

EVANS HILL AMENDED PRELIMINARY SP PLAN

