

HESSEY - HOGGETT FORD

PRELIMINARY SP APPLICATION - REVISED SUBMITTAL

January 31, 2017

MPC CASE # 2016S-21-001

Revised Submittal Date: February 14, 2017



PROJECT DESIGN TEAM

OWNER / DEVELOPER:



BEAZER HOMES
1010 ELM HILL PIKE
NASHVILLE, TENNESSEE 37210
(615) 244-9600
CONTACT: MATT WILLIAMS

SITE PLANNING AND ENGINEERING



GRESHAM SMITH AND PARTNERS
1400 NASHVILLE CITY CENTER, 511 UNION STREET
NASHVILLE, TENNESSEE 37219
(615) 770-8686
CONTACT: DON WILLIAMS

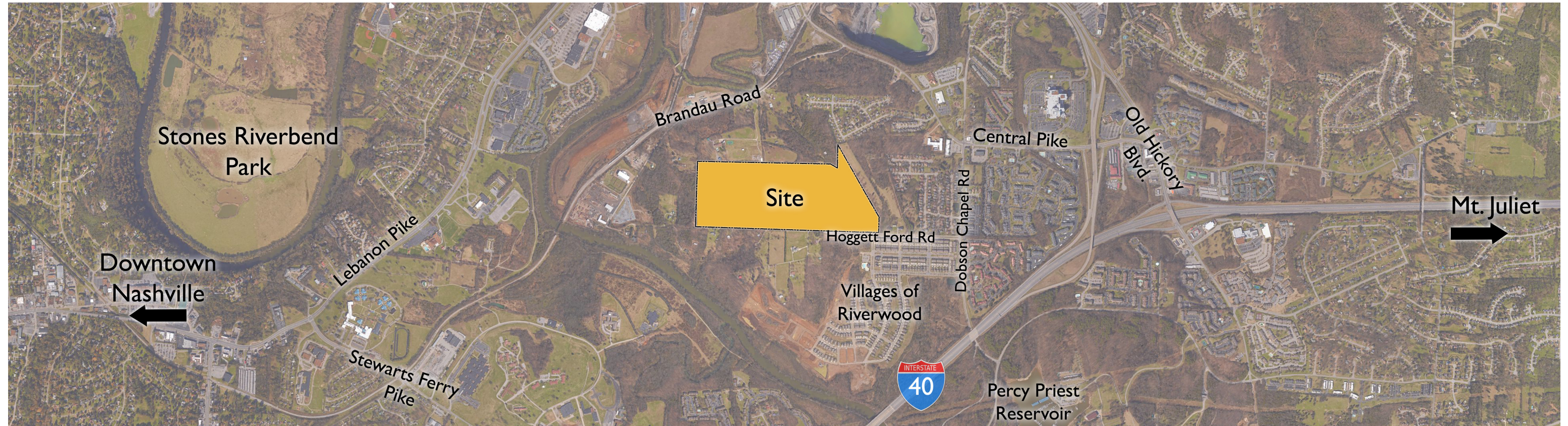
SP ZONING CONSULTANT:



KISER + VOGRIN DESIGN
5005 MERIDIAN BOULEVARD, SUITE 100
FRANKLIN, TENNESSEE 37067
(615) 813-0863
CONTACT: JEFF ROSIAK

PROJECT LOCATION

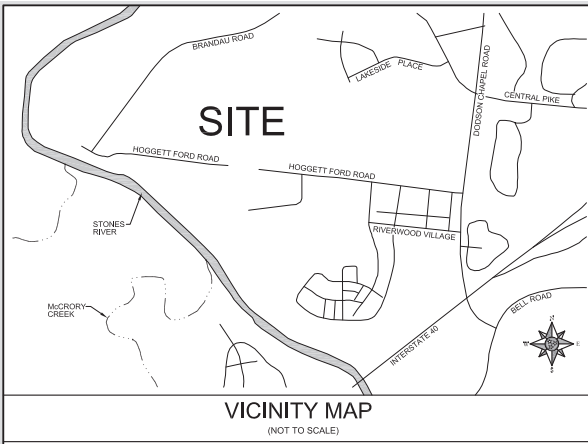
MPC CASE # 2016S-21-001



HESSEY-HOGGETT FORD PRELIMINARY SP

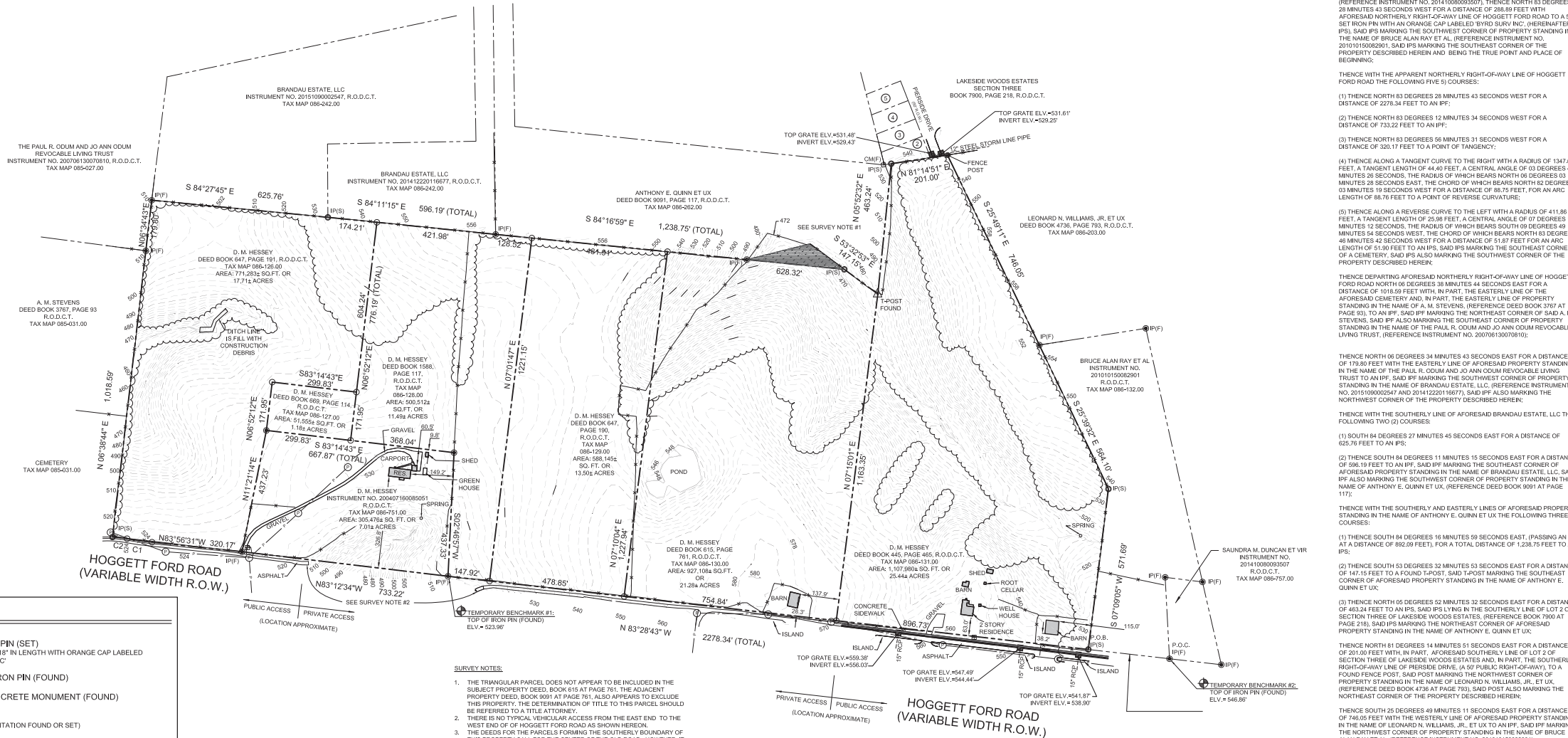
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BOUNDARY AND TOPOGRAPHIC SURVEY OF THE DANIEL M. HESSEY PROPERTY
14TH COUNCILMANIC DISTRICT
DAVIDSON COUNTY, NASHVILLE, TENNESSEE
MARCH 30, 2015

VICINITY MAP
(NOT TO SCALE)



LEGEND

- IP(S)= IRON PIN (SET)
5/8" IRON PIN, 18" IN LENGTH WITH ORANGE CAP LABELED BYRD SURV INC
- IP(F)= 1/2" IRON PIN (FOUND)
- CM(F)= CONCRETE MONUMENT (FOUND)
- POINT
(NO MONUMENTATION FOUND OR SET)
- ▲ T-POST (FOUND)
- FENCE POST (FOUND)
- ⊙ POWER/ UTILITY POLE
- DROP INLET/ CATCH BASIN
- SUBJECT PROPERTY LINE
- ADJOINING PROPERTY LINE
- FENCE
- OVERHEAD ELECTRIC LINE
- TREE LINE/ EDGE OF WOODS
- CREEK/ DITCH/ NATURAL DRAIN

CURVE DATA:

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	03°46'26"	1347.63'	88.76'	N 82°03'19" W	88.75'
C2	07°13'12"	411.86'	51.90'	N 83°46'42" W	51.87'

SURVEY NOTES:

- THE TRIANGULAR PARCEL DOES NOT APPEAR TO BE INCLUDED IN THE SUBJECT PROPERTY DEED, BOOK 615 AT PAGE 791. THE ADJACENT PROPERTY DEED, BOOK 9091 AT PAGE 761, ALSO APPEARS TO EXCLUDE THIS PROPERTY. THE DETERMINATION OF TITLE TO THIS PARCEL SHOULD BE REFERRED TO A TITLE ATTORNEY.
- THERE IS NO TYPICAL VEHICULAR ACCESS FROM THE EAST END TO THE WEST END OF HOGGETT FORD ROAD AS SHOWN HEREON.
- THE DEEDS FOR THE PARCELS FORMING THE SOUTHERLY BOUNDARY OF THIS PROPERTY CALL FOR THE CENTER OF THE OLD ROAD. HOWEVER, IT IS UNCERTAIN PRECISELY WHERE THE OLD ROAD WAS LOCATED. THEREFORE, THE SOUTHERLY BOUNDARY OF THE PROPERTY SHOWN HEREON IS BASED ON EXISTING MONUMENTATION.
- THE VERTICAL DATUM ON WHICH THE CONTOURS SHOWN HEREON ARE BASED IS NAVD 83. THE DATUM WAS ESTABLISHED BY GPS OBSERVATION ON THE I.D.O.T. RTK NETWORK. THE BASE STATION FOR THIS OBSERVATION IS DESIGNATED BY T.D.O.T. AS TN431. THE OBSERVATION WAS CONDUCTED ON MARCH 30, 2015.

