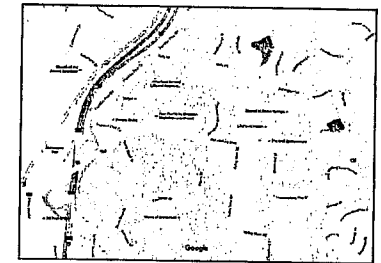


# PRELIMINARY SPECIFIC PLAN PLATINUM STORAGE BRENTWOOD

BRENTWOOD, DAVIDSON COUNTY, TENNESSEE

CASE NO. 2016SP-090-001  
LEA PROJECT NO. 514716066  
REVISED JANUARY 26, 2017



VICINITY MAP  
NOT TO SCALE

### DEVELOPMENT SUMMARY / SITE DATA

PROJECT NAME: PLATINUM STORAGE BRENTWOOD  
MAP/PARCELS: 16068, 64, 216, 110, 125, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

COUNCIL DISTRICT: 4  
COUNCIL MEMBER: ROBERT SHOPE

EXISTING USE: VACANT  
DISTING ZONING: MGN, OI  
OVERLAYS: RESIDENTIAL PLUD  
PROPOSED USE: COMMERCIAL STORAGE  
PROPOSED ZONING: SP

SP DISTRICT STANDARDS  
LOT SIZE: 2.81 AC  
FAR: 2.85  
ISD: 0.38

STREET CROWN/STREET TYPE: OLD HICKORY BLVD, 25'-4" WIDE, 5'-1/2" SPL. GRASS STRIP, 8 FT. SIDEWALK

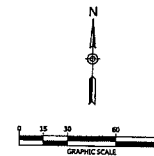
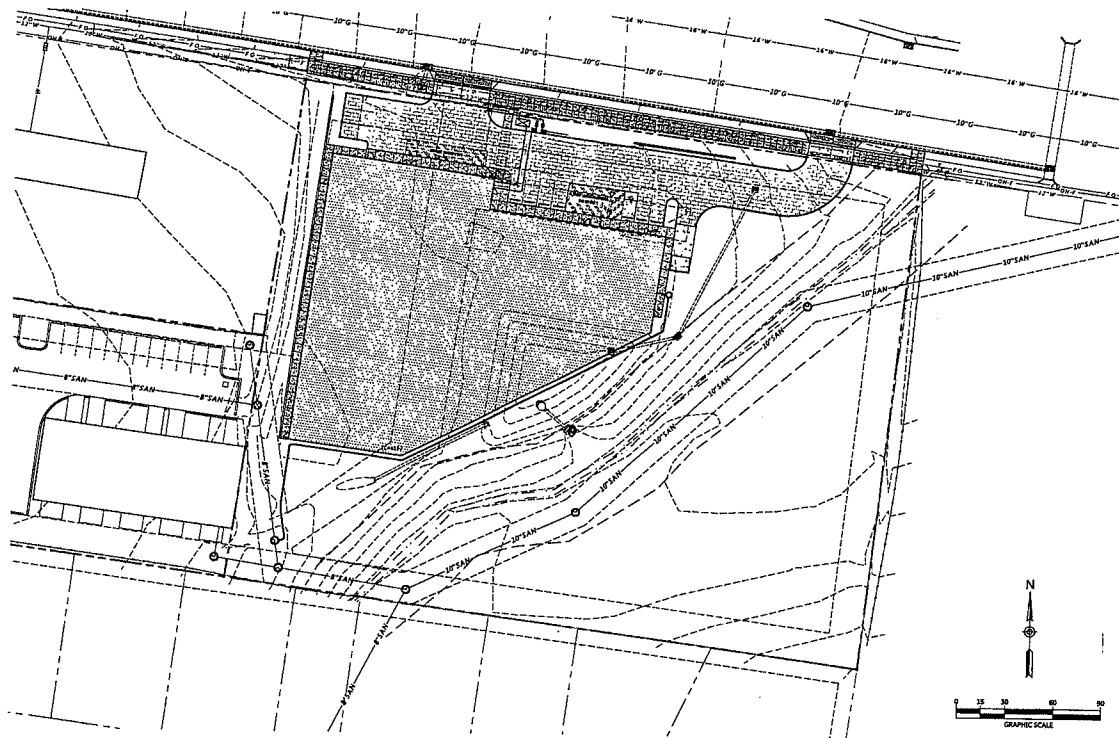
RESIDING HEIGHT: 4 STORIES MAX 48 FT.

RESIDING DATA: 116,000 GSF  
898 STORAGE UNITS  
1,027 SF OFFICE/Lobby SPACE

PARKING REQUIREMENTS: 8 SPACES MIN.  
SEE SITE PLAN  
PARKING PROVIDED: 8 SPACES (3 ADA)

DEVELOPER: HANFORD HILLS STORAGE PARTNERS, LLC  
8888 RESEARCH DR.  
BRYAN, TX 77803  
540-970-2222

APPLICANT: T TODD LEA  
3315 21ST AVE SOUTH  
NASHVILLE, TN 37213  
CONTACT: TRAVIS TODD, PE  
615-383-4344  
TTODD@LEA.COM



### INDEX OF SHEETS

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE DEMOLITION
C3.0	SITE LAYOUT
C4.0	SITE GRADING & DRAINAGE
C5.0	SITE UTILITIES
L1.0	SITE LANDSCAPE PLAN
A1.00	FLOOR 1
A1.01	FLOORS 2-4 (TYP.)
A3.00	EXTERIOR ELEVATIONS
A4.00	PERSPECTIVE RENDERINGS

### NOTES

- THE PURPOSE OF THIS SP IS TO PERMIT A CLIMATE-CONTROLLED STORAGE FACILITY.
- ANY DEMOLITION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 707 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNIMPACTED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SITE PLAN DOES NOT PREVENT ANY FRAGILE SHOWING ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO TOPOGRAPHY, STEEP SLOPES, UNSTABLE SOILS, SHROUDS, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN MAY OF 2017 AND WILL TAKE APPROXIMATELY 7 MONTHS TO BE COMPLETED.
- EIFL, VINYL SIDING AND LAMINATED WOOD SHALL BE PROHIBITED.

ARCHITECT  
**KSP Studio**  
23 Orchard Road, Suite 200  
Lake Forest, Cal. 92630  
949-380-3970

