

SP(SPECIFIC PLAN) PRELIMINARY DEVELOPMENT PLANS FOR GRANBERY PROPERTY TURNBERRY HOMES, LLC

CONTACTS

OWNER/DEVELOPER

TURNBERRY HOMES, LLC
NICKY WELLS
210 JAMESTOWN PARK ROAD, SUITE 102
BRENTWOOD, TN 37027
(615) 376-7001
NICKY.WELLS@TURNBERRYHOMES.COM

LANDSCAPE ARCHITECTURE

RAGAN-SMITH ASSOCIATES
HEATHER GRIMES
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
HGRIMES@RAGANSMITH.COM

CIVIL

RAGAN-SMITH ASSOCIATES
DAVID NICHOLS
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
DNICHOLS@RAGANSMITH.COM

PURPOSE NOTE:

The purpose of this SP is to receive preliminary approval for a 31 lot single family development within the T3-NM Land Use Policy District.

SPECIAL NOTE:

For any development standards, regulations, and requirements not specifically shown on the Preliminary SP Development Plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and applicable requirements of the R40 Zoning District.

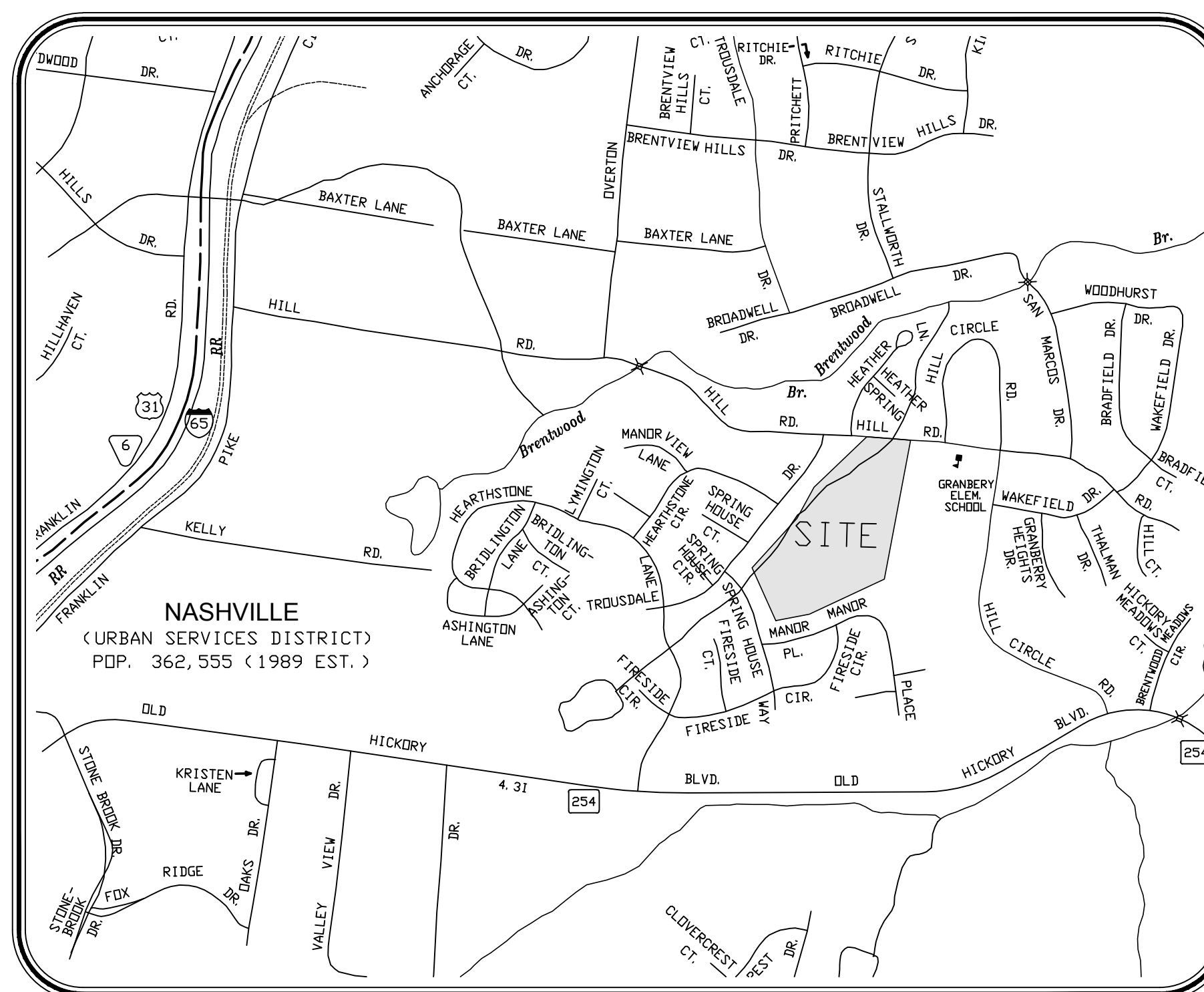
GENERAL PLAN CONSISTENCY:

Land Use Policy:

The proposed development is consistent with the principles, policies, and objectives of the general plan T3-NM (T3 Suburban Neighborhood Maintenance). The proposed development adds housing diversity compatible with the general character of the suburban neighborhood and future development of this corridor.