LAND DESCRIPTION

SITUATE LYING AND BEING ALL THAT CERTAIN PIECE OR PARCEL OF LAND LOCATED IN COUNCILMANIC DISTRICT 14 OF DAVIDSON COUNTY, TENNESSEE, SAID PROPERTY STANDING IN THE NAME OF DANIEL M. HESSEY AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1/2" FOUND IRON PIN, (HEREINAFTER IPF), SAID IPF LYING IN THE NORTHERLY RIGHT-OF-WAY LINE OF HOGGETT FORD ROAD, A VARIABLE WIDTH PUBLIC RIGHT-OF-WAY, SAID IPF MARKING THE SOUTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF SAUNDRA M. DUNCAN ET VIR. (REFERENCE INSTRUMENT NO. 20141008093507), THENCE NORTH 83 DEGREES 28 MINUTES 43 SECONDS WEST FOR A DISTANCE OF 268.89 FEET WITH AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF HOGGETT FORD ROAD TO A 5/8" SET IRON PIN WITH AN ORANGE CAP LABELED "BYRD SURV INC", (HEREINAFTER IPS), SAID IPS MARKING THE SOUTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF BRUCE ALAN RAY ET AL. (REFERENCE INSTRUMENT NO. 20101050029091), SAID IPS MARKING THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREIN AND BEING THE TRUE POINT AND PLACE OF BEGINNING;

THENCE WITH THE APPARENT NORTHERLY RIGHT-OF-WAY LINE OF HOGGETT FORD ROAD THE FOLLOWING FIVE (5) COURSES:

- THENCE NORTH 83 DEGREES 28 MINUTES 43 SECONDS WEST FOR A DISTANCE OF 2278.34 FEET TO AN IPF;
- THENCE NORTH 83 DEGREES 12 MINUTES 34 SECONDS WEST FOR A DISTANCE OF 733.22 FEET TO AN IPF;
- THENCE NORTH 83 DEGREES 56 MINUTES 31 SECONDS WEST FOR A DISTANCE OF 320.17 FEET TO A POINT OF TANGENCY;
- THENCE ALONG A TANGENT CURVE TO THE RIGHT WITH A RADIUS OF 1347.63 FEET, A TANGENT LENGTH OF 44.40 FEET, A CENTRAL ANGLE OF 03 DEGREES 46 MINUTES 26 SECONDS, THE RADIUS OF WHICH BEARS NORTH 05 DEGREES 13 MINUTES 28 SECONDS EAST, THE CHORD OF WHICH BEARS NORTH 82 DEGREES 03 MINUTES 19 SECONDS WEST FOR A DISTANCE OF 88.76 FEET, FOR AN ARC LENGTH OF 88.76 FEET TO A POINT OF REVERSE CURVATURE;
- THENCE ALONG A REVERSE CURVE TO THE LEFT WITH A RADIUS OF 411.86 FEET, A TANGENT LENGTH OF 26.98 FEET, A CENTRAL ANGLE OF 07 DEGREES 13 MINUTES 12 SECONDS, THE RADIUS OF WHICH BEARS SOUTH 09 DEGREES 49 MINUTES 54 SECONDS WEST, THE CHORD OF WHICH BEARS NORTH 83 DEGREES 46 MINUTES 42 SECONDS WEST FOR A DISTANCE OF 51.90 FEET FOR AN ARC LENGTH OF 51.90 FEET TO AN IPF, SAID IPS MARKING THE SOUTHWEST CORNER OF A CEMETERY, SAID IPS ALSO MARKING THE SOUTHWEST CORNER OF THE PROPERTY DESCRIBED HEREIN;

THENCE DEPARTING AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF HOGGETT FORD ROAD NORTH 08 DEGREES 38 MINUTES 44 SECONDS EAST FOR A DISTANCE OF 1018.29 FEET WITH, IN PART, THE EASTERLY LINE OF THE AFORESAID CEMETERY AND, IN PART, THE EASTERLY LINE OF PROPERTY STANDING IN THE NAME OF A. M. STEVENS, (REFERENCE DEED BOOK 3767 AT PAGE 93), TO AN IPF, SAID IPF MARKING THE NORTHEAST CORNER OF SAID A. M. STEVENS, SAID IPF ALSO MARKING THE SOUTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF THE PAUL R. ODUM AND JO ANN ODUM REVOCABLE LIVING TRUST, (REFERENCE INSTRUMENT NO. 20070613007018);

THENCE NORTH 06 DEGREES 34 MINUTES 43 SECONDS EAST FOR A DISTANCE OF 179.80 FEET WITH THE EASTERLY LINE OF AFORESAID PROPERTY STANDING IN THE NAME OF THE PAUL R. ODUM AND JO ANN ODUM REVOCABLE LIVING TRUST TO AN IPF, SAID IPF MARKING THE SOUTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF BRANDAU ESTATE, LLC, (REFERENCE INSTRUMENTS NO. 20101050029091 AND 122011000117), SAID IPF MARKING THE SOUTHWEST CORNER OF THE NORTHWEST CORNER OF THE PROPERTY DESCRIBED HEREIN;

THENCE WITH THE SOUTHERLY LINE OF AFORESAID BRANDAU ESTATE, LLC THE FOLLOWING TWO (2) COURSES:

- SOUTH 84 DEGREES 27 MINUTES 45 SECONDS EAST FOR A DISTANCE OF 625.76 FEET TO AN IPF;
- THENCE SOUTH 84 DEGREES 11 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 596.19 FEET TO AN IPF, SAID IPF MARKING THE SOUTHWEST CORNER OF AFORESAID PROPERTY STANDING IN THE NAME OF BRANDAU ESTATE, LLC, SAID IPF ALSO MARKING THE SOUTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF ANTHONY E. QUINN ET UX, (REFERENCE DEED BOOK 9091 AT PAGE 117);

THENCE WITH THE SOUTHERLY AND EASTERLY LINES OF AFORESAID PROPERTY STANDING IN THE NAME OF ANTHONY E. QUINN ET UX THE FOLLOWING THREE (3) COURSES:

- THENCE SOUTH 14 DEGREES 16 MINUTES 59 SECONDS EAST, PASSING AN IPF AT A DISTANCE OF 892.09 FEET, FOR A TOTAL DISTANCE OF 1,238.75 FEET TO AN IPF;
- THENCE SOUTH 53 DEGREES 32 MINUTES 53 SECONDS EAST FOR A DISTANCE OF 147.16 FEET TO A FOUND T-POST, SAID T-POST MARKING THE SOUTHWEST CORNER OF AFORESAID PROPERTY STANDING IN THE NAME OF ANTHONY E. QUINN ET UX;
- THENCE NORTH 05 DEGREES 52 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 463.24 FEET TO AN IPF, SAID IPS LYING IN THE SOUTHERLY LINE OF LOT 2 OF SECTION THREE OF LAKEVIEW WOODS ESTATES, (REFERENCE DEED BOOK 7900 AT PAGE 218), SAID IPS MARKING THE NORTHEAST CORNER OF AFORESAID PROPERTY STANDING IN THE NAME OF ANTHONY E. QUINN ET UX;

THENCE NORTH 81 DEGREES 14 MINUTES 51 SECONDS EAST FOR A DISTANCE OF 201.00 FEET WITH, IN PART, THE SOUTHERLY LINE OF LOT 2 OF SECTION THREE OF LAKEVIEW WOODS ESTATES AND, IN PART, THE SOUTHERLY RIGHT-OF-WAY LINE OF HERBIE DRIVE, (A 30' PUBLIC RIGHT-OF-WAY), TO A FOUND FENCE POST, SAID POST MARKING THE NORTHWEST CORNER OF PROPERTY STANDING IN THE NAME OF LEONARD N. WILLIAMS, JR., ET UX. (REFERENCE DEED BOOK 4738 AT PAGE 793), SAID POST ALSO MARKING THE NORTHEAST CORNER OF THE PROPERTY DESCRIBED HEREIN;

THENCE SOUTH 25 DEGREES 49 MINUTES 11 SECONDS EAST FOR A DISTANCE OF 746.05 FEET WITH THE WESTERLY LINE OF AFORESAID PROPERTY STANDING IN THE NAME OF BRUCE ALAN RAY ET AL. THE FOLLOWING TWO (2) COURSES:

- THENCE SOUTH 25 DEGREES 39 MINUTES 32 SECONDS EAST FOR A DISTANCE OF 584.10 FEET TO AN IPS;
- THENCE SOUTH 07 DEGREES 09 MINUTES 05 SECONDS WEST FOR A DISTANCE OF 571.69 FEET TO AN IPF LYING IN AFORESAID NORTHERLY RIGHT-OF-WAY LINE OF HOGGETT FORD ROAD, SAID IPF BEING THE TRUE POINT AND PLACE OF BEGINNING AND CONTAINING 4,252,059 SQUARE FEET OR 97.81 ACRES OF LAND, MORE OR LESS, ALL AS SHOWN ON A DRAWING, (B10810-15), PREPARED BY JOHN M. PAYNE, P.L.S. NO. 345 OF BYRD SURVEYING, INC., AND DATED MARCH 30, 2015.

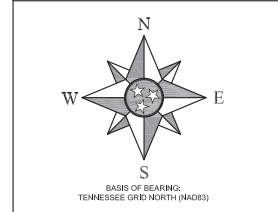
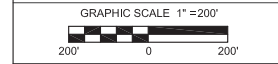
THE ABOVE DESCRIBED PROPERTY BEING THE SAME PROPERTY DESCRIBED IN THE FOLLOWING DEEDS:

- DEED BOOK 647 AT PAGE 191, (2) DEED BOOK 669 AT PAGE 114, (3) INSTRUMENT NO. 200407160085561, (4) DEED BOOK 1988 AT PAGE 117, (5) DEED BOOK 647 AT PAGE 190, (6) DEED BOOK 615 AT PAGE 781 AND (7) DEED BOOK 445 AT PAGE 485.

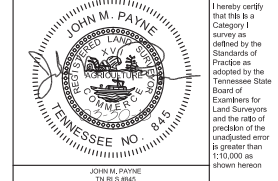
THE DEEDS REFERRED TO IN THE FOREGOING DESCRIPTION ARE RECORDED IN THE REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE. THIS DESCRIPTION IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHTS-OF-WAY OR OTHER ENCUMBRANCES THAT MAY EXIST.

BYRD SURVEYING INC.
 CLARKSVILLE OFFICE
 2302 W. OGDEN LANE
 CLARKSVILLE, TN 37040
 PHONE: 615-150-5058
 FAX: 615-150-5077
 NASHVILLE: 615-734-2131
 TOLL FREE: 1-800-498-9888

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I hereby certify that this is a Category I survey as defined by the Standards of Practice as adopted by the Tennessee State Board of Examiners for Land Surveyors and the ratio of unadjusted error is greater than 1:10,000 as shown herein.