PREPARED FOR  
**PLATINUM STORAGE GROUP**  
IRVINE, CALIFORNIA

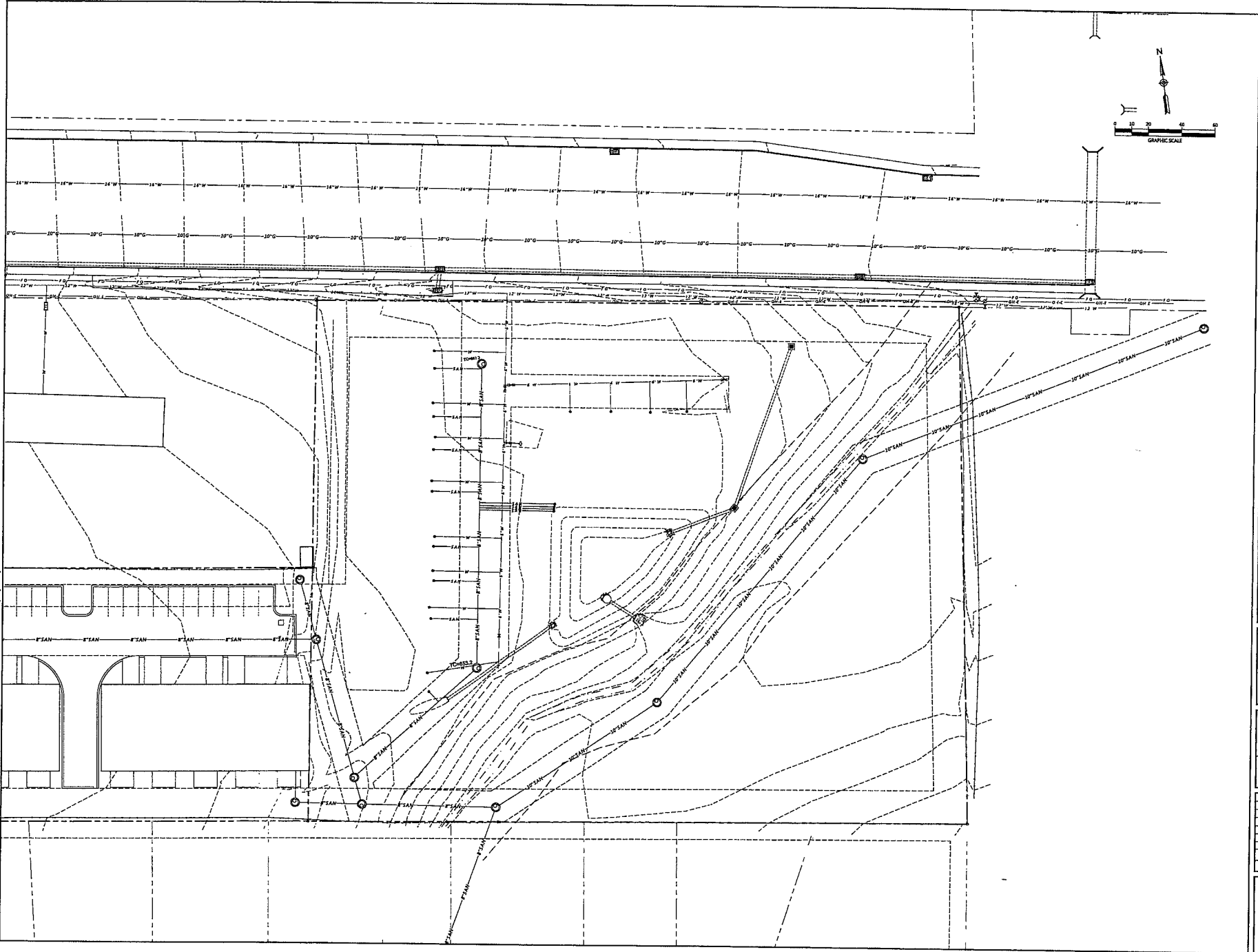
CIVIL ENGINEER/LANDSCAPE ARCHITECTURE  
**Littlejohn**  
An S&ME Company

105 21st Avenue South, NASHVILLE, TENNESSEE 37213  
T 615.261.6144 F 615.261.6100 www.littlejohn.com



Revised & Resubmitted  
JAN 26 2017  
Metropolitan Planning Department

C:\Projects\2016\19171000\user\cawood\cawood\c1.0.dwg DATE: 04/25/2017 4:58pm by: jw



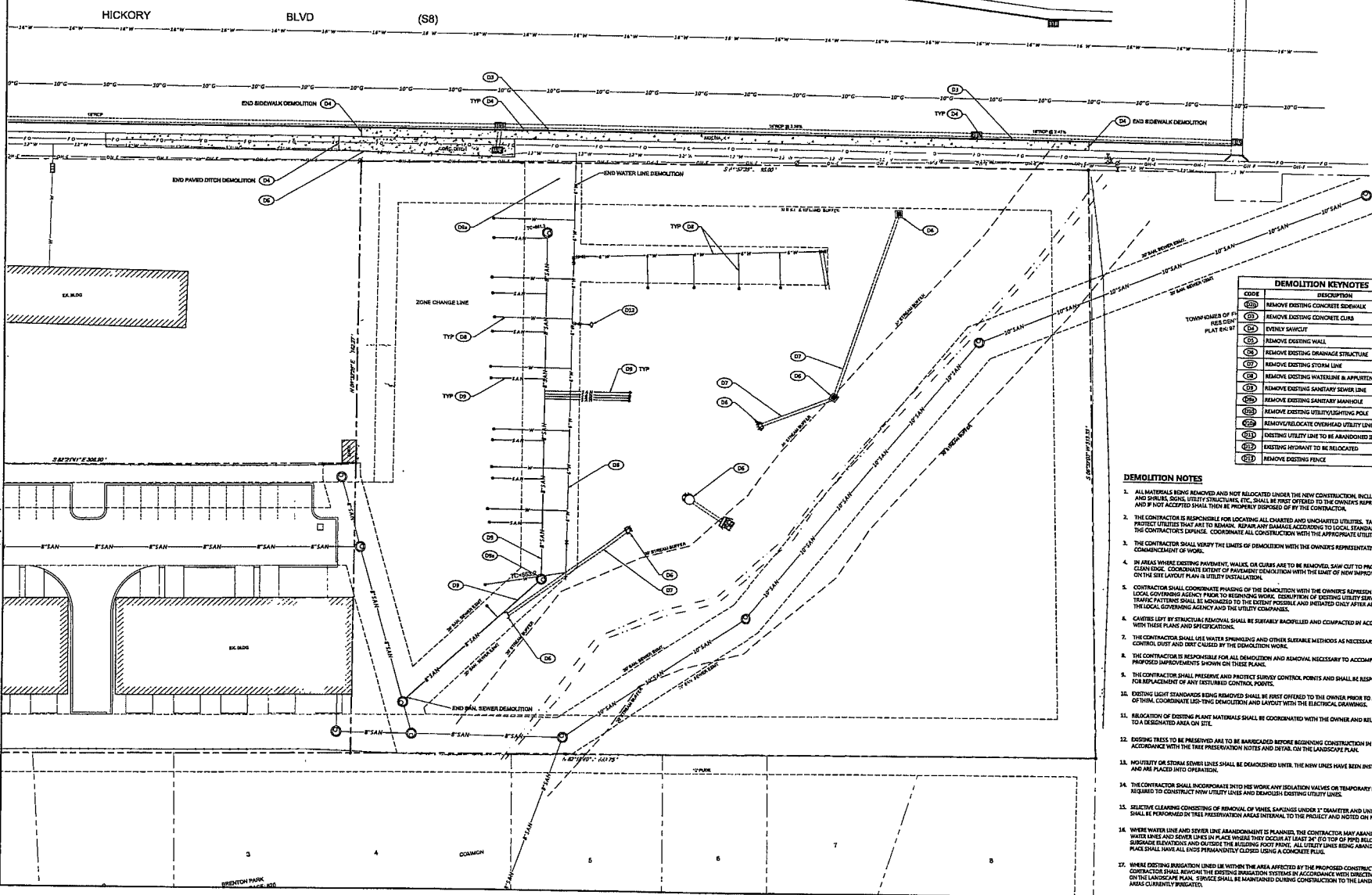
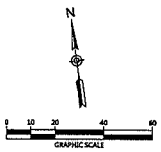
Platinum Storage Brentwood  
PRELIMINARY SPECIFIC PLAN  
OLD HICKORY BLVD.  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE No. 2016SP-099-001

PLATINUM STORAGE GROUP  
IRVINE, CAL.