Community Plan Compliance:

The proposed 31 lots are located on site to preserve existing environmental and landscape features along with an existing historic home and cemetery. The proposed homes will provide moderate density with deep setbacks and natural landscaping that fits in with the adjacent residential land uses. The existing historic home will be preserved in its original state on a ± 3AC parcel along with a minimum 20' undisturbed landscape buffer that will surround the entire development. Sidewalks will be provided throughout the neighborhood in addition to access easements for connectivity to the existing cemetery on-site, neighboring park, and Granbery Elementary.



LOCATION MAP
NTS

FOURTH COUNCIL DISTRICT, DAVIDSON COUNTY, NASHVILLE, TENNESSEE

INDEX OF SHEETS

SHEET DESCRIPTION

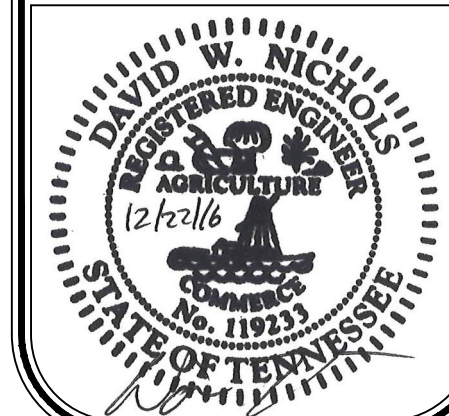
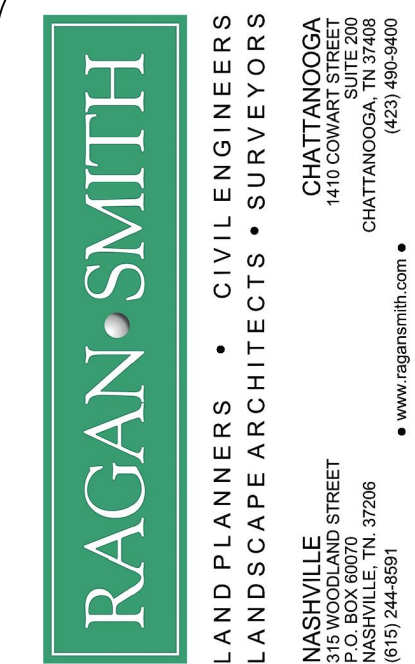
CVR COVER SHEET

CIVIL PLANS

- C0.1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C1.1 OVERALL SITE LAYOUT PLAN
- C2.1 OVERALL GRADING AND DRAINAGE PLAN
- C3.1 OVERALL UTILITIES PLAN

LANDSCAPE ARCHITECTURAL PLANS

- L1.1 LANDSCAPE PLAN



GRANBERY PROPERTY
 FOR
TURNBERRY HOMES, LLC
 FOURTH COUNCIL DISTRICT, DAVIDSON COUNTY, NASHVILLE, TENNESSEE

JOB NO.	16128	WK. ORDER	0681	DESIGNED:	H. GRIMES	DRAWN:	H. GRIMES	SCALE:	NTS	DATE:	OCTOBER 27, 2016
12-22-16 (HHO) REV. PER. 1 FORM WORK COMMENTS 2 PER CITY COMMENTS 3 PER CITY COMMENTS REVISIONS											

COVER SHEET

C0.0

C:\1515\16128\16128_001\16128_001_001.dwg PLOT DATE: 10/27/16 10:58 AM PLOTTED BY: HGRIMES



SOIL KEY			
DAVIDSON COUNTY, TN (TN037)			
MAP UNIT SYMBOL	MAP UNIT NAME	ACRES IN AOI	PERCENT OF AOI
Ar	ARRINGTON SILT LOAM, 0-2% SLOPES, OCCASIONALLY FLOODED	3.09	11.6%
Ld	LINDELL STIL LOAM, 0-2% SLOPES, OCCASIONALLY FLOODED	0.08	0.3%
MaB	MAURY SILT LOAM, 2-7% SLOPES	13.26	49.9%
StC	STIVERSVILLE LOAM, 3-12% SLOPES	0.67	2.5%
StD	STIVERSVILLE LOAM, 12-25% SLOPES	9.51	35.7%
TOTALS FOR AREA OF INTEREST		26.61AC	100.0%