PROPERTY AREA

GENERAL NOTES:

- BEFORE REVISION ON TENNESSEE GRID NORTH (NAD83).
- THE PROPERTY SHOWN ON THIS SURVEY IS SUBJECT TO ALL EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, AND OTHER RESTRICTIONS WHETHER IMPLIED OR OF RECORD.
- THIS SURVEY WAS PREPARED FROM THE ORIGINAL HARD COPY BEARING THE SURVEYOR'S SEAL AND SIGNATURE, TO ENSURE THE ACCURACY OF THE INFORMATION ON THIS SURVEY SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS, THE SURVEYOR'S ORIGINAL HARD COPY SHOULD BE ISSUED AT THE TIME OF THE SURVEY.
- BEFORE REVISION ON TENNESSEE GRID NORTH (NAD83).
- UNADJUSTED ERROR OF CLOSURE IS GREATER THAN 1:10,000.
- HORIZONTAL DATUM: NAVD 83 (NAD 83) OBSERVATION ON MARCH 18, 2015.
- THE TOPOGRAPHIC DATA SHOWN HEREON WAS DERIVED FROM A FIELD SURVEY AND MEETS THE MINIMUM STANDARDS REQUIRED BY T.C.A. § 26-2-203.
- PROPERTY CURRENTLY ZONED RS-18.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. THE USE OF THIS SURVEY CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THE TRACT.
- THIS SURVEY WAS CONDUCTED TO THE MINIMUM STANDARDS AS REGULATED UNDER THE AUTHORITY OF T.C.A. § 26-2-203.
- THE SURVEYOR HAS REVIEWED THE RECORDS OF THE TENNESSEE LAND SURVEYORS' BOARD AND REGULATIONS, 2011 EDITION.
- THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY IF ANY, NAMED ON THE CERTIFICATION HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR (NAD83).
- HERON PROPERTY IS SUBJECT TO THE RESTRICTIONS AND REGULATIONS SET FORTH BY THE DAVIDSON COUNTY REGIONAL PLANNING COMMISSION.
- CONTACT PROPER AUTHORITIES BEFORE CONSTRUCTING NEAR UTILITY LINES FOR PROPER EASEMENT WIDTHS & RESTRICTIONS.
- THE CERTIFICATION AS PROVIDED ON THIS SURVEY IS INTENDED AS A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE PROVIDED BY OTHERS.
- THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- THIS SURVEY WAS PREPARED FROM CURRENT DEEDS AND RATS OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE SEARCH MAY REVEAL.
- NO LIABILITY WILL BE ACCEPTED BEYOND THAT OF THE FOUR (4) YEAR STATUTE OF LIMITATIONS (T.C.A. §§ 26-1-14 & T.C.A. §§ 26-2-202) ORIGINATING FROM THE FIELD DATE SHOWN HEREON.

HERON PROPERTY IS SUBJECT TO ANY USE OF SAME WITHOUT THE EXPRESS WRITTEN PERMISSION OF BYRD SURVEYING INC. (IPF) PROHIBITED.

REVISION TABLE

NO.	DATE	DESCRIPTION
1.		
2.		
3.		

ORDERED BY: STEPHEN POWER
 LAND ACQUISITION MANAGER-NASHVILLE
 BEAZER HOMES

PROPERTY ADDRESS: 3738 HOGGETT FORD ROAD
 HERMITAGE, TENNESSEE 37076

OWNER: DANIEL M. HESSEY
 3738 HOGGETT FORD ROAD
 HERMITAGE, TENNESSEE 37076

DEED INSTRUMENT NO. AS SHOWN HEREON
 TAX MAP NO. PARCELS: 130.00, 131.00, 132.00, 133.00, 134.00, 135.00, 136.00
 HERITAGE, DAVIDSON COUNTY, TENNESSEE

DRAWING SCALE: 1" = 200' PROJ.: B10810-15
 DRAWN BY: JMP / RMW DATE: MARCH 31, 2015
 CHECKED BY: JMP DATE: MARCH 31, 2015
 FIELD CREW: RCH DATE: MARCH 31, 2015

PATH: P:\MASTER\PROJ2015\B10810-15\B10810-15.DWG

3 HESSEY - HOGGETT FORD
PRELIMINARY SP APPLICATION
EXISTING CONDITIONS - SITE SURVEY/ PARCEL INFORMATION

SOILS ANALYSIS



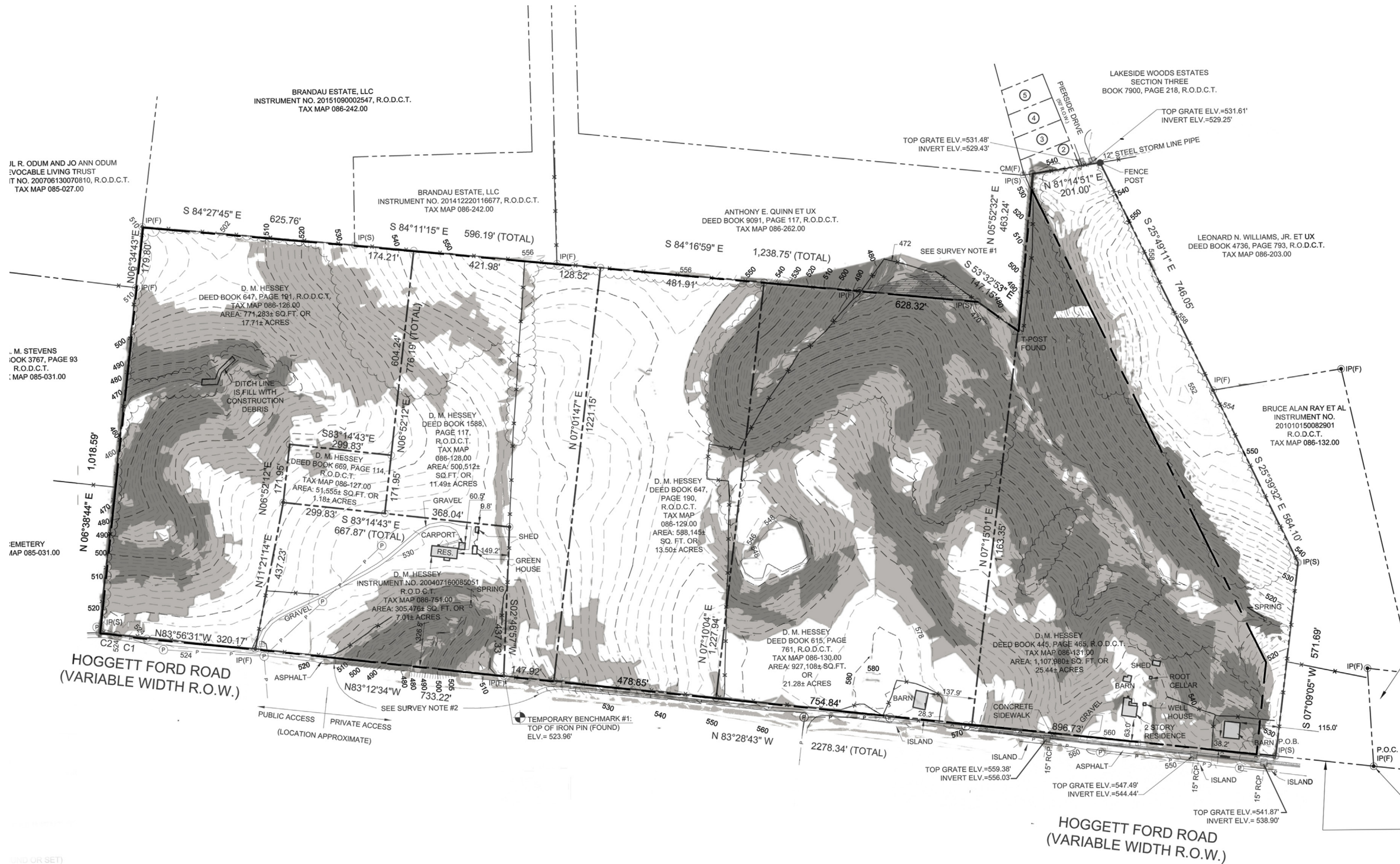
SOIL MAP

LEGEND

- StC** Stiversville Loam, 3 to 12 percent slopes
- StD** Stiversville Loam, 12 to 25 percent slopes
- MaB** Maury Silt Loam, 2 to 7 percent slopes
- BbD** Barfield-Rock Outcrop Complex, 5 to 20 percent slopes
- RtC** Rock Outcrop Talbott Complex 5 to 15 percent

SLOPE STEEPNESS KEY

- 0 - 8%
- 8 - 15%
- 15%+





5 HESSEY - HOGGETT FORD
PRELIMINARY SP APPLICATION
EXISTING CONDITIONS - VEGETATION, HYDROLOGY, & CONTEXT



REGULATING PLAN DATA

Existing Zoning:	RS15 - Single Family
Proposed Zoning:	SP (with R6 Base District)
Community Plan Policy:	
Existing:	T2 RM Rural Maintenance
Proposed:	T3 NE Neighborhood Evolving
Total Gross Acreage:	89.82 acres
Proposed Open Space:	+/- 36 Acres (40%)
Proposed Land Use:	Residential Mixed/Use (Single Family Detached Homes, Villa (Duplex Homes), and Community Clubhouse)
Residential Data	
Proposed Units:	
	160 52' Front Load Single Family Lots
	61 42' Alley Load Single Family Lots
	34 (68 Units) Villa Lots
Total :	289 Dwelling Units
Proposed Density:	3.21 D.U. per acre

If a development standard, not including permitted uses, is absent from the Preliminary SP plan and/or council approval, the property shall be subject to the standards, regulations, and requirements of the R6 zoning district as of the date of the applicable request or application.

MPC CASE # 2016S-21-001

REGULATING PLAN OVERALL GOALS AND OBJECTIVES

- The Hessey development shall be governed by a newly established H.O.A. independent from villages at Riverwood or other residential community
- Default zoning district shall be R6.
- Project will have single-family, detached homes on perimeters with exception of alley-loaded single family homes fronting on Hoggett Ford Road where this project opposite townhomes within the Riverwood development and where age-targeted villa homes transition to undeveloped property to the North.
- Avoid Alley homes facing single family detached homes
- Building types to include alley-loaded single family homes, front-loaded single family homes, and duplex villa homes.
- Network streets to provide walkability, convenience and emergency access
- No alleys adjacent to off-site properties, only front or side loaded homes where lots back up to the perimeter of the development
- Stub street connections are provided to the north, south, and west (2) and may be extended off-site in the future (by others)
- Parking pads (driveway parking) only for alleys without on-street parking
- Where rear yards abut the project boundary, a 50' wide common open space / buffer shall be provided
- No vehicular crossings of delineated streams
- Preserve and feature the legacy tree adjacent to the pond and generously preserve trees and buffers adjacent to streams
- Where existing trees are on property boundaries, provide a 25' wide zone of no disturbance
- Trees in good condition within 5' of the perimeter of the development shall remain (unless removal is necessary for extension of public streets or utilities)

ZONING AND LAND USE STANDARDS

- Proposed Base Zoning: R6
- Proposed uses include: single family detached homes, duplex homes, recreation and preservation areas
- Community recreation facilities shall include services that support the community residents and provide conveniences that will reduce traffic impacts to roads outside the SP.
- Proposed building typology regulations vary from the underlying zoning in order to introduce lots with traditional neighborhood character.

