RPM Transportation Consultants, LLC / KCI Technologies Inc.

29th and Poston Hotel - Traffic Impact Study

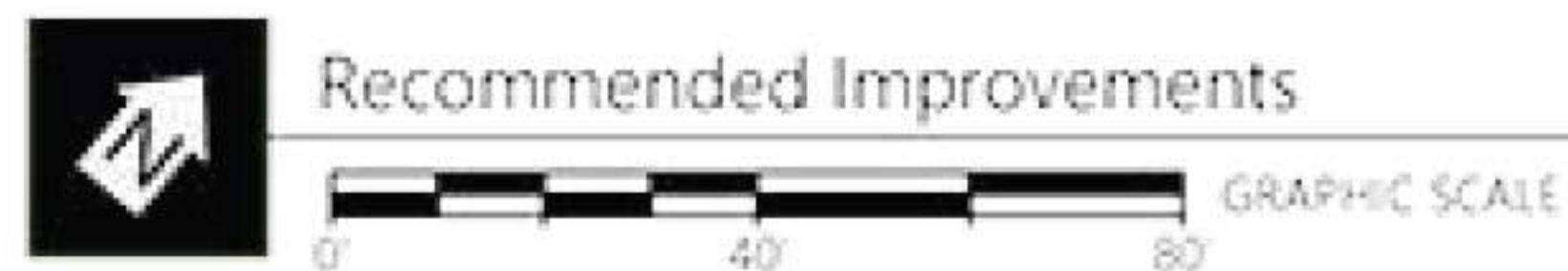


Figure 8.

FAIRFIELD INN & SUITES SP
BL2017-819
Nov. 30, 2017

THERE IS A TOTAL OF FOUR SHEETS IN THIS DOCUMENT

Name	Area
1st Floor	9634 SF
Indoor Service Area	920 SF
2nd Floor	12221 SF
3rd Floor	12516 SF
4th Floor	12292 SF
5th Floor	12293 SF
6th Floor	12293 SF
7th Floor	12293 SF
Roof Stair	327 SF
11	64790 SF