DATE: 11-28-16  
PROJECT: 514716006

C1.0  
EXISTING CONDITIONS



DEMOLITION KEYNOTES	
CODE	DESCRIPTION
K1	REMOVE EXISTING CONCRETE SIDEWALK
K2	REMOVE EXISTING CONCRETE CURB
K3	EVENLY SAWCUT
K4	REMOVE EXISTING WALL
K5	REMOVE EXISTING DRAINAGE STRUCTURE
K6	REMOVE EXISTING STORM LINE
K7	REMOVE EXISTING WATERLINE & APPURTENANCES
K8	REMOVE EXISTING SANITARY SEWER LINE
K9	REMOVE EXISTING SANITARY MANHOLE
K10	REMOVE EXISTING UTILITY/LOADING POLE
K11	REMOVE/RELOCATE OVERHEAD UTILITY LINE
K12	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE
K13	EXISTING HYDRANT TO BE RELOCATED
K14	REMOVE EXISTING FENCE

**DEMOLITION NOTES**

- ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGN, UTILITY STRUCTURES, ETC. SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHANGED AND UNCHANGED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGES ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN BY UTILITY UTILITIES.
- CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. IDENTIFY EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MAINTAINED TO THE EXTENT POSSIBLE AND INDICATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
- CURTAINS LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BAGGED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DEBRIS CAUSED BY THE DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
- EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE EXISTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
- RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
- EXISTING TREES TO BE PRESERVED ARE TO BE TAGGED PRIOR TO BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAIL ON THE LANDSCAPE PLAN.
- UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNLESS THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
- THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
- SELECTIVE CLEANING CONSISTING OF REMOVAL OF VINYL SAMPINGS UNDER 1" DIAMETER AND UNDERGROUND SHALL BE PERFORMED IN THE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR SHALL ABANDON WATER LINE AND SEWER LINE IN PLACE UNLESS THEY OCCUR AT LEAST SIX (6) FEET TOP OF FRED BELLUM SHALL SURGEAGE ELEVATIONS AND OUTSIDE THE INCLUDING FOOT PRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CAPPED USING A CONCRETE PLUG.
- WHERE EXISTING IRRIGATION LINES ARE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL ADVISE THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH SPECIFICS NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY BUDGETED.



**Platinum Storage Brentwood**  
 PRELIMINARY SPECIFIC PLAN  
 OLD HICKORY BLVD.  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE No. 2016SP-099-001

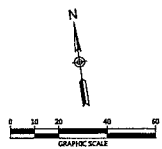
PLATINUM STORAGE GROUP  
 IRVINE, CAL.



DATE	REVISIONS
11-26-16	514710088

**C2.0**  
 SITE DEMOLITION

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- NOTES**
1. THE FINAL SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PROPOSED WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE OCCUPANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE REDIGATED TO PROVIDE A MINIMUM OF 5 FEET OF CLEAR ACCESS.
  2. UPON COMPLETION OF THE PROJECT SIDEWALKS WITHIN THE SITE SHALL BE ADA COMPLIANT, WHICH MAY REQUIRE REPLACEMENT OF SIDEWALKS ALONG THE PROPERTY FRONTAGE.
  3. NO VERTICAL OBSTRUCTIONS SHALL BE WITHIN PROPOSED SIDEWALKS. ALL POWER POLES, SIGNS, ETC. ARE TO BE REDIGATED AND THE SIDEWALKS TO BE CLEAR FROM OBSTRUCTIONS.
  4. A RECYCLING CONTAINER SHALL BE PLACED INSIDE THE SOLID WASTE ROOM.

**Littlejohn**  
An S&ME Company  
433 Highland Lane, Brentwood, Tennessee 37028  
T 615.831.0227 F 615.831.3349 www.littlejohn.com

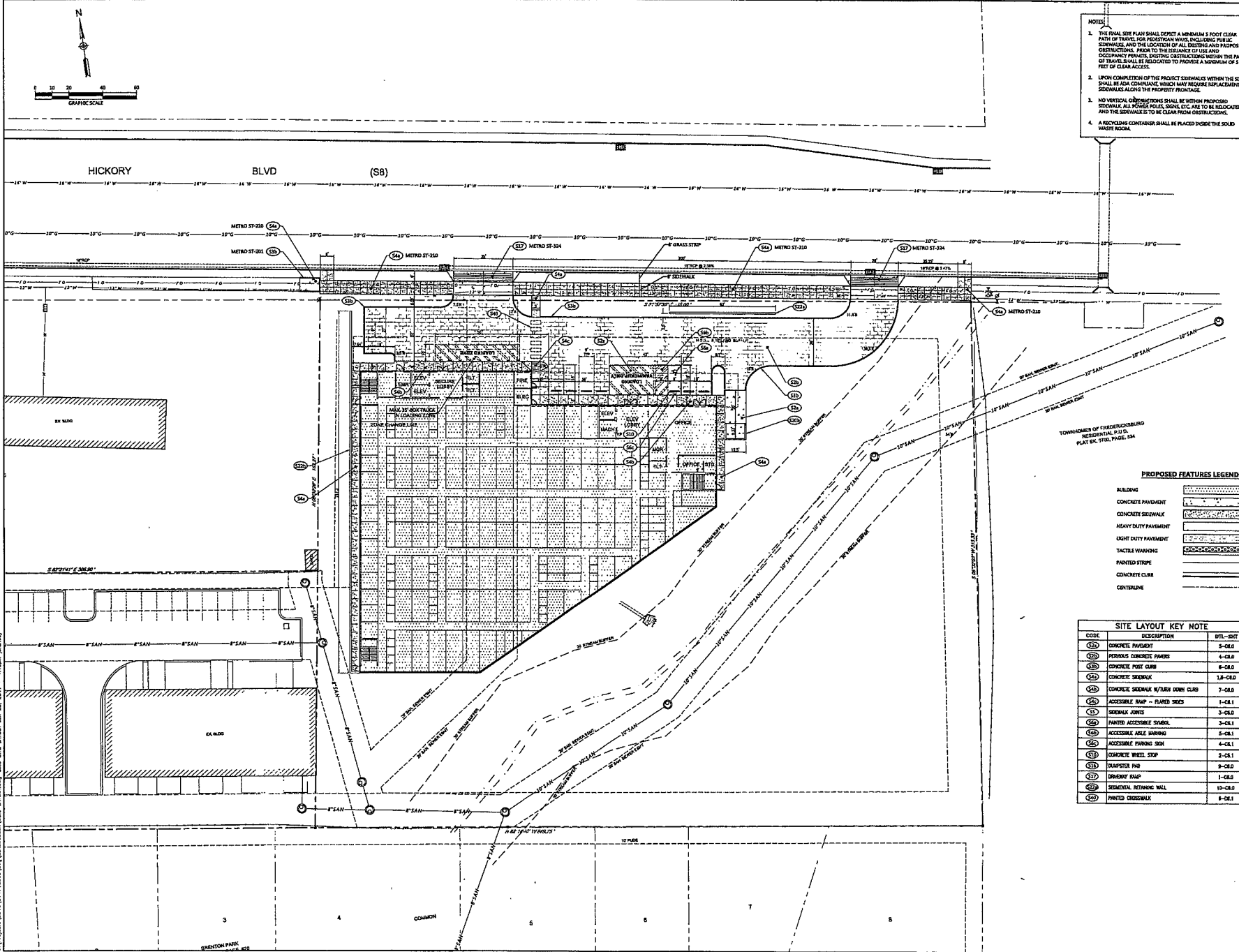
**Platinum Storage Brentwood**  
PRELIMINARY SPECIFIC PLAN  
OLD HICKORY BLVD.  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
CASE NO. 2016SP-090-001

PLATINUM STORAGE GROUP  
IRVINE, CAL.