MINIMUM PARKING REQUIREMENTS

- Two off-street parking spaces required per single family unit (including garage parking)
- All alley-loaded lots (as identified on page 6) shall be accessed via the alley.
- Tandem parking outside garages shall be permitted to meet these requirements.

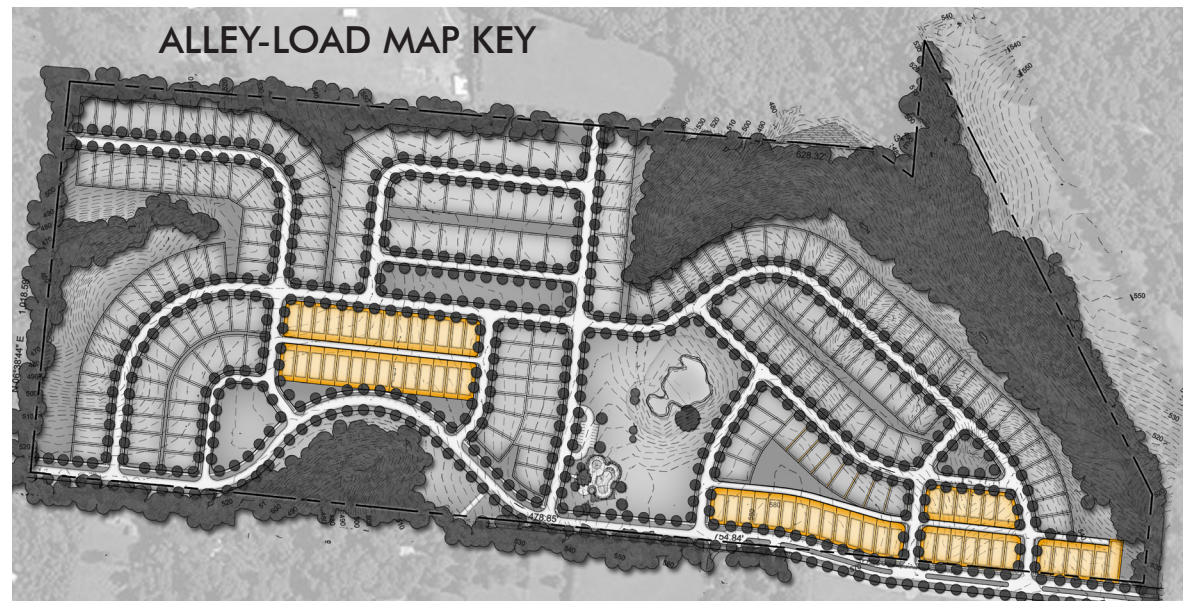
PHASING PLAN / REGULATING PLAN STANDARDS & OBJECTIVES



REALIGNMENT OF HOGGETT FORD ROAD

Existing conditions — Hoggett Ford Road is not a classified thoroughfare on metro's major thoroughfare plan. A variable width and narrow row follows the southern boundary of the Hessey properties. A rural, one-lane rural road is within most of the row. There is a major gap, however, separating east and west segments of Hoggett Ford Road. A heavily wooded valley and a spring-fed stream are located within the gap in Hoggett Ford. Where Hoggett Ford runs along the frontage of the villages at Riverwood development, an existing boulevard will serve as the primary access to the Hessey-Hoggett Ford development.

- Hoggett Ford Road will be aligned to avoid impacting existing stream and forested valley
- Boulevard portion will terminate at a amenity area which will act as a gateway to the community
- Hoggett Ford will continue from amenity as a local street.
- Residential driveway access is prohibited on all portions of Hoggett Ford Road, off-site estate lots exempted.
- Impacts on established estate lot neighborhood and western section of existing Hoggett Ford Road to be minimized. ROW to be provided to connect to West Hoggett Ford Road.
- A multi-use pedestrian/bike trail shall parallel the new Hoggett Ford Road. The trail shall be on the south side of the road, in lieu of a standard sidewalk.



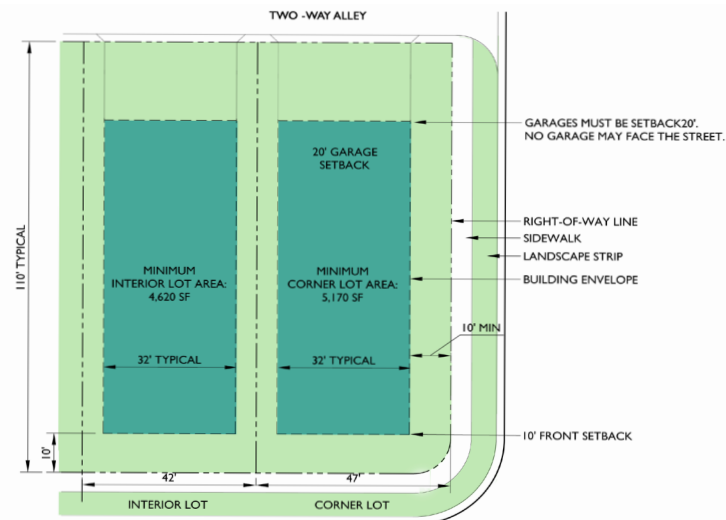
ALLEY-LOADED SINGLE FAMILY DETACHED (42' X 110' TYPICAL LOT)

Interior Lot

- Minimum Lot Area:** 4500 sf
- Maximum Building Coverage:** 65%
- Minimum Lot Width at Front Setback:** 48 ft
- Minimum Lot Depth:** 110 ft
- Front Setback:** 10' minimum
- Optional Porch Setback:** 5' minimum
- Side Setback:** 5' minimum
- Rear Setback:** 5' minimum. Garages shall be alley-loaded and must be set back 20' from the rear property line. No garage may face the side street.
- Maximum Height:** 3 stories
- Foundation at Front Facade:** 18" minimum
- Porch Depth (Optional):** 6' minimum
- Materials:** See Architectural Standards on Page 10

Corner lot

- Minimum Lot Area:** 5000 sf
- Maximum Building Coverage:** 65%
- Minimum Lot Width at Front Setback:** 53 ft
- Minimum Lot Depth:** 110 ft
- Front Setback:** 10' minimum
- Optional Porch Setback:** 5' minimum
- Side Setback:** 5' minimum
- Side Street Setback:** 10' min.
- Rear Setback:** 5' minimum, garages shall be alley-loaded and must be set back 20' from the rear property line. No garage may face the street.
- Maximum Height:** 3 stories
- Foundation at Front Facade:** 18" minimum
- Porch Depth (Optional):** 6' minimum
- Materials:** See Architectural Standards on Page 10



FINLEY ARCHITECTURAL STYLE

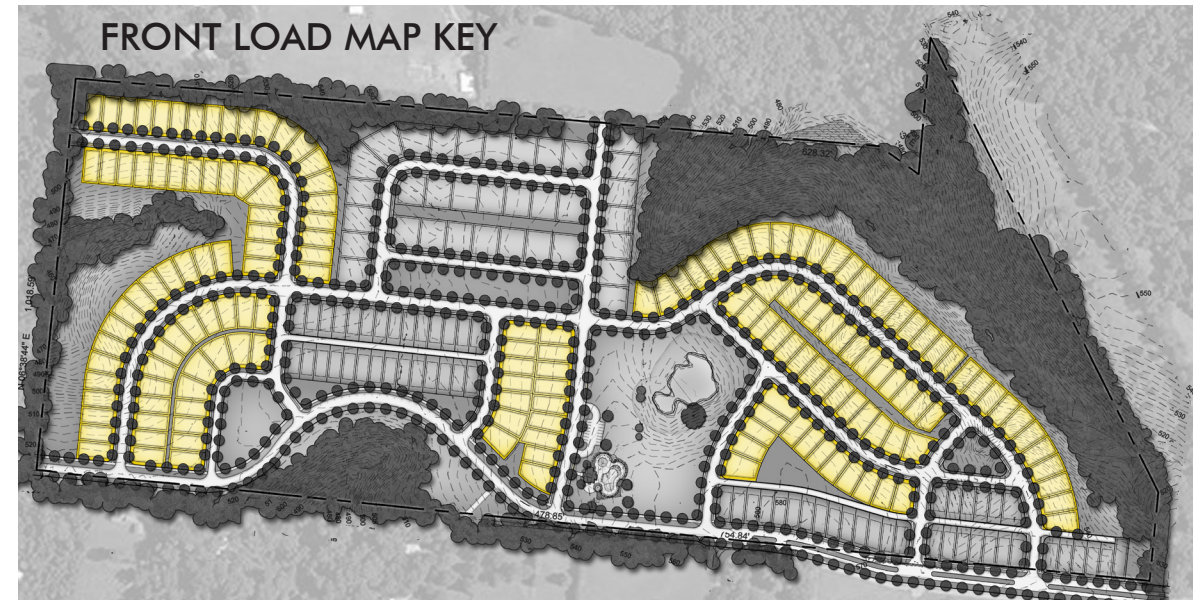


CHADWICK ARCHITECTURAL STYLE



AMBERBROOK ARCHITECTURAL STYLE





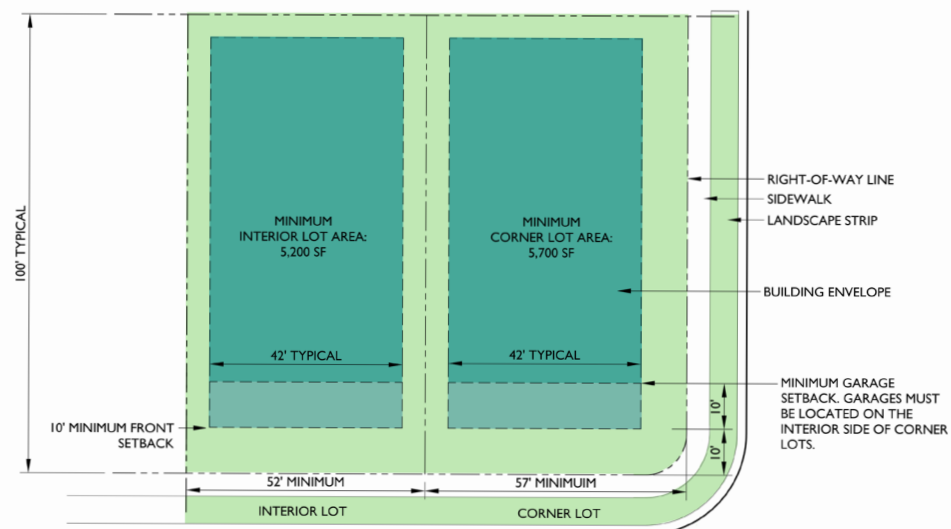
SINGLE FAMILY DETACHED HOME (52' X 100' TYPICAL LOT)