A SOIL RESOURCE REPORT WAS CREATED USING THE USDA - NATURAL RESOURCES CONSERVATION SERVICE ONLINE SOFTWARE ON OCTOBER 6, 2016. NO ON-SITE SOIL REPORT/ANALYSIS HAS BEEN CONDUCTED ON THIS PROPERTY. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

SURVEY INFORMATION:
BOUNDARY INFORMATION TAKEN FROM DEED DESCRIPTION AND TOPOGRAPHIC INFORMATION TAKEN FROM METRO GIS MAPS.

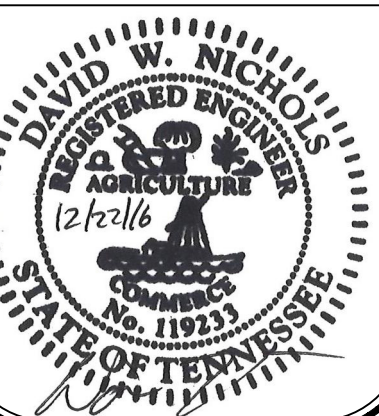
FLOOD INFORMATION:
BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON THE PRELIMINARY FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0367H WITH A PRELIMINARY DATE OF NOVEMBER 22, 2013, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470040, PANEL NO. 0367, SUFFIX H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.

GEOTECHNICAL INFORMATION:
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EXISTING STRUCTURES NOTE:
SEE PLAN FOR EXISTING STRUCTURES TO REMAIN

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	15.00%	19.99%	Yellow
2	20.00%	24.99%	Orange
3	25.00%	100.00%	Red

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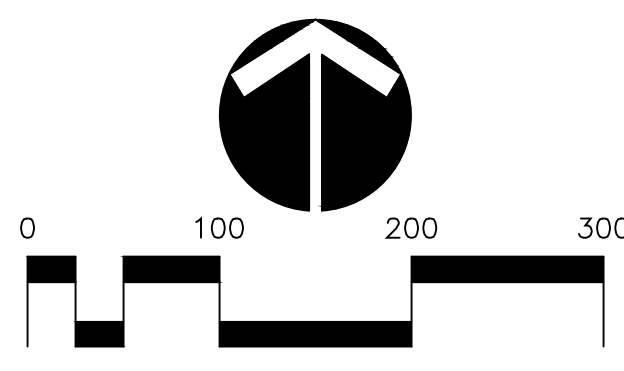
GRANBERY PROPERTY
FOR
TURNBERRY HOMES, LLC
FOURTH COUNCIL DISTRICT, DAVIDSON COUNTY, NASHVILLE, TENNESSEE

12-14-16 (LWS) REV.
PER CITY COMMENTS
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EXISTING
CONDITIONS AND
DEMOLITION PLAN