DATE: 11-28-18  
REVISION: 314718046

**C3.0**  
SITE LAYOUT



**PROPOSED FEATURES LEGEND**

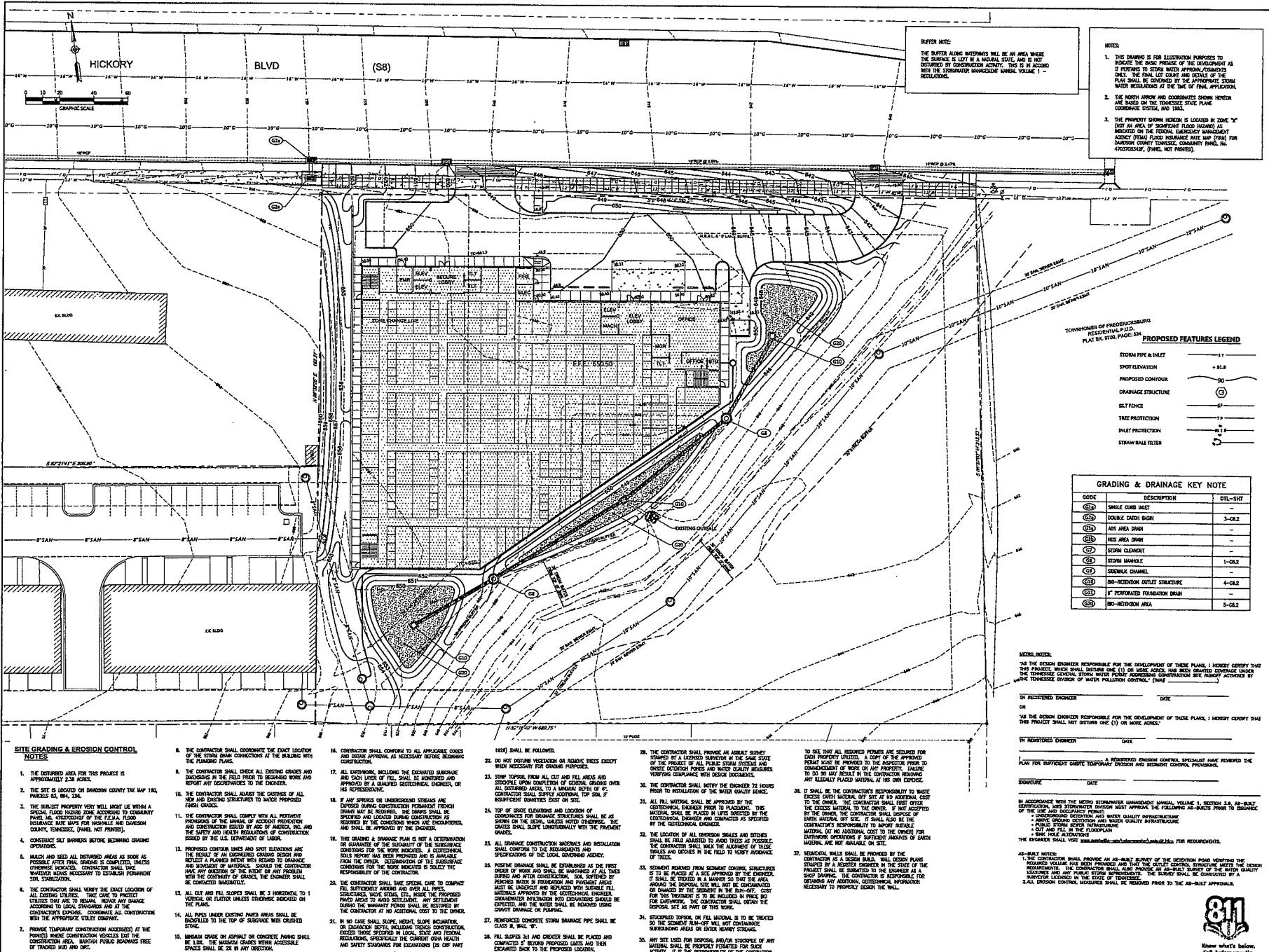
- BUILDING
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- HEAVY DUTY PAVEMENT
- LIGHT DUTY PAVEMENT
- TACTILE WARNING
- PAINTED STRIP
- CONCRETE CURB
- CONTORLINE

**SITE LAYOUT KEY NOTE**

CODE	DESCRIPTION	DTL-SHT
030	CONCRETE PAVEMENT	6-C&D
035	PERMANENT CONCRETE PAVING	1-C&D
040	CONCRETE POST CURB	8-C&D
045	CONCRETE SIDEWALK	1,8-C&D
048	CONCRETE SIDEWALK W/TURN DOWN CURB	7-C&D
050	ACCESSIBLE RAMP - FLARED SIDES	1-C&D
055	SIDEWALK JOINTS	3-C&D
060	PAINTED ACCESSIBLE SYMBOL	2-C&D
065	PAINTED ACCESSIBLE MARKING	2-C&D
070	ACCESSIBLE PARKING SIGN	4-C&D
075	CONCRETE WHEEL STOP	2-C&D
080	DUMPSITE PAD	2-C&D
085	DRIVEWAY RAMP	1-C&D
090	GENERAL RETURNING WALL	13-C&D
095	PAINTED DRIVEWALK	8-C&D

C:\ProgramData\SWI\14718046\Plan\Construction\C3.0\_LAYOUT.dwg - C3.0 SITE LAYOUT, Date: 11/28/2018 - 4:40pm, Thursday

BRENTON PARK  
PAGE 820



**BUFFER NOTE**  
 THE BUFFER ALONG HIGHWAYS WILL BE AN AREA WHERE THE BUFFER IS LEFT IN A NUCLEAR STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORD WITH THE CONSUMER MANIFESTO UNDER VOLUME 1 - REGULATIONS.

- NOTES:**
1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PRINCIPLE OF THE DEVELOPMENT AS PERMITTED BY STORM WATER APPROVAL, COMPLIANT WITH THE FLOOD CONTROL ACT AND LOCAL ORDINANCES. THE FINAL LAYOUT AND SIZES OF THE PROPOSED STORM WATER INFRASTRUCTURE AT THE TIME OF FINAL APPLICATION FOR PERMITS SHALL BE DETERMINED BY THE APPROVED STORM WATER ENGINEER.
  2. THE NORTH ARROW AND DIMENSIONS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, NAD 83.
  3. THE PROPERTY BOUNDARY HEREON IS LOCATED BY ZONE "X" (NOT AN AREA OF SCOURPOND FLOOD DAMAGE) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR DAVIDSON COUNTY, TENNESSEE, COORDINATE PANEL, 14A, PROJECTED, (DATE NOT PRINTED).