Interior Lot

- Minimum Lot Area: 5000 sf
- Maximum Building Coverage: 70%
- Minimum Lot Width at Front Setback: 39 ft
- Minimum Lot Depth: 100 ft
- Front Setback: 10' minimum
- Front Garage Setback: 20' minimum
- Optional Porch Setback: 10' minimum
- Side Setback: 5' minimum
- Rear Setback: 5' minimum
- Maximum Height: 3 stories
- Foundation at Front Facade: 18" minimum
- Porch Depth (Optional): 6' minimum
- Materials: See Architectural Standards on Page 10

Corner Lot

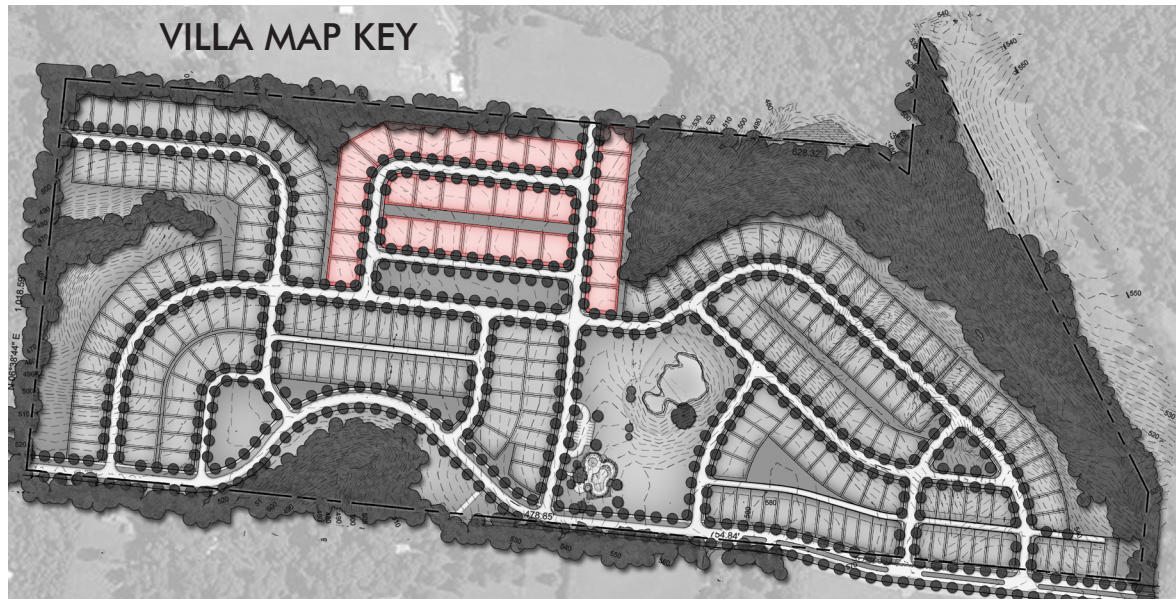
- Minimum Lot Area: 5500 sf
- Maximum Building Coverage: 70%
- Minimum Lot Width at Front Setback: 44 ft
- Minimum Lot Depth: 100 ft
- Front Setback: 10' minimum
- Front Garage Setback: 20' minimum
- Optional Porch Setback: 10' minimum
- Side Setback: 5' minimum
- Rear Setback: 5' minimum
- Maximum Height: 3 stories
- Foundation at Front Facade: 18" minimum
- Porch Depth (Optional): 6' minimum
- Side Street Setback: 10' min.
- Materials: See Architectural Standards on Page 10



ARCHITECTURAL CHARACTER



Character images from the Tuscan Gardens community by Beazer Homes.



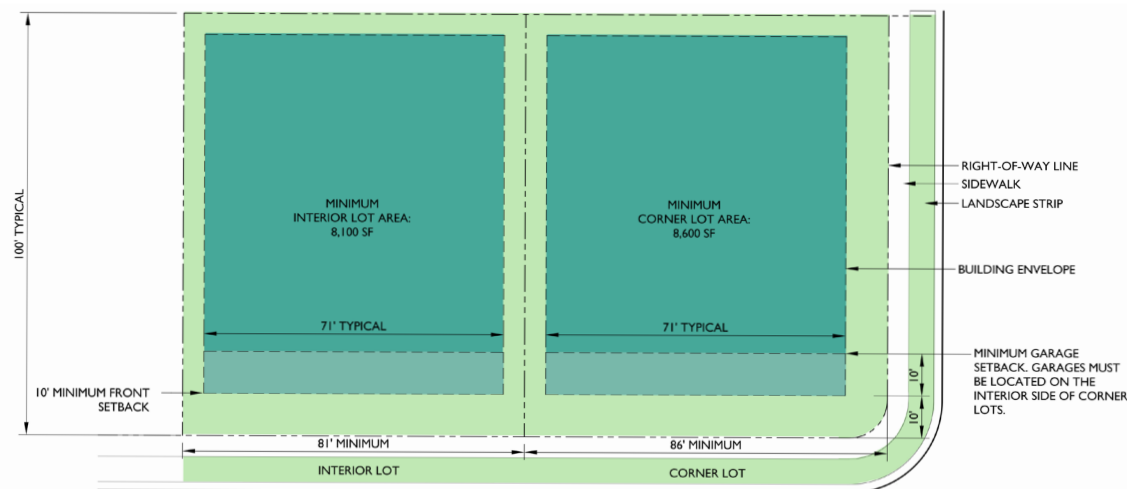
VILLA (81' X 100' TYPICAL LOT)

Interior Lot

Minimum Lot Area: 8000 sf
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 62 ft
Minimum Lot Depth: 100 ft
Front Setback: 10' minimum
Front Garage Setback: 20' minimum
Side Setback: 5' minimum
Rear Setback: 5' minimum
Maximum Height: 3 stories
Foundation at Front Facade: 0" (Active Adult)
Garage Treatment: Carriage Style Doors
Vertical Windows: 2:1 Ratio
Materials: See Architectural Standards

Corner Lot

Minimum Lot Area: 8500 sf
Maximum Building Coverage: 75%
Minimum Lot Width at Front Setback: 70 ft
Minimum Lot Depth: 100 ft
Front Setback: 10' minimum
Front Garage Setback: 20' minimum
Side Setback: 5' minimum
Rear Setback: 5' minimum
Maximum Height: 3 stories
Foundation at Front Facade: 0" (Active Adult)
Side Street Setback: 10' min.
Garage Treatment: Carriage Style Doors
Vertical Windows: 2:1 Ratio
Materials: See Architectural Standards



ARCHITECTURAL CHARACTER

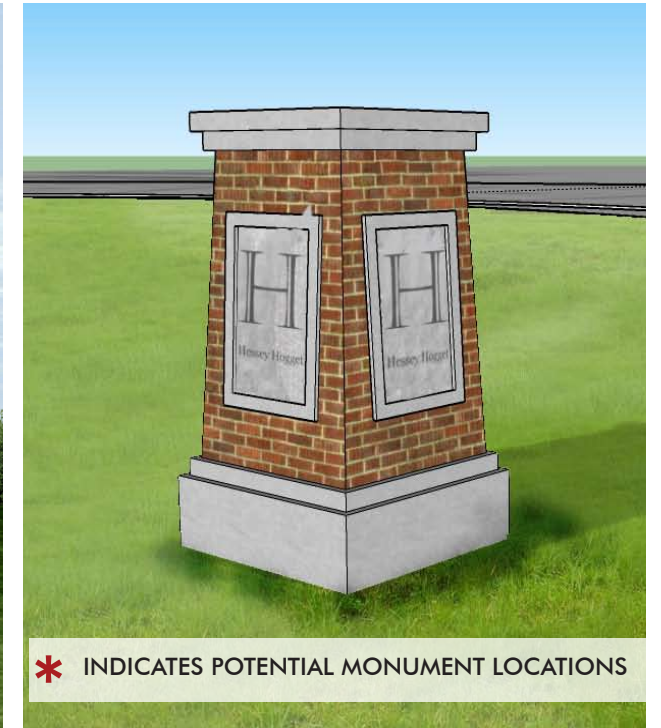


ELEVATED ARCHITECTURAL STANDARDS (ALL PRODUCT TYPES)

1. Building materials - Homes to be constructed of quality exterior materials. Building facades to be comprised of brick, stone, cultured stone, and/or cementitious siding. EIFS, vinyl siding, and untreated wood are not permitted (vinyl accents, vinyl trim, and vinyl soffit are permitted).
2. All homes (single family detached and villa) shall primarily be brick on all 4 sides.
3. No vinyl or metal siding products will be used for accents and gables (vinyl only used on soffits as they benefit the homeowner regarding future maintenance).
4. We will build Tuscan Gardens' signature series style homes for the front-loaded single family detached. The alley-oated homes and duplex villa homes will have similar architectural finishes as the front-loaded single family detached.
5. The Hessey property community and its homes will have their own distinctive architectural character. Character will feature the more muted colors representative of those used within Tuscan Gardens. The separate and improved character will be reinforced by not repeating any of the front elevations that have been built within Riverwood.
6. Primary building facades fronting a street shall include a minimum of one principal entrance (doorway).
7. Windows shall be oriented vertically with a ratio of 2:1 or greater.
8. All shutters shall be the same size as window openings.
9. All homes shall include either a covered front porch or covered entry stoop.
10. Front-loaded garages at front-loaded single family lots and at duplex villa lots (as identified on page 6) shall have up-graded carriage-style garage doors.
11. Garages shall not protrude in front of the front facade of the residential structure except for Villa Elevation B (indicated on this page)
12. Corner units shall address both streets.
13. Front Façade to have 20% minimum glazing (glazing consists of entire openings at all openings including doors, garage doors, windows and etc.) of the entire façade excluding gables and dormers above the top plate.