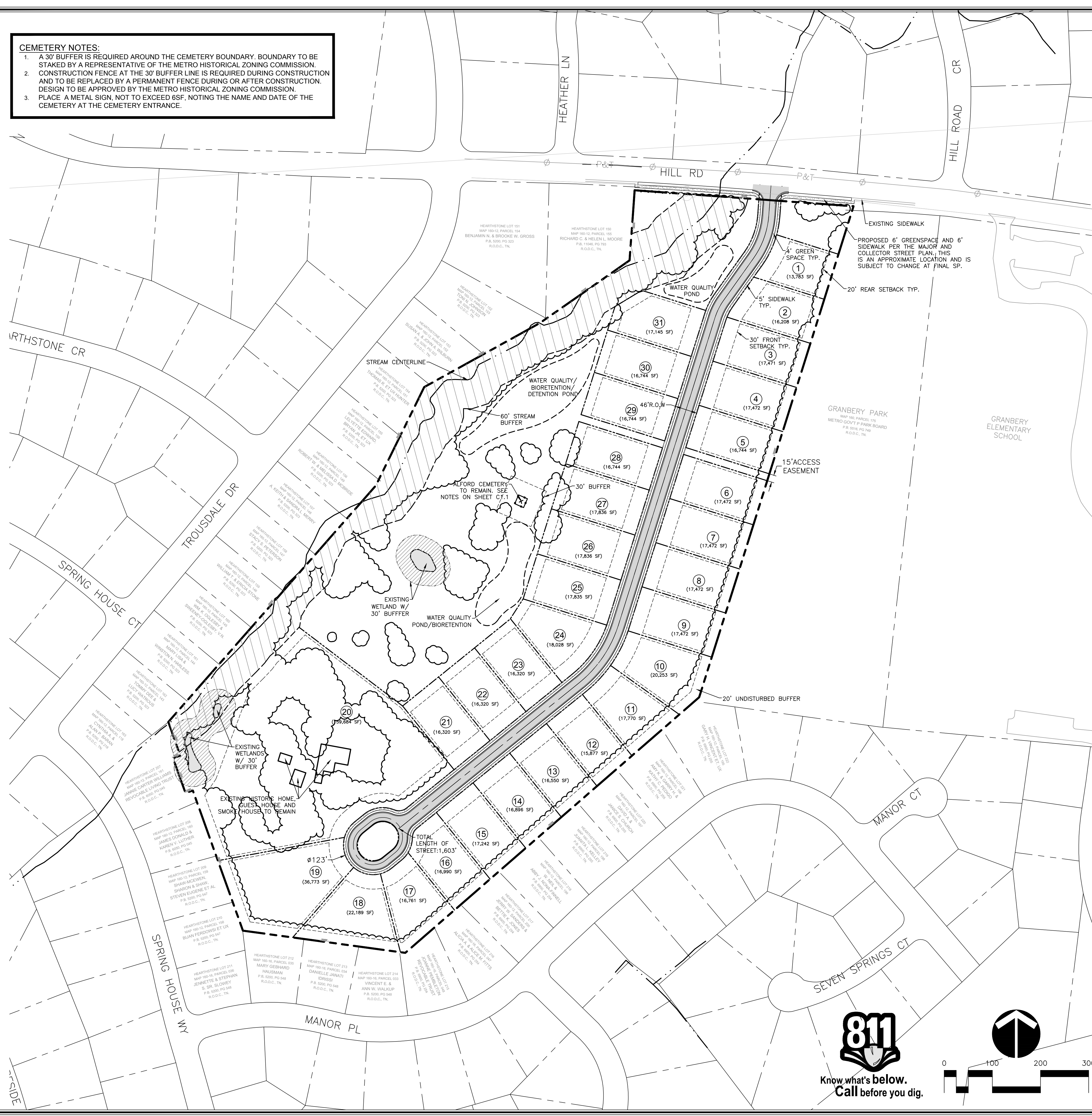
C0.1



DATE PLOTTED: 10/27/16 10:58 AM
PLOTTER: JASON N. CHAMBERLON
LAST UPDATED BY: JAC ON 10/27/16 7:28 AM

CEMETERY NOTES:

1. A 30' BUFFER IS REQUIRED AROUND THE CEMETERY BOUNDARY. BOUNDARY TO BE STAKED BY A REPRESENTATIVE OF THE METRO HISTORICAL ZONING COMMISSION.
2. CONSTRUCTION FENCE AT THE 30' BUFFER LINE IS REQUIRED DURING CONSTRUCTION AND TO BE REPLACED BY A PERMANENT FENCE DURING OR AFTER CONSTRUCTION. DESIGN TO BE APPROVED BY THE METRO HISTORICAL ZONING COMMISSION.
3. PLACE A METAL SIGN, NOT TO EXCEED 6SF, NOTING THE NAME AND DATE OF THE CEMETERY AT THE CEMETERY ENTRANCE.



PROPERTY INFORMATION:
 SITE APPLICATION NUMBER: 04
 COUNCIL DISTRICT NUMBER: ROBERT SWOPE
 DISTRICT COUNCIL MEMBER: GRANBERY PROPERTY
 SP NAME: CORNELIUS-GRANBERY PROPERTIES, LP ET AL TRUSTEES
 PROPERTY OWNER: VACANT RESIDENTS, GUEST HOUSE, SMOKE HOUSE, RESIDENTIAL
 EX. BUILDING S.F. / USE: 01 AC (400 SF)
 EX. CEMETERY AC: 160
 TAX MAP: 192
 PARCELS: 426.6 AC (1,158,896 SF)
 PARCELS ACREAGE: 621 HILL ROAD
 STREET ADDRESS:

DEVELOPER: NICKY WELLS
 TURNBERRY HOMES, LLC
 210 JAMESTOWN PARK ROAD, SUITE 102
 BRENTWOOD, TN 37027
 NICKY.WELLS@TURNBERRYHOMES.COM

PROJECT ENGINEER: DAVID NICHOLS
 RAGAN SMITH ASSOCIATES, INC.
 315 WOODLAND STREET
 NASHVILLE, TN 37206
 DNICHOLS@RAGANSMITH.COM