**TERRAIN OF FREDERICKSBURG REDEVELOPMENT PLAT BY VOL. PACO 80-1**

**PROPOSED FEATURES LEGEND**

STORM PIPE & INLET	1"
SPOT ELEVATION	+92.8
PROPOSED CONTOUR	90'
DRAINAGE STRUCTURE	(C)
SILT FENCE	1"
TREE PROTECTION	1"
INLET PROTECTION	1"
STRAW BALE FILTER	1"

**GRADING & DRAINAGE KEY NOTE**

CODE	DESCRIPTION	DTL-SHT
(C1)	SINGLE CURB SHEET	--
(C2)	DOUBLE CATCH BASIN	3-C-2
(C3)	ACS AREA DRAIN	--
(C4)	ACS AREA DRAIN	--
(C5)	STORM CLEANOUT	--
(C6)	STORM MANHOLE	1-C-2
(C7)	SEWERLINE CHANNEL	--
(C8)	8" REINFORCED OUTLET STRUCTURE	4-C-2
(C9)	12" PERFORATED FOUNDATION DRAIN	--
(C10)	8" REINFORCED AREA	5-C-2

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	AS-BUILT NOTES	

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	AS-BUILT NOTES	

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	AS-BUILT NOTES	

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	AS-BUILT NOTES	

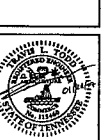
**REVISIONS:**

NO.	DESCRIPTION	DATE
1	AS-BUILT NOTES	



**Platinum Storage Brentwood**  
 PRELIMINARY SPECIFIC PLAN  
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 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE No. 2018SP-09-001

**PLATINUM STORAGE GROUP**  
 IRVING, CAL.

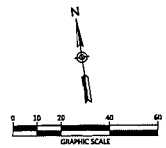


DATE	REVISION
11-20-18	514718286

**811**  
 Know what's below. Call before you dig.

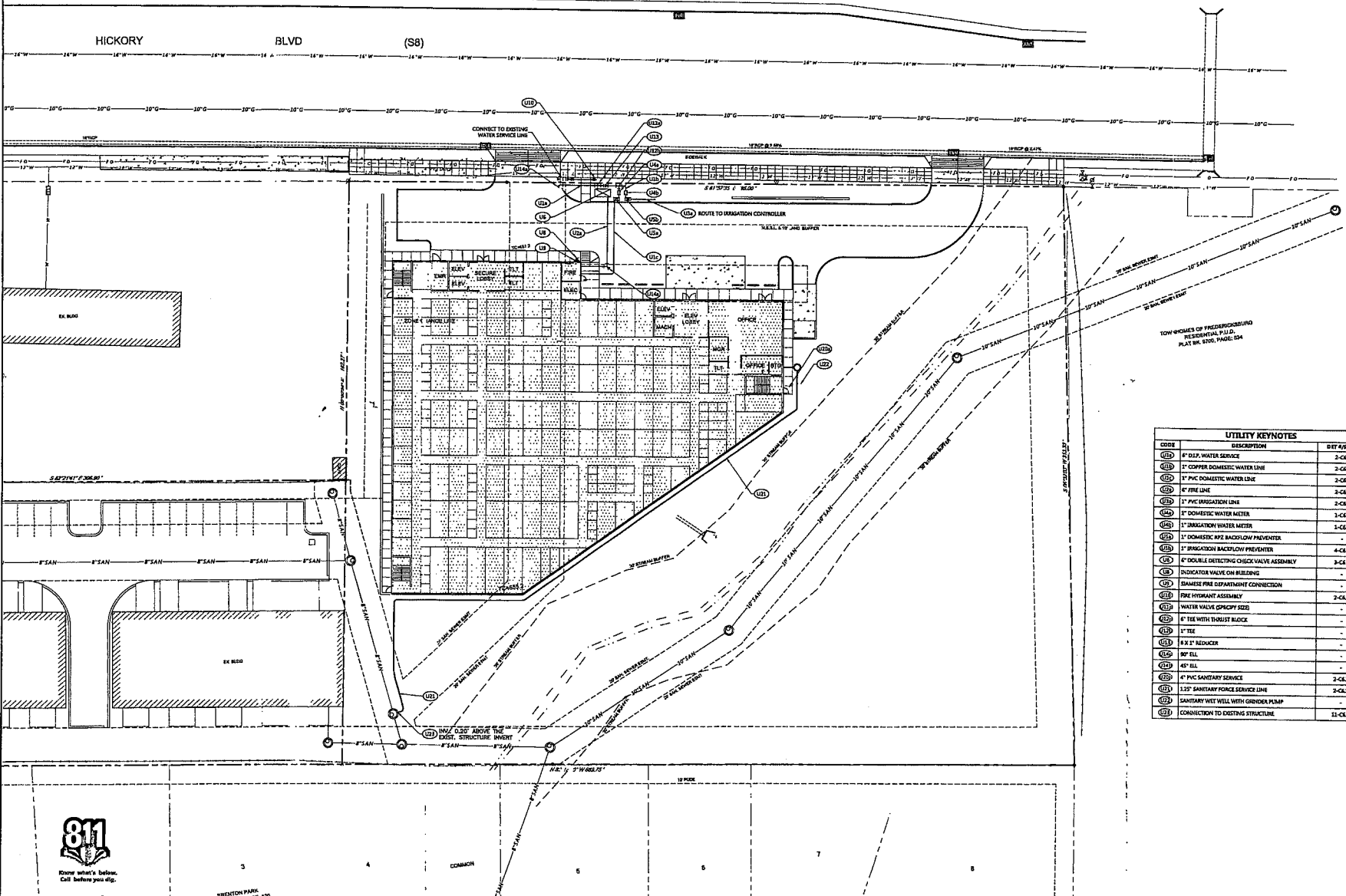
**C4.0**  
 GRADING AND DRAINAGE

2018-11-20 10:30 AM 1/17/2019 10:30 AM Construction/C4.0 GRADING & DRAINAGE 11-20-18 514718286



**PROPOSED FEATURES LEGEND**

DOMESTIC SERVICE	— D —
FIRE SERVICE	— F —
GAS LINE	— G —
WATER LINE WITH 80" THROUST BLOCK	— W —
SANITARY SEWER LINE WITH CLEANOUT	— S —
NEW FIRE HYDRANT	— H —
UNDERGROUND ELECTRIC	— U —



**UTILITY KEYNOTES**

CODE	DESCRIPTION	QTY / VENT #
(U1)	6" O.D.P. WATER SERVICE	2-C&2
(U2)	3" COPPER DOMESTIC WATER LINE	2-C&2
(U3)	1" PVC DOMESTIC WATER LINE	2-C&2
(U4)	4" FIRE LINE	2-C&2
(U5)	1" PVC IRRIGATION LINE	2-C&2
(U6)	1" DOMESTIC WATER METER	1-C&3
(U7)	1" DOMESTIC FIRE BACKFLOW PREVENTER	1-C&3
(U8)	1" IRRIGATION BACKFLOW PREVENTER	-
(U9)	4" DOUBLE CHECKING CHECK VALVE ASSEMBLY	4-C&3
(U10)	INDICATOR VALVE ON BUILDING	2-C&3
(U11)	SIAMISE FIRE DEPARTMENT CONNECTION	-
(U12)	FIRE HYDRANT ASSEMBLY	2-C&3
(U13)	WATER VALVE (SPECIFY SIZE)	-
(U14)	1" TEE	-
(U15)	8 X 1" REDUCER	-
(U16)	80" ELL	-
(U17)	45" ELL	-
(U18)	4" PVC SANITARY SERVICE	2-C&2
(U19)	1.5" SANITARY FORCE SERVICE LINE	2-C&2
(U20)	SANITARY WET WELL WITH GRINDER PUMP	-
(U21)	CONNECTION TO EXISTING STRUCTURE	11-C&3



**Platinum Storage Brentwood**  
 PRELIMINARY SPECIFIC PLAN  
 OLD HICKORY BLVD.  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE No. 2016SP-099-001

**PLATINUM STORAGE GROUP**  
 IRVING, CAL.



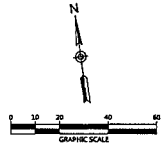
DATE	REVISION
11-20-16	514716266

**C5.0**  
 SITE UTILITIES

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BRENTWOOD PARK PAGE 4/20



**PLANT SCHEDULE**

TREE	CITY	BOTANICAL NAME	COMMON NAME	CODE	HT	SPREAD	REMARKS
AK	2	Amelanchier canadensis	Shadbush	R 8.5	15-20'	10-15'	10-15' tall, 8-10" dbh, link up 4.5' to 5.0' canopy, well formed crown, well branched
BB	3	Asplenium platyneuron	Rocky Mountain Fern	R 8.5	2'	10-15'	Well branched
CC	4	Cornus canadensis	Spicebush	R 8.5	15-20'	10-15'	Well branched
D	5	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
E	6	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
F	7	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
G	8	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
H	9	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
I	10	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
J	11	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
K	12	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
L	13	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
M	14	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
N	15	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
O	16	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
P	17	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
Q	18	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
R	19	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
S	20	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
T	21	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
U	22	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
V	23	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
W	24	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
X	25	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
Y	26	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched
Z	27	Thuja occidentalis	Eastern Red Cedar	R 8.5	15-20'	10-15'	Well branched

**TYPE B-3 10' LANDSCAPE BUFFER**  
 312 LF  
 REQUIRED LANDSCAPE MATERIAL  
 16 CANOPY TREES, 7 UNDERSTORY TREES, 66 SHRUBS  
 PROVIDED LANDSCAPE MATERIAL  
 16 CANOPY TREES, 6 UNDERSTORY TREES, 68 SHRUBS

**LANDSCAPE KEYNOTES**

CODE	DESCRIPTION	DET #/PNT #
(1)	PLANTING BED LIMITS	-
(2)	IRIGATION LIMITS	-
(3)	AREA TO BE SEED	-
(4)	AREA TO BE SOLOID	-

**SITE TREE DENSITY CALCULATIONS**

ACREAGE	2.83 ACRES
BUILDING ACREAGE	2.83 ACRES
ADJUSTED ACREAGE	2.15 ACRES
TREE DENSITY UNITS REQUIRED:	
(14 TD/AC x 2.15 ACRES)	30.1
TREE DENSITY UNITS PROVIDED:	
EXISTING TREES (SEE CHART BELOW)	84.4
PROPOSED TREES (SEE CHART BELOW)	18.7
TOTAL TREE DENSITY UNITS PROVIDED:	103.1
PROPOSED TREES:	
2" DBH x 8.5'	17.5
3" DBH x 8.5'	1.2
TOTAL	18.7

**EXISTING TREE TABLE**

#	SP	HT	DBH	DBH	DBH
1	SP	15'	8.0"	10"	12"
2	SP	15'	8.0"	10"	12"
3	SP	15'	8.0"	10"	12"
4	SP	15'	8.0"	10"	12"
5	SP	15'	8.0"	10"	12"
6	SP	15'	8.0"	10"	12"
7	SP	15'	8.0"	10"	12"
8	SP	15'	8.0"	10"	12"
9	SP	15'	8.0"	10"	12"
10	SP	15'	8.0"	10"	12"
11	SP	15'	8.0"	10"	12"
12	SP	15'	8.0"	10"	12"
13	SP	15'	8.0"	10"	12"
14	SP	15'	8.0"	10"	12"
15	SP	15'	8.0"	10"	12"
16	SP	15'	8.0"	10"	12"
17	SP	15'	8.0"	10"	12"
18	SP	15'	8.0"	10"	12"
19	SP	15'	8.0"	10"	12"
20	SP	15'	8.0"	10"	12"
21	SP	15'	8.0"	10"	12"
22	SP	15'	8.0"	10"	12"
23	SP	15'	8.0"	10"	12"
24	SP	15'	8.0"	10"	12"
25	SP	15'	8.0"	10"	12"
26	SP	15'	8.0"	10"	12"
27	SP	15'	8.0"	10"	12"
28	SP	15'	8.0"	10"	12"
29	SP	15'	8.0"	10"	12"
30	SP	15'	8.0"	10"	12"
31	SP	15'	8.0"	10"	12"
32	SP	15'	8.0"	10"	12"
33	SP	15'	8.0"	10"	12"
34	SP	15'	8.0"	10"	12"
35	SP	15'	8.0"	10"	12"
36	SP	15'	8.0"	10"	12"
37	SP	15'	8.0"	10"	12"
38	SP	15'	8.0"	10"	12"
39	SP	15'	8.0"	10"	12"
40	SP	15'	8.0"	10"	12"
41	SP	15'	8.0"	10"	12"
42	SP	15'	8.0"	10"	12"
43	SP	15'	8.0"	10"	12"
44	SP	15'	8.0"	10"	12"
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51	SP	15'	8.0"	10"	12"
52	SP	15'	8.0"	10"	12"
53	SP	15'	8.0"	10"	12"
54	SP	15'	8.0"	10"	12"
55	SP	15'	8.0"	10"	12"
56	SP	15'	8.0"	10"	12"
57	SP	15'	8.0"	10"	12"
58	SP	15'	8.0"	10"	12"
59	SP	15'	8.0"	10"	12"
60	SP	15'	8.0"	10"	12"
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63	SP	15'	8.0"	10"	12"
64	SP	15'	8.0"	10"	12"
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66	SP	15'	8.0"	10"	12"
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68	SP	15'	8.0"	10"	12"
69	SP	15'	8.0"	10"	12"
70	SP	15'	8.0"	10"	12"
71	SP	15'	8.0"	10"	12"
72	SP	15'	8.0"	10"	12"
73	SP	15'	8.0"	10"	12"
74	SP	15'	8.0"	10"	12"
75	SP	15'	8.0"	10"	12"
76	SP	15'	8.0"	10"	12"
77	SP	15'	8.0"	10"	12"
78	SP	15'	8.0"	10"	12"
79	SP	15'	8.0"	10"	12"
80	SP	15'	8.0"	10"	12"
81	SP	15'	8.0"	10"	12"
82	SP	15'	8.0"	10"	12"
83	SP	15'	8.0"	10"	12"
84	SP	15'	8.0"	10"	12"
85	SP	15'	8.0"	10"	12"
86	SP	15'	8.0"	10"	12"
87	SP	15'	8.0"	10"	12"
88	SP	15'	8.0"	10"	12"
89	SP	15'	8.0"	10"	12"
90	SP	15'	8.0"	10"	12"
91	SP	15'	8.0"	10"	12"
92	SP	15'	8.0"	10"	12"
93	SP	15'	8.0"	10"	12"
94	SP	15'	8.0"	10"	12"
95	SP	15'	8.0"	10"	12"
96	SP	15'	8.0"	10"	12"
97	SP	15'	8.0"	10"	12"
98	SP	15'	8.0"	10"	12"
99	SP	15'	8.0"	10"	12"
100	SP	15'	8.0"	10"	12"

NOTE: EXISTING TREE CHART INCLUDES ONLY TREES THAT WILL BE COULDED TOWARDS THE CALCULATION CHART DOES NOT INCLUDE ALL EXISTING TREES THAT WILL REMAIN ON SITE.

**TYPE B-3 10' LANDSCAPE BUFFER**  
 314 LF  
 EXISTING VEGETATION TO SATISFY BUFFER REQUIREMENT



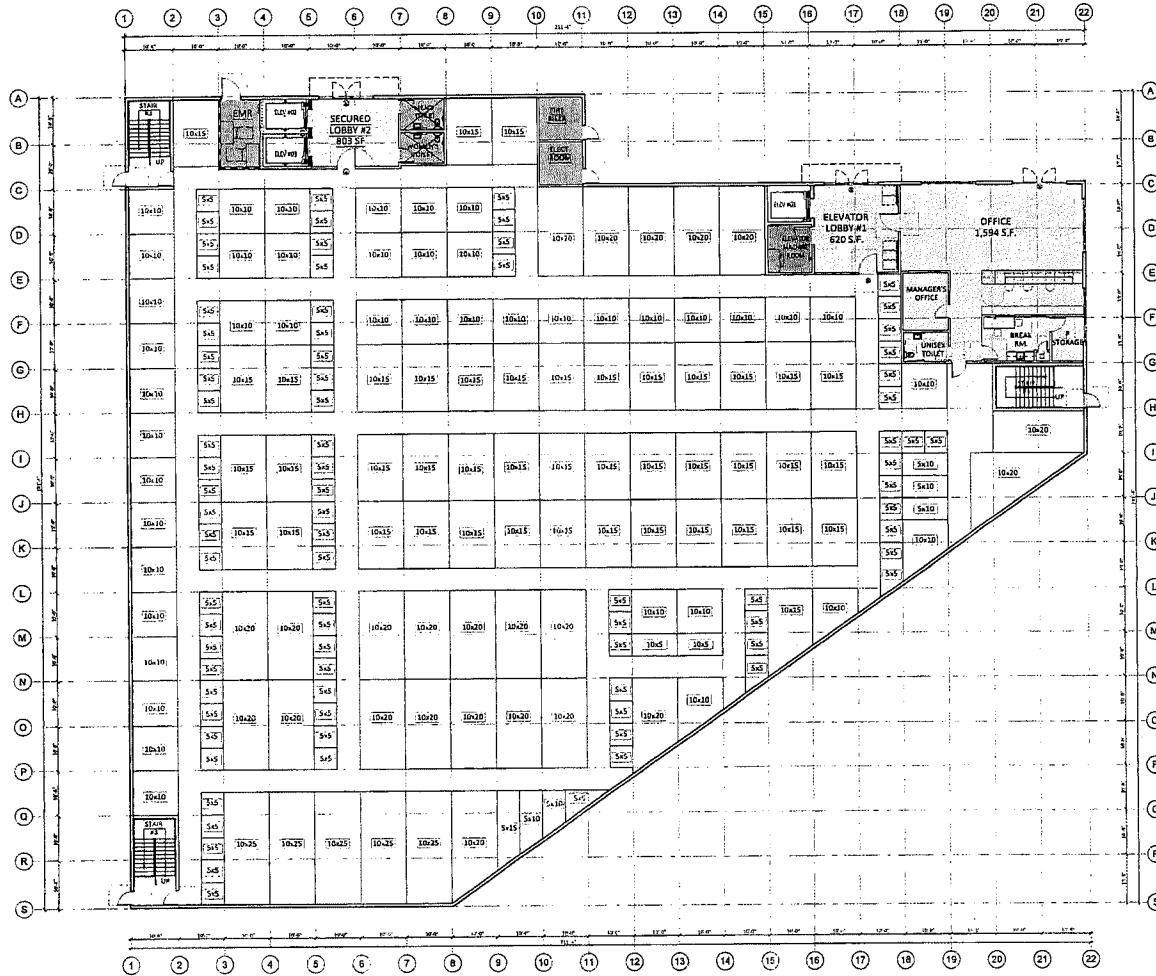
**Platinum Storage Brentwood**  
 PRELIMINARY SPECIFIC PLAN  
 OLD HICKORY BLVD.  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE  
 CASE No. 2014SP-099-001

PLATINUM STORAGE GROUP  
 IRVINE, CAL.



L1.0  
 LANDSCAPE PLAN

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



### PROPOSED BUILDING

STORAGE RETAIL / OFFICE:	1,594 S.F.
LOBBY #1:	620 S.F.
LOBBY #2:	803 S.F.
STORAGE:	26,059 S.F.
1ST FLOOR AREA:	29,076 S.F.

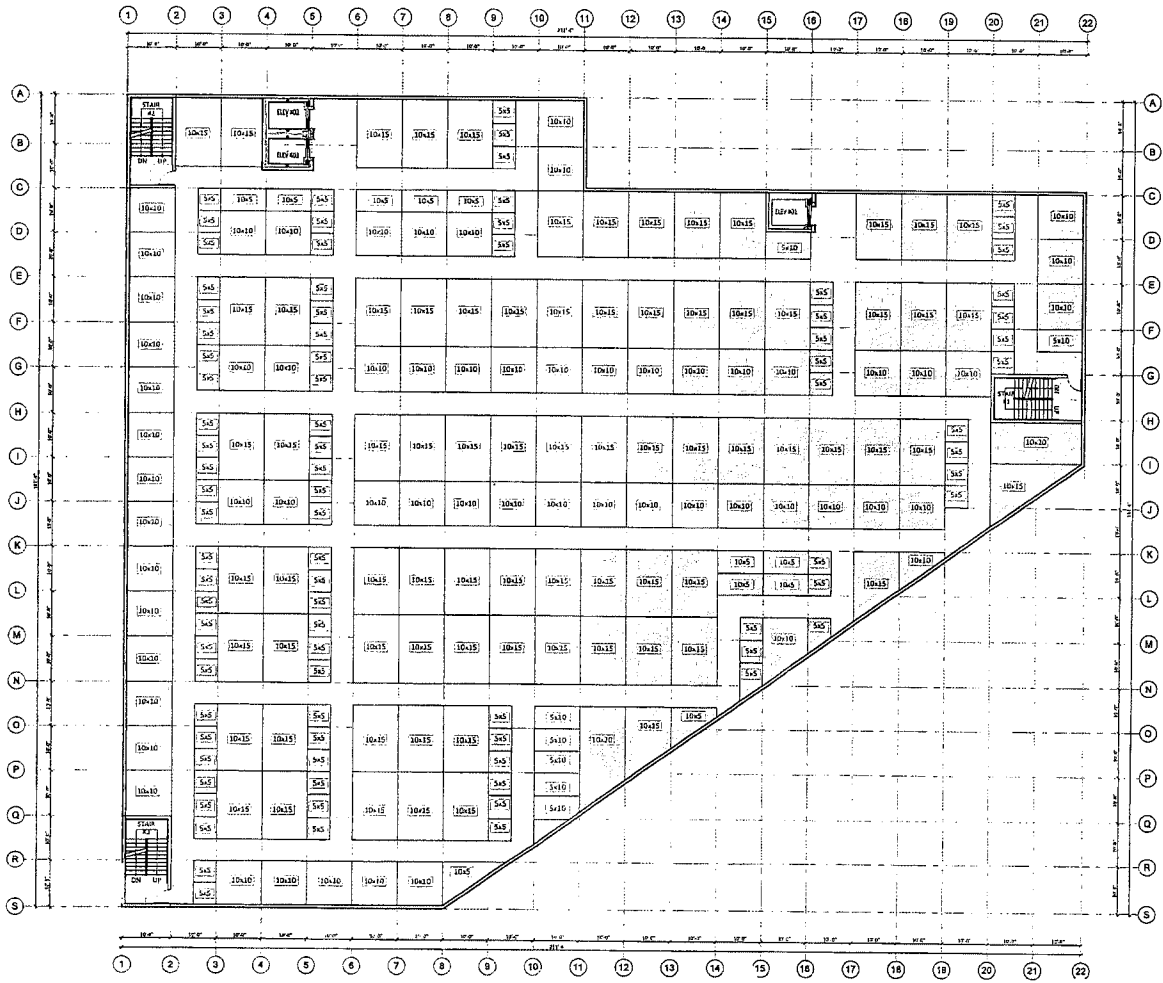
### UNIT MATRIX SUMMARY

5x5	82
5x15	1
5x10	5
10x5	2
10x10	43
10x15	43
10x20	23
10x25	5

### LEGEND

-  STORAGE UNITS
-  OFFICES / LOBBIES
-  SUPPORT SPACES
-  CIRCULATION





**PROPOSED BUILDING**  
 2ND FLOOR AREA: 29,076 S.F.

**UNIT MATRIX SUMMARY**

5x5	88
5x10	7
5x15	0
10x5	11
10x10	61
10x15	76
10x20	2
10x25	0

**LEGEND**

[Symbol]	STORAGE UNITS
[Symbol]	OFFICES / LOBBIES
[Symbol]	SUPPORT SPACES
[Symbol]	CIRCULATION



OLD HICKORY BLVD., BRENTWOOD, TN

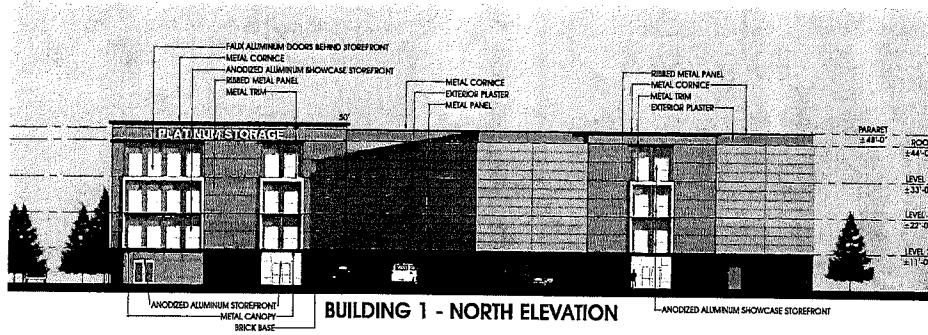
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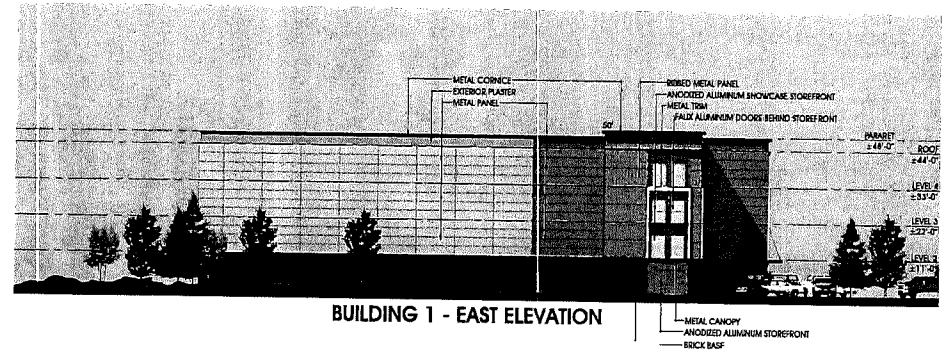
SHEET 3



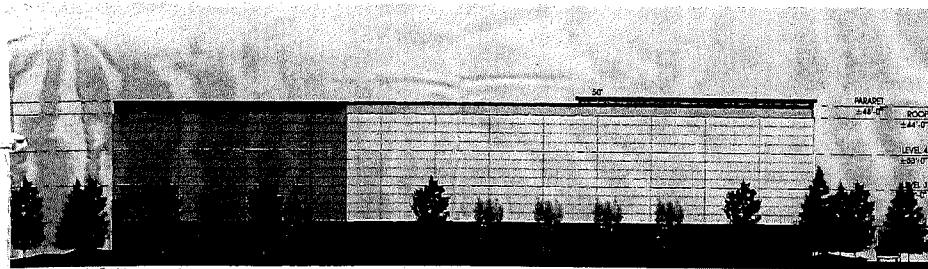
KSP PROJECT #2016



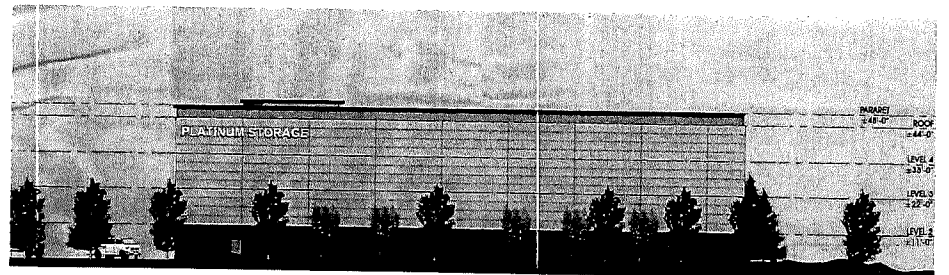
**BUILDING 1 - NORTH ELEVATION**



**BUILDING 1 - EAST ELEVATION**



**BUILDING 1 - SOUTH ELEVATION**



**BUILDING 1 - WEST ELEVATION**

**PLATINUM  
STORAGE**

OLD HICKORY BLVD, BRENTWOOD | TN

EXTERIOR ELEVATION

**KSP**

architects + engineers



STREET VIEW

**PLATINUM  
STORAGE**

OLD HICKORY BLVD, BRENTWOOD | TN

04/10/17

EXTERIOR ELEVATION

**KSP**

STUDIO

ARCHITECTURE + ENGINEERING