COMMUNITY AMENITIES

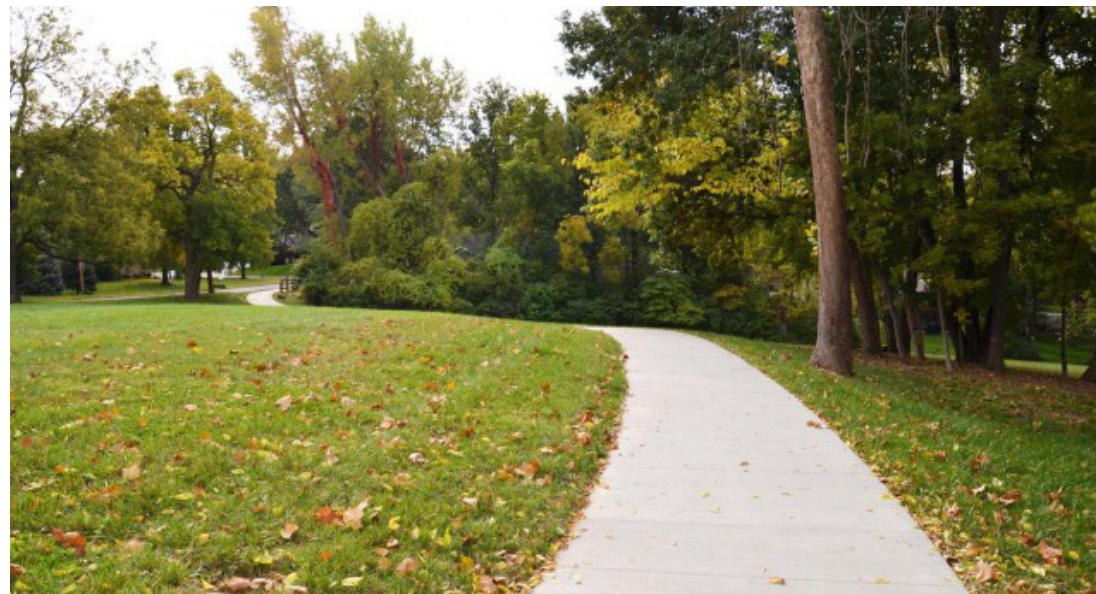
1. The community will include a resident's clubhouse, fitness center and swimming pool within the development (separate from villages at Riverwood)
2. The primary amenity area including clubhouse and pool will be located adjacent to dedicated open space / park area
3. Existing farm pond to be inside dedicated open space for recreational and environmental purposes
4. For the benefit of the community and the greater area, we will construct bikeway/ greenway trails within the Hessey Property parallel to Hoggett Ford Road and connecting to the adjacent property to the North and toward a potential commuter rail stop. These trails, combined, will be roughly 3,450 feet long (see page 12 for conceptual greenway plan).



* INDICATES POTENTIAL MONUMENT LOCATIONS

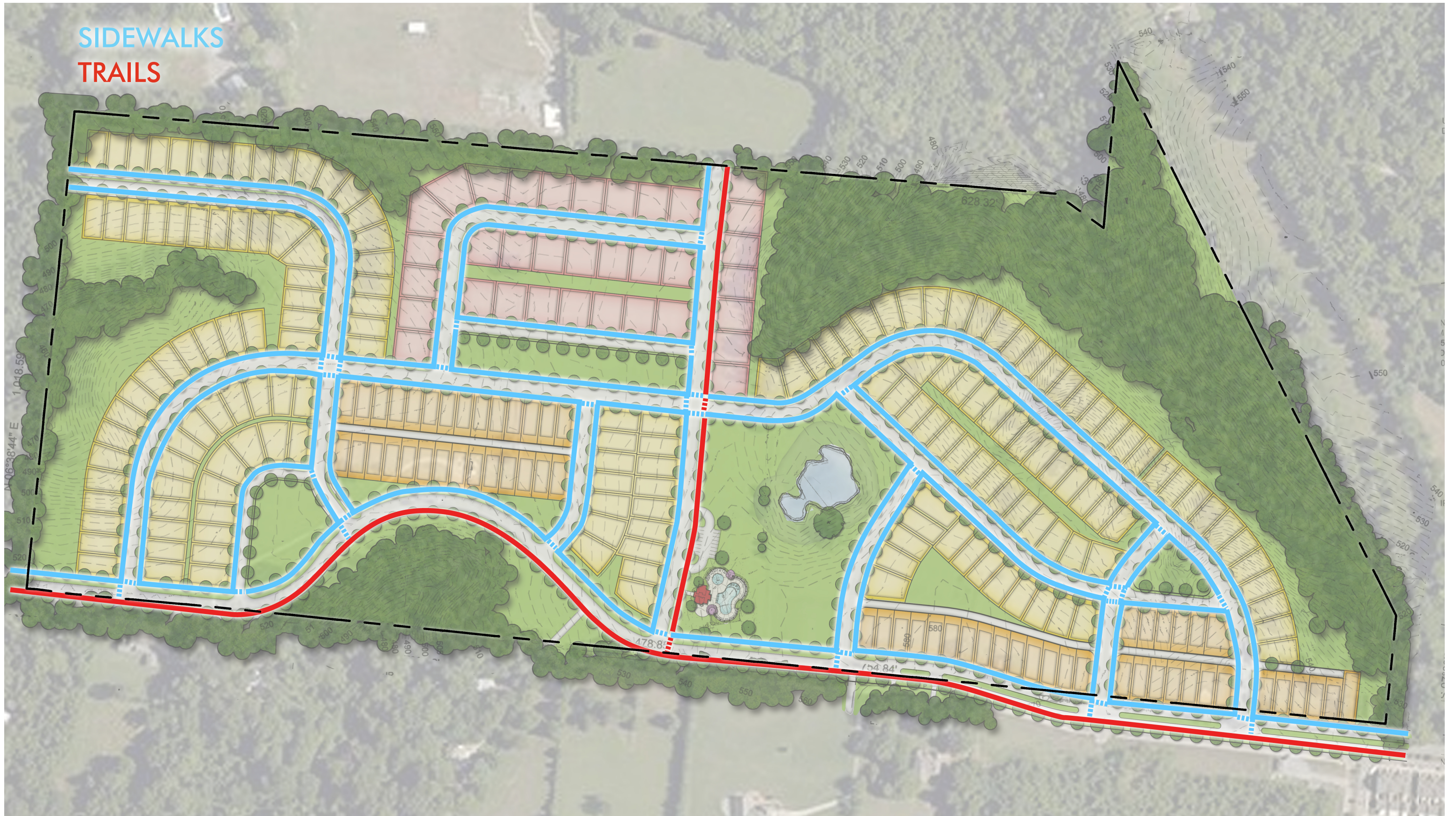


AMENITY MAP KEY



Character images from Beazer Homes & other representative projects.

SIDEWALKS
TRAILS





GENERAL NOTES

1. All streets and alleys will be deeded to the city as public rights-of-way, and thus, will be maintained by metro Nashville/Davidson county. All private drives will be maintained by the HOA.
2. Each street type is designed for a specific condition based on traffic volumes, frequency of trips, desired parking conditions, traffic calming, relationship to housing type, and access for emergency vehicles. The plan shall be flexible to respond to physical site conditions, adjustments in market conditions, engineering standards, and community desires. The Preliminary SP allows for variations in the design of the street network, street sections and block layout so long as it meets the intent of the regulations and guidelines within.
3. Final development construction plans shall be reviewed and approved by metro public works prior to any construction.
4. Site triangle at intersections within the Preliminary SP shall be reviewed and approved by metro public works prior to any construction.

GOALS AND OBJECTIVES

1. The network of interconnected streets is designed to disperse traffic and provide multiple entrances and access points for residents and emergency vehicles.
2. Streets should accommodate on-street parking where necessary to provide guest parking within the community.
3. Streets should be designed with respect to the existing terrain and with consideration of the existing drainage patterns of the site. Existing trees should be preserved where possible.

Key Notes:

1. A future connection to the west 'leg' of existing Hoggett Ford Road is provided. An emergency access provision will be included in the boulevard portion in the initial construction w/o a daily use vehicular connection (now Hoggett Ford R.O.W. extends to boundary).
2. R.O.W. extended to boundary to facilitate possible off site extensions (future by others).

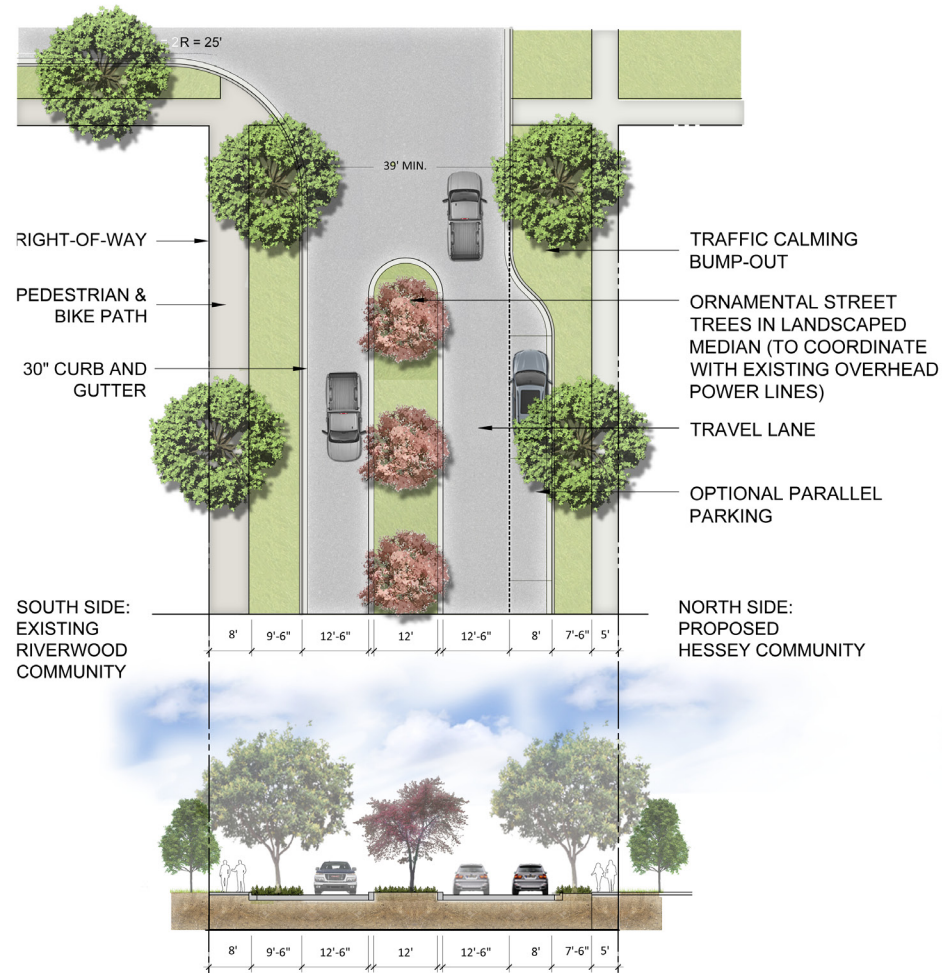
TWO-WAY PARK ROAD (39' R.O.W)

ALLEY (20' R.O.W.)