ZONING INFORMATION:
 ZONING CLASSIFICATION: RES-PUD
 LAND USE POLICY: SOUTHEAST: T3NM SUBURBAN NEIGHBORHOOD MAINTENANCE
 PROPOSED ZONING: SP

SURVEY INFORMATION:
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ALLOWED USES:
 • SINGLE-FAMILY RESIDENTIAL
 • CEMETERY (EXISTING)

BULK STANDARDS

PROPOSED ACREAGE:	26.6 +/- AC
MINIMUM BUILDING SETBACKS (MBSL)	
FRONT:	30'
SIDE:	5'
REAR:	20'
MAXIMUM BUILDING HEIGHT:	3 STORIES
MAXIMUM FAR:	N/A
MAXIMUM ISR:	50
MINIMUM LOT AREA:	SEE PLAN FOR LOT AREAS
MAXIMUM BUILDING COVERAGE:	.60
MAXIMUM PROPOSED LOTS:	31
PROPOSED DENSITY:	1.16 LOTS/AC
REQUIRED OPEN SPACE:	20%

- DESIGN STANDARDS**
1. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
 2. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER, EXCEPT FOR DORMERS.
 3. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
 4. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
 5. A RAISED FOUNDATION OF 18-36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

INTERNAL SIDEWALKS
 ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET.

ANTICIPATED DEVELOPMENT SCHEDULE:
 START DATE: SUMMER 2017
 FINISH DATE: WINTER 2017

THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ONE PHASE.

- PUBLIC WORKS NOTES:**
1. ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
 2. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 3. ALL ROADWAY, DRIVEWAY, SIDEWALK, AND CURB CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF METRO PUBLIC WORKS AND SHALL BE REVIEWED BY THE MPW TRAFFIC ENGINEER.
 4. A SIGHT DISTANCE ANALYSIS SHALL BE SUBMITTED TO METRO PUBLIC WORKS. IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE ANALYSIS FINDINGS AND CONDITIONS.
 5. HANDICAP RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12.

- GENERAL NOTES:**
1. PROPOSED ROADWAYS WITHIN THIS PROJECT'S PROPERTY BOUNDARIES ARE PUBLIC.
 2. LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
 3. SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
 4. STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
 5. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPT. OF WATER SERVICES.
 6. THIS DRAWING IS INTENDED TO SHOW THE BASIC PREMISE OF THE DEVELOPMENT. MINOR MODIFICATIONS ARE ANTICIPATED AT FINAL SP SITE PLAN LEVEL WHEN CONSTRUCTION DRAWINGS ARE DEVELOPED. MINOR MODIFICATIONS TO THIS PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
 7. FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1 OR ADOPTED CURRENT ADDITION.
 8. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
 9. ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
 10. ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 11. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 12. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.

- NOTE:**
1. THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.
 2. SQUARE FEET ON LOTS ARE APPROXIMATE AND MAY VARY PER SITE CONDITIONS AND FINAL SP DESIGN.

RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS

CHATTANOOGA
 1000 BENTLEY STREET
 CHATTANOOGA, TN 37405
 (423) 244-8800

NASHVILLE
 1000 BENTLEY STREET
 NASHVILLE, TN 37206
 (615) 244-8800

DAVID W. NICHOLS
 REGISTERED ENGINEER
 12/20/16
 No. 11923
 STATE OF TENNESSEE

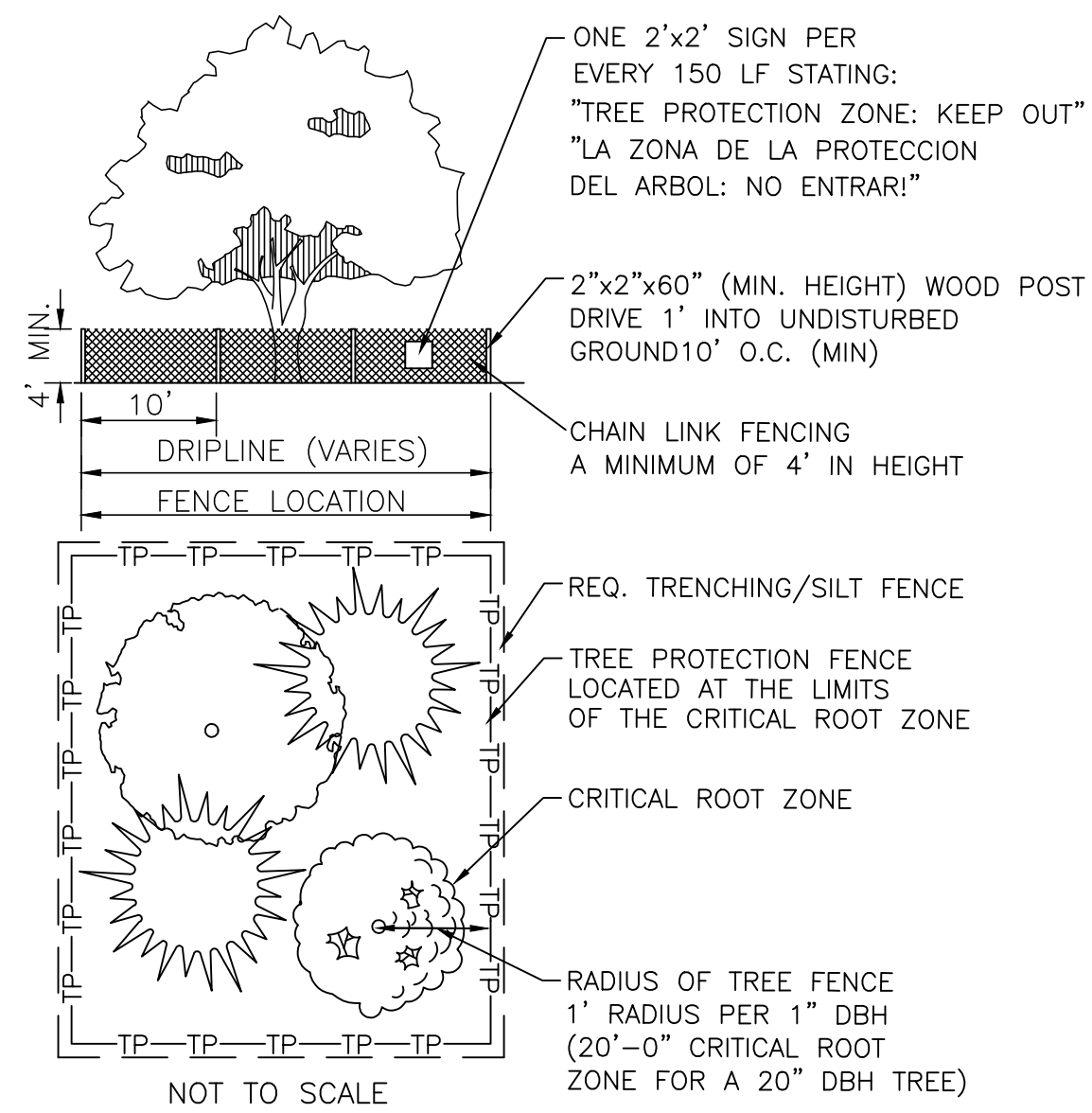
FOR
GRANBERY PROPERTY
TURNBERRY HOMES, LLC
 FOURTH COUNCIL DISTRICT, DAVIDSON COUNTY, NASHVILLE, TENNESSEE