MAX AREA = 85,378 SF

FAIRFIELD INN & SUITES SP
BL2017-819
Nov. 2, 2017

KANA HOTEL GROUP
FAIRFIELD INN & SUITES
 113 29TH AVENUE NORTH
 NASHVILLE, TN 37203

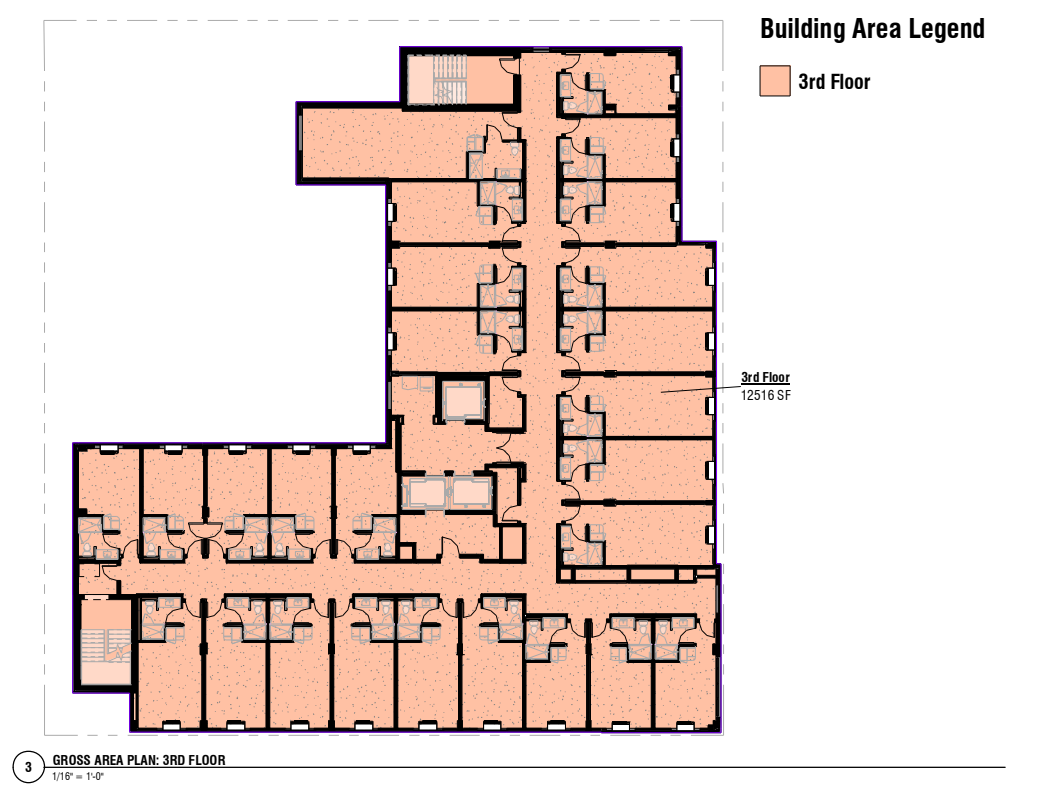
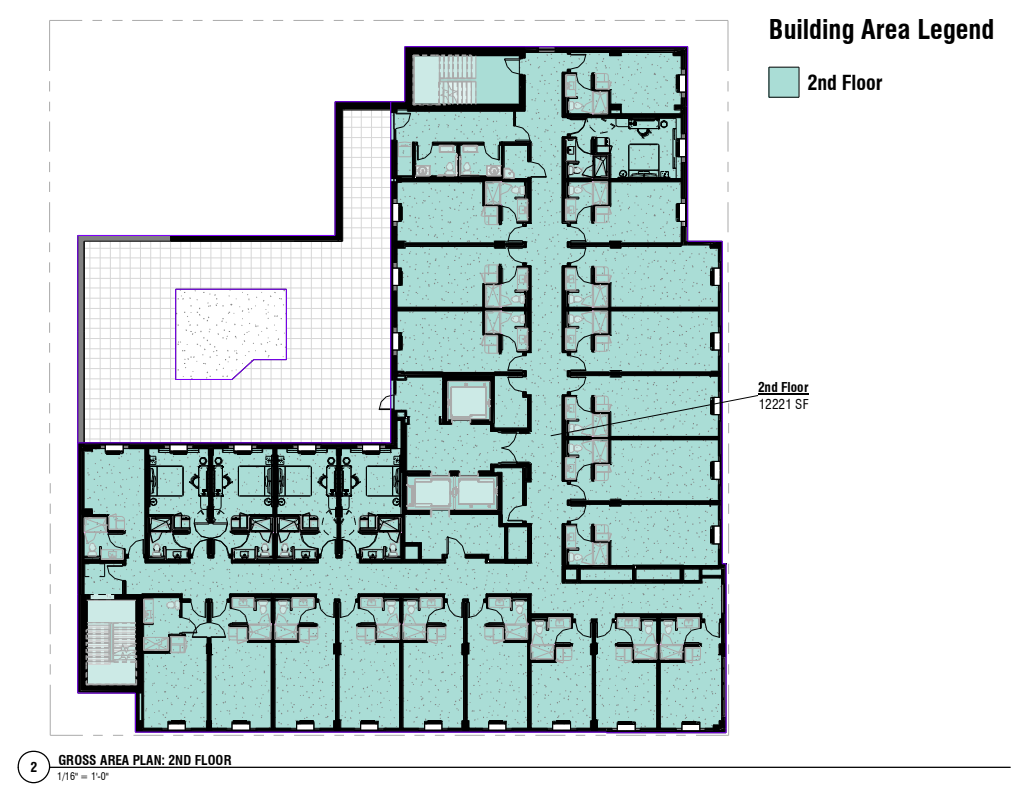
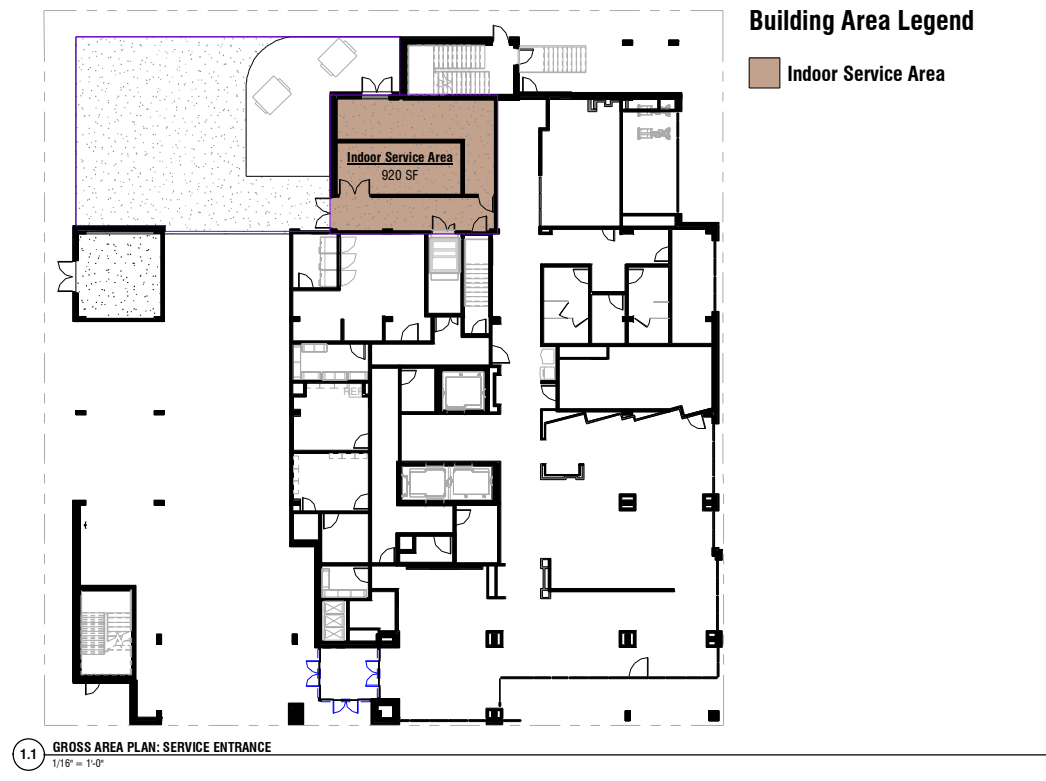
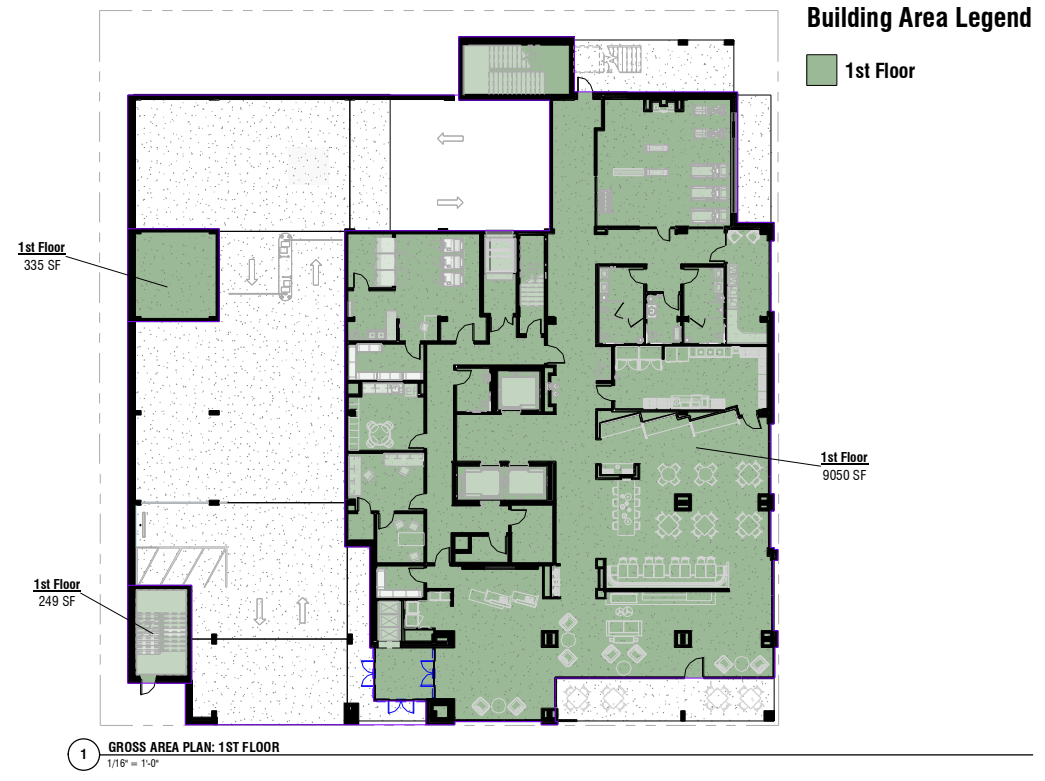


ADDENDUM SCHEDULE

#	Date	Description

AREA SUMMARY

11-30-17
AROO



FAIRFIELD INN & SUITES SP
 BL2017-819
 Nov. 2, 2017

KANA HOTEL GROUP
 FAIRFIELD INN & SUITES
 113 29TH AVENUE NORTH
 NASHVILLE, TN 37203



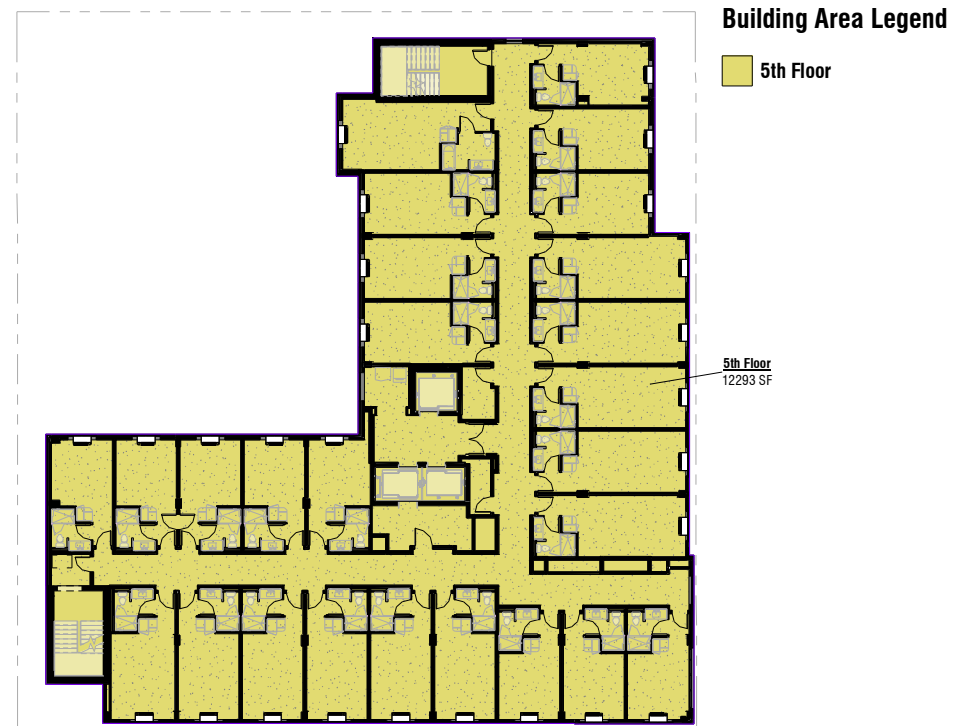
ADDENDUM SCHEDULE		
#	Date	Description

AREA PLANS

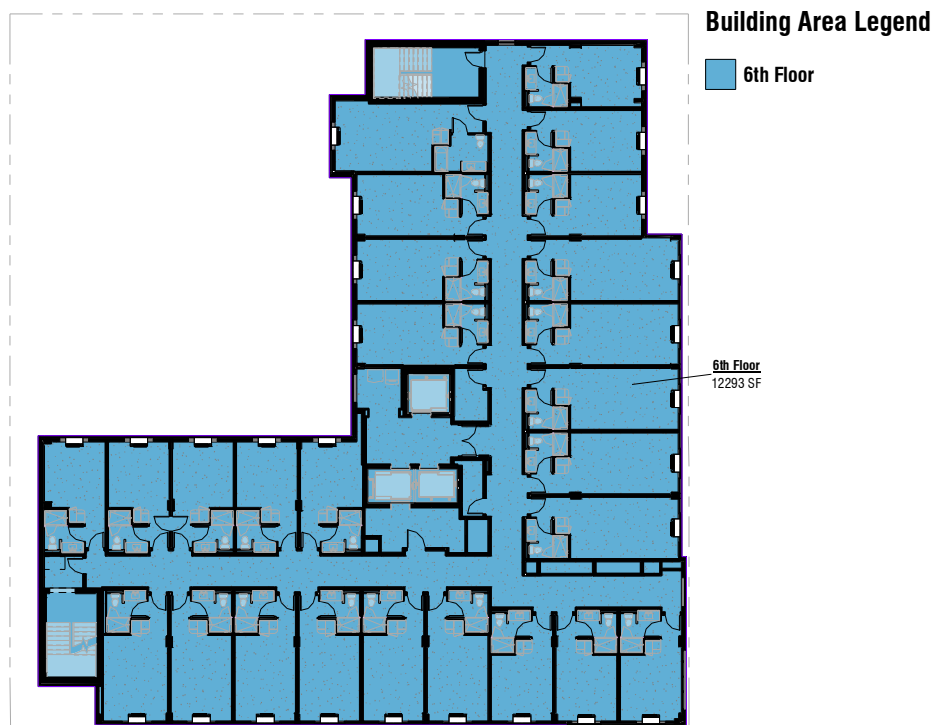
11-30-17
 AR01



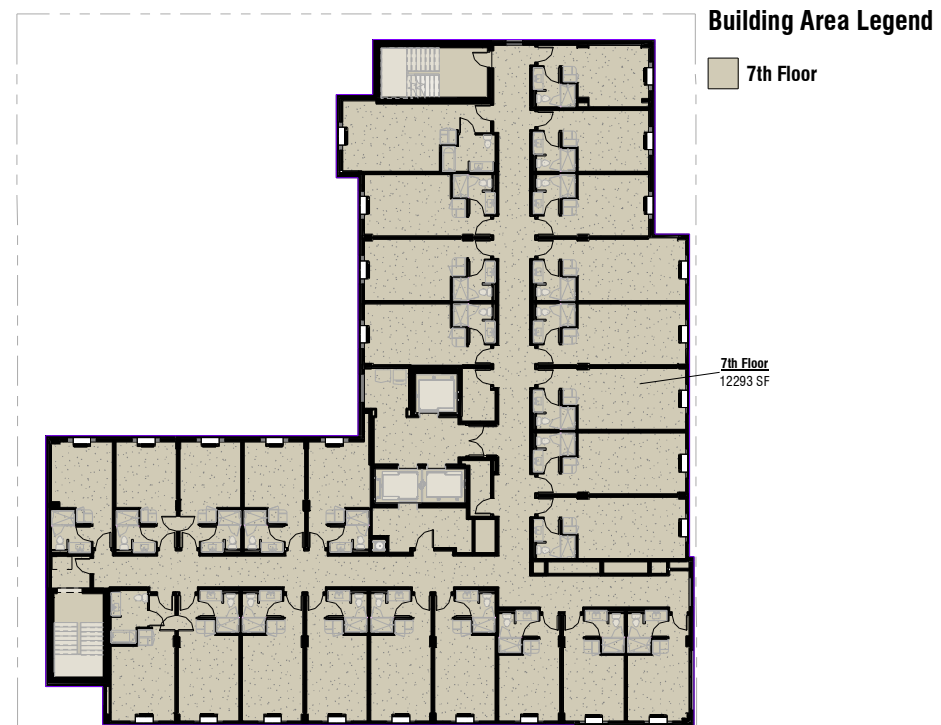
4 GROSS AREA PLAN: 4TH FLOOR
1/16" = 1'-0"



5 GROSS AREA PLAN: 5TH FLOOR
1/16" = 1'-0"



6 GROSS AREA PLAN: 6TH FLOOR
1/16" = 1'-0"



7 GROSS AREA PLAN: 7TH FLOOR
1/16" = 1'-0"

FAIRFIELD INN & SUITES SP
BL2017-819
Nov. 2, 2017

KANA HOTEL GROUP
FAIRFIELD INN & SUITES
113 29TH AVENUE NORTH
NASHVILLE, TN 37203

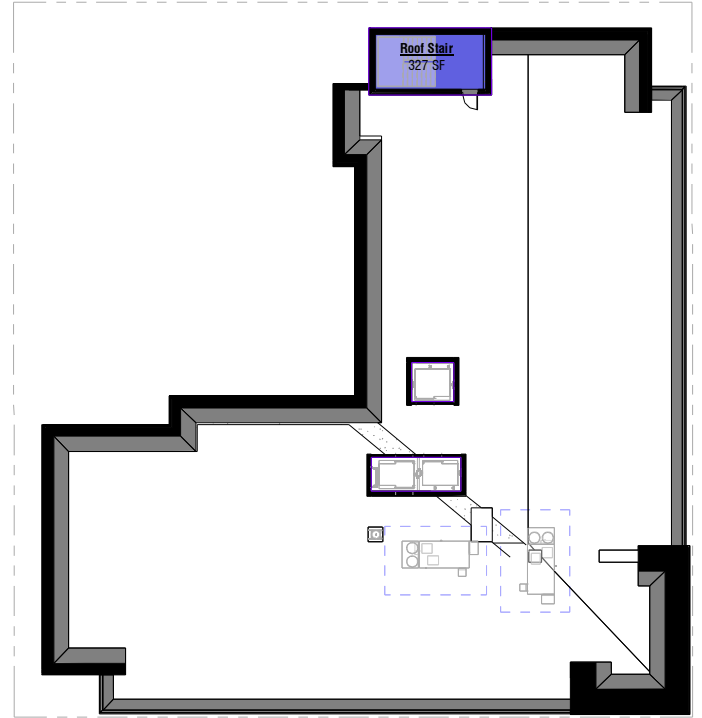


ADDENDUM SCHEDULE

No.	Date	Description

AREA PLANS

11-30-17
AR02



Building Area Legend

■ Roof Stair

1 GROSS AREA PLAN: ROOF
1/16" = 1'-0"

FAIRFIELD INN & SUITES SP
BL2017-819
Nov. 2, 2017

KANA HOTEL GROUP
FAIRFIELD INN & SUITES
113 29TH AVENUE NORTH
NASHVILLE, TN 37203



ADDENDUM SCHEDULE		
#	Date	Description

AREA PLANS

11-30-17
AR03