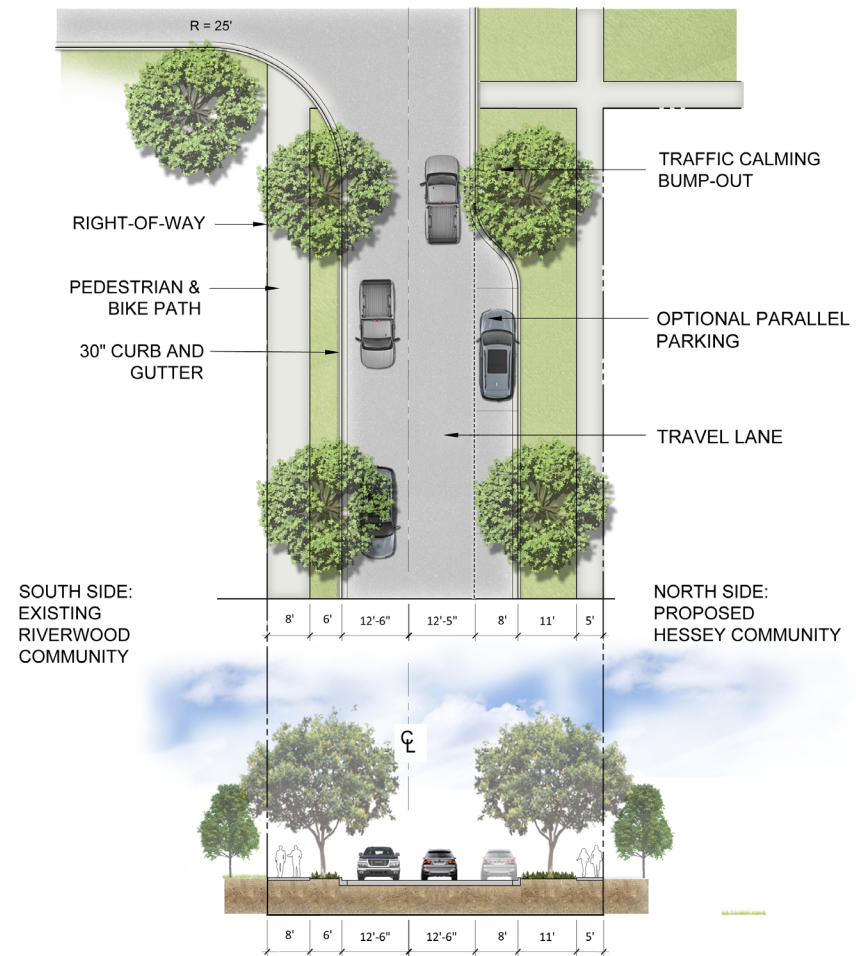
HOGGETT FORD ROAD BOULEVARD (R.O.W. VARIES)

LOCAL ROAD (51' R.O.W)

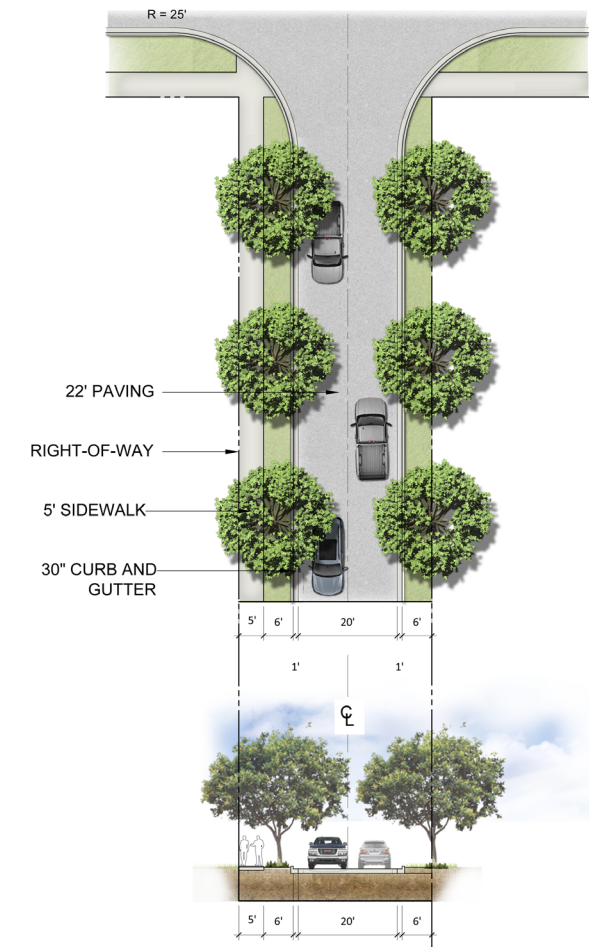
PARALLEL PARKING



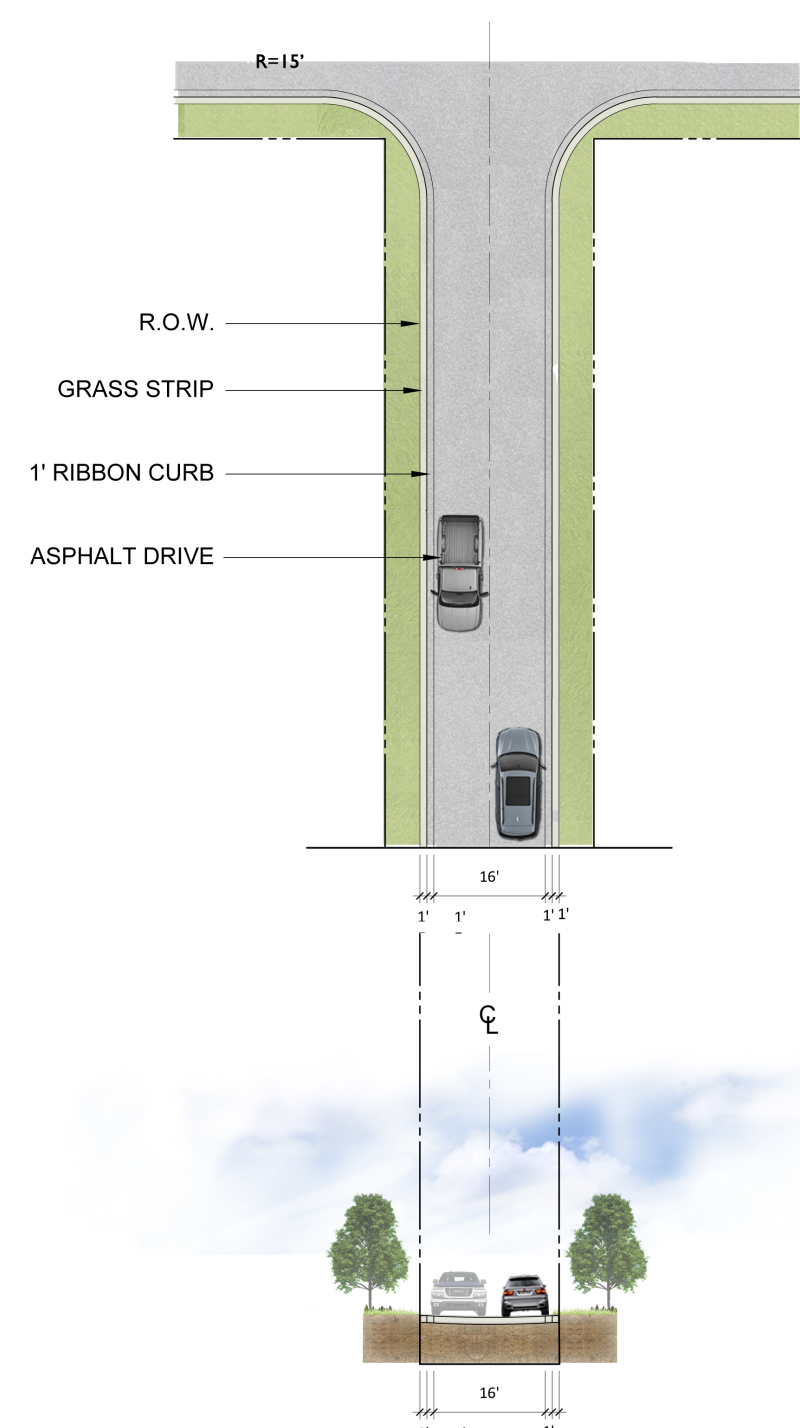
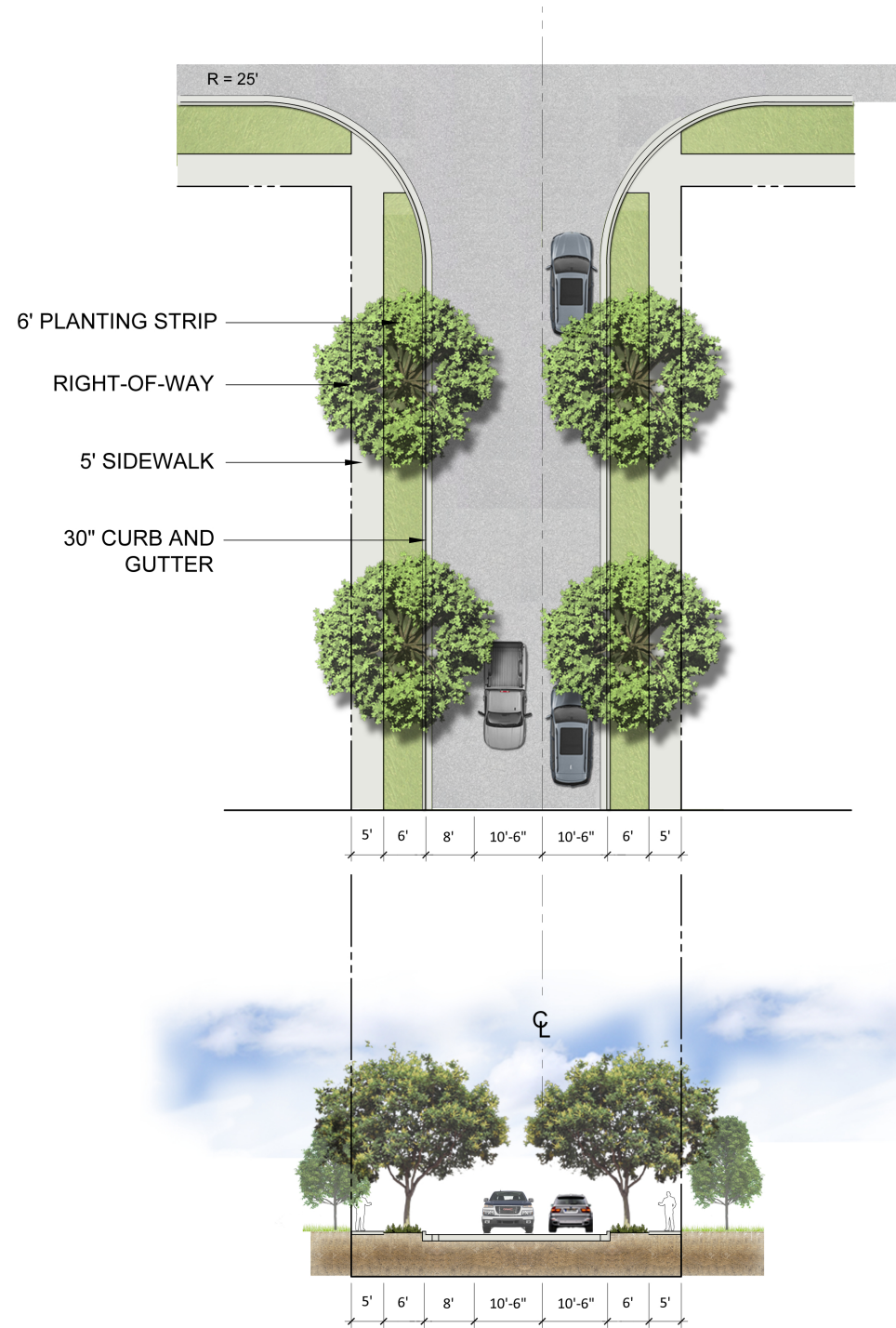
HOGGETT FORD ROAD (BLVD PORTION) (77' R.O.W.)



HOGGETT FORD ROAD CONTINUATION (63' R.O.W.)



TWO-WAY PARK ROAD (39' R.O.W.)

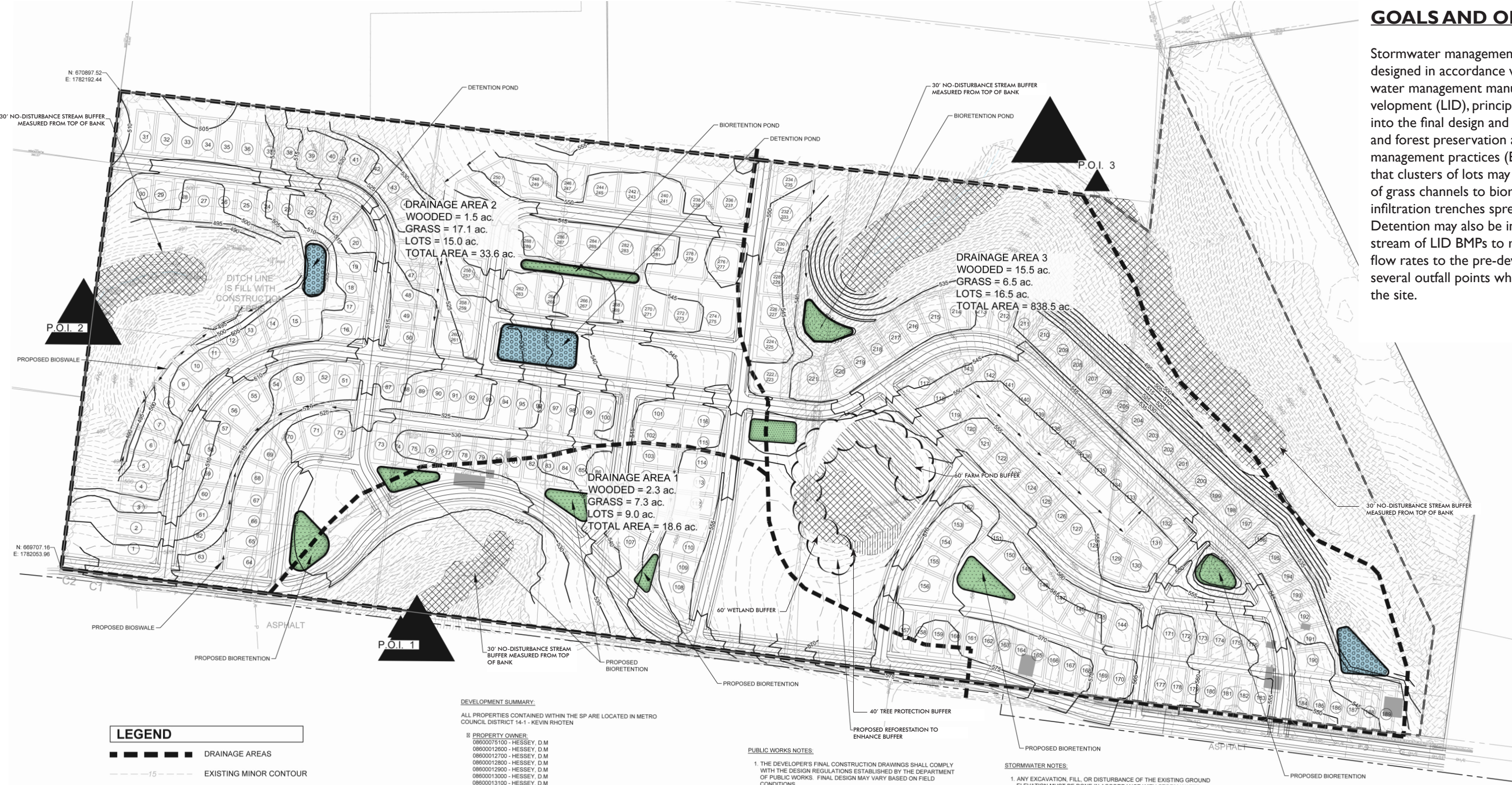


LOCAL ROAD (51' R.O.W)

ALLEY (20' R.O.W.)

GOALS AND OBJECTIVES

Stormwater management features will be designed in accordance with the metro stormwater management manual. For Low Impact Development (LID), principles will be incorporated into the final design and may include open space and forest preservation and structural best management practices (BMPs), it is anticipated that clusters of lots may drain through a series of grass channels to bioretention areas and/or infiltration trenches spread throughout the site. Detention may also be incorporated downstream of LID BMPs to reduce post-developed flow rates to the pre-developed flow rates at several outfall points where stormwater leaves the site.



DRAINAGE AREA 2
 WOODED = 1.5 ac.
 GRASS = 17.1 ac.
 LOTS = 15.0 ac.
 TOTAL AREA = 33.6 ac.

DRAINAGE AREA 3
 WOODED = 15.5 ac.
 GRASS = 6.5 ac.
 LOTS = 16.5 ac.
 TOTAL AREA = 838.5 ac.

DRAINAGE AREA 1
 WOODED = 2.3 ac.
 GRASS = 7.3 ac.
 LOTS = 9.0 ac.
 TOTAL AREA = 18.6 ac.

LEGEND

- 15--- EXISTING MINOR CONTOUR
- 15--- EXISTING MAJOR CONTOUR
- BIOWSALE
- PROPOSED LEVEL 2 BIORETENTION POND
- PROPOSED EXTENDED DETENTION POND

DEVELOPMENT SUMMARY:
 ALL PROPERTIES CONTAINED WITHIN THE SP ARE LOCATED IN METRO COUNCIL DISTRICT 14-1 - KEVIN RHOTEN

PROPERTY OWNER:
 08600075100 - HESSEY, D.M
 08600012600 - HESSEY, D.M
 08600012700 - HESSEY, D.M
 08600012800 - HESSEY, D.M
 08600012900 - HESSEY, D.M
 08600013000 - HESSEY, D.M
 08600013100 - HESSEY, D.M

DEVELOPER:
 BEAZER HOMES
 1010 ELM HILL PIKE
 NASHVILLE, TN 37210
 CONTACT: MATT WILLIAMS
 PHONE: (615) 244-9600

SP NAME: HESSEY - HOGGETT FORD
 SP CASE NUMBER: TBD

DESIGN PROFESSIONAL:
 GRESHAM, SMITH AND PARTNERS
 MARK SPALDING, P.E.
 1400 NASHVILLE CITY CENTER, 511 UNION STREET
 NASHVILLE, TN 37219
 PHONE: (615) 770-8441
 MARK_SPALDING@GSPNET.COM

PROPERTIES CONTAINED WITHIN THE SP ARE LOCATED ON FEMA FIRM MAP NUMBER 47037C0252F AND 47037C0261F. ALL OF THE PROPERTIES ARE CLASSIFIED AS ZONE X AND ARE DETERMINED TO BE OUTSIDE OF ALL FLOODPLAINS.

PUBLIC WORKS NOTES:

1. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
2. SOLID WASTE AND RECYCLING WILL BE PROVIDED PER CODE REQUIREMENTS. DETAILS WILL BE INCLUDED IN THE FINAL SP PLAN.

GENERAL NOTES:

1. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.
2. IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLAN AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE MUN ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION. USES ARE LIMITED AS DESCRIBED IN THE COUNCIL APPROVED PLAN.

STORMWATER NOTES:

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR PUBLIC UTILITIES ON THIS SITE.

BUFFER NOTES:

1. STREAM BUFFERS INDICATED IN CONCEPT ONLY. FINAL BUFFER WIDTH TO BE DETERMINED AT THE TIME OF FINAL SP.

NOTE: THE DEVELOPMENT WILL REQUIRE PUBLIC WORKS APPROVAL OF DETAILED CONSTRUCTION PLANS PRIOR TO GRADING OF THE SITE. PLANS SHALL COMPLY WITH DESIGN REGULATIONS ESTABLISHED BY THE DEVELOPMENT OF PUBLIC WORKS UNLESS SUPERCEDED BY STANDARDS WITHIN THIS SP.

Note: This development will require Public Works approval of detailed construction plans prior to grading of the site. Plans shall comply with design regulations established by the Department of Public Works unless superceded by standards within this SP.

BRANDAU ESTATE, LLC
INSTRUMENT NO. 20151090002547, R.O.D.C.T.
TAX MAP 086-242.00



GOALS AND OBJECTIVES

1. The existing vegetation and tree canopy will be preserved as shown (exact locations are preliminary and are subject to change with the final design).
2. Street trees will be located an average of 40' o.c. (Exact locations shown on plan are preliminary and are subject to change at final design). Conflicts with underground utilities will be avoided. Street trees will not be required in proximity to installed underground utilities.
3. Landscape buffers are not required between uses within the Preliminary SP.
4. Where rear yards are adjacent to the UDO boundary, 50' buffer shall consist of preserved existing trees and are intended to provide a spatial buffer between proposed lots and adjacent properties.
5. Existing trees are intended to be preserved, where possible, within the Hoggett Ford Road corridor and the Hessey Development to serve as a buffer between adjacent properties.
6. All trail locations are preliminary and subject to change with the final design. Final locations of trails will be coordinated by the owner. The owner will dedicate easements as specified on the plan for the greenway trail connections.
7. Depending on context, street trees are optional where streets abut natural character common open spaces.
8. All common open space areas shall be owned and maintained by the Homeowner's Association.