WK. ORDER	0681
DESIGNED:	H. GRIMES
DRAWN:	H. GRIMES
SCALE:	1"=100'
DATE:	OCTOBER 27, 2016

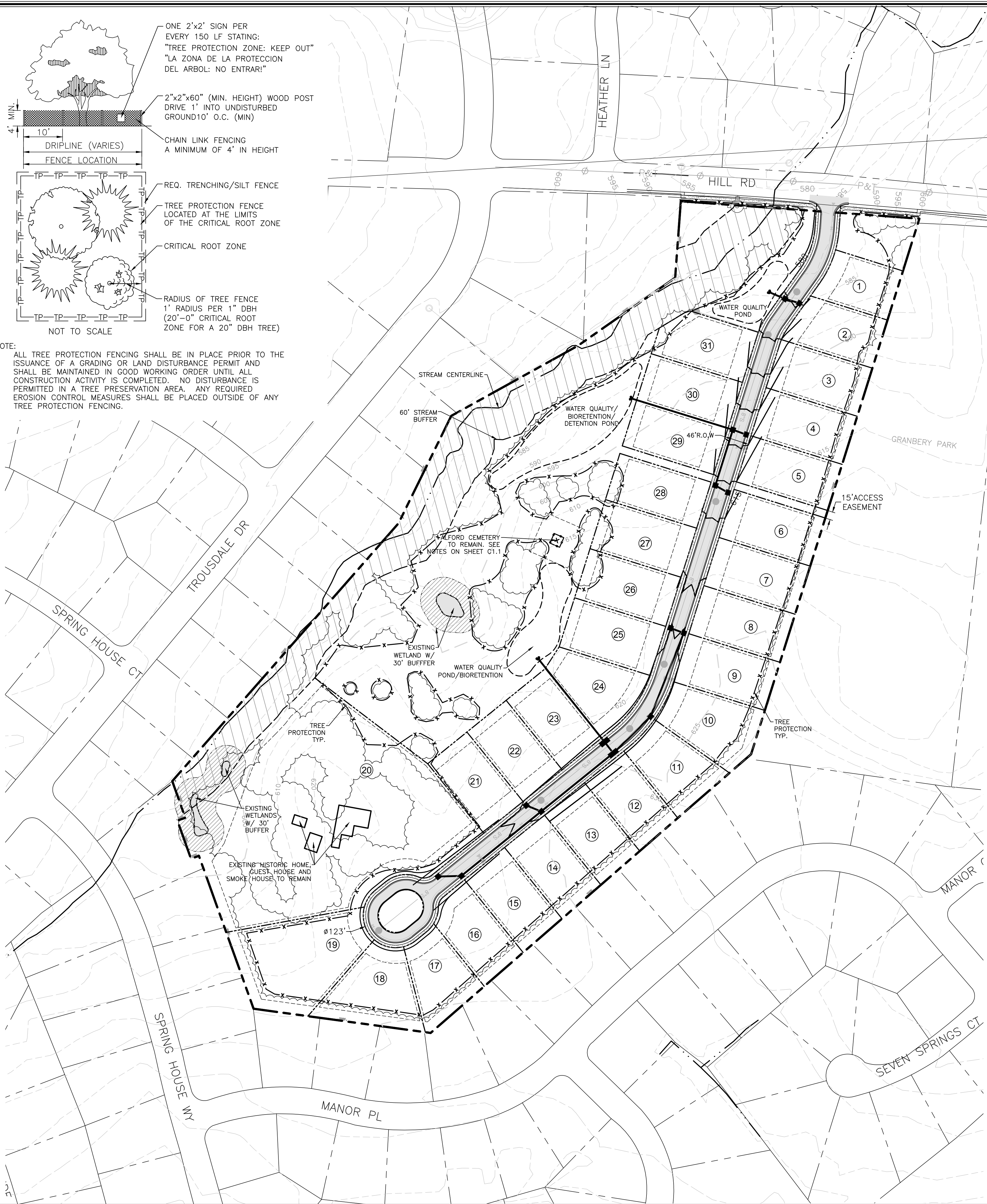
OVERALL SITE LAYOUT
C1.1

811
 Know what's below.
 Call before you dig.

CHATTANOOGA COUNTY, TENNESSEE, PERMITS AND REGULATIONS DEPARTMENT, 1000 BENTLEY STREET, CHATTANOOGA, TN 37405
 PLOTTED BY JASON N. CHAMBERLAIN, 10/27/2016 10:05 AM
 LAST UPDATED BY JACON N. CHAMBERLAIN, 10/27/2016 10:05 AM



NOTE:
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.



STORM WATER STANDARD NOTES:

- 78-840 NOTE:**
ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- BUFFER NOTE:**
THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORM WATER MANAGEMENT MANUAL VOLUME 1 REGULATIONS.
- ACCESS NOTE:**
METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORM WATER FACILITIES WITHIN THE PROPERTY.
- PRELIMINARY NOTE:**
DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- C/D NOTE:**
SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORM WATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO R.O.W. IS 15" CMP).

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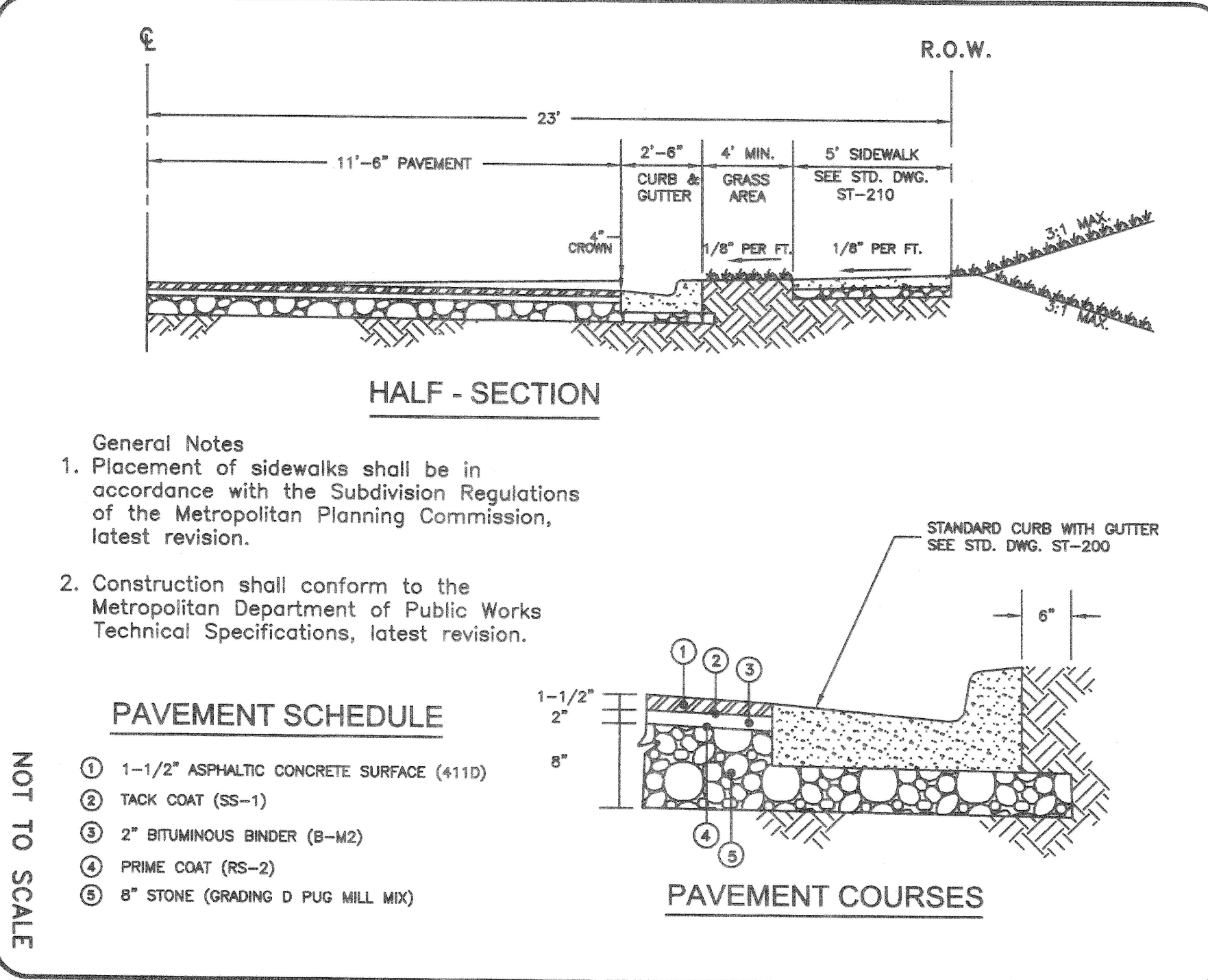
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PH: 423-244-5561
FAX: 423-244-5561
WWW.RAGANSMITH.COM

DAVID W. NICHOLS
REGISTERED ENGINEER
12/26/16
No. 11923
STATE OF TENNESSEE

GRANBERY PROPERTY
FOR
TURNBERRY HOMES, LLC
FOURTH COUNCIL DISTRICT, DAVIDSON COUNTY, NASHVILLE, TENNESSEE

ASST. DIR. ENGR. *[Signature]* DATE: 5/3/01
DIRECTOR: *[Signature]* DATE: 5/3/01
REVISOR: 04/09/01

METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS
RESIDENTIAL-LOW DENSITY MINOR LOCAL STREET (46' R.O.W.)
DWG. NO. ST-251



TYPICAL 46' R.O.W. ROADWAY SECTION
NOT TO SCALE

811
Know what's below.
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0 100 200 300

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REVISIONS


OVERALL GRADING AND DRAINAGE PLAN

C2.1

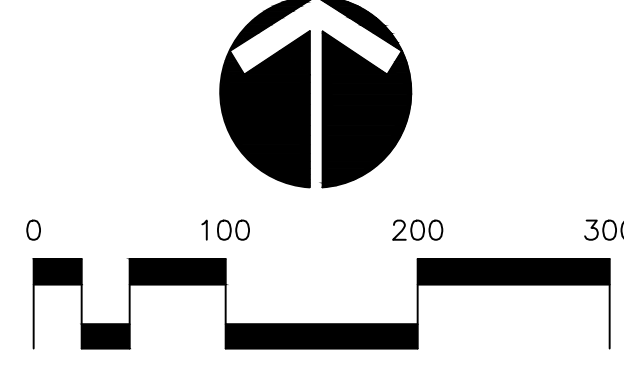
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GRANBERY PROPERTY OVERALL UTILITIES PLAN
 PLOTTED BY JASON N. CHAMBERLAIN, 10/25/2016 11:42 AM
 LAST UPDATED BY JAC ON 10/20/2016 7:44 AM



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 P.O. BOX 60000
 615-244-5561

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 ARCHITECTURE
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OVERALL UTILITIES PLAN
C3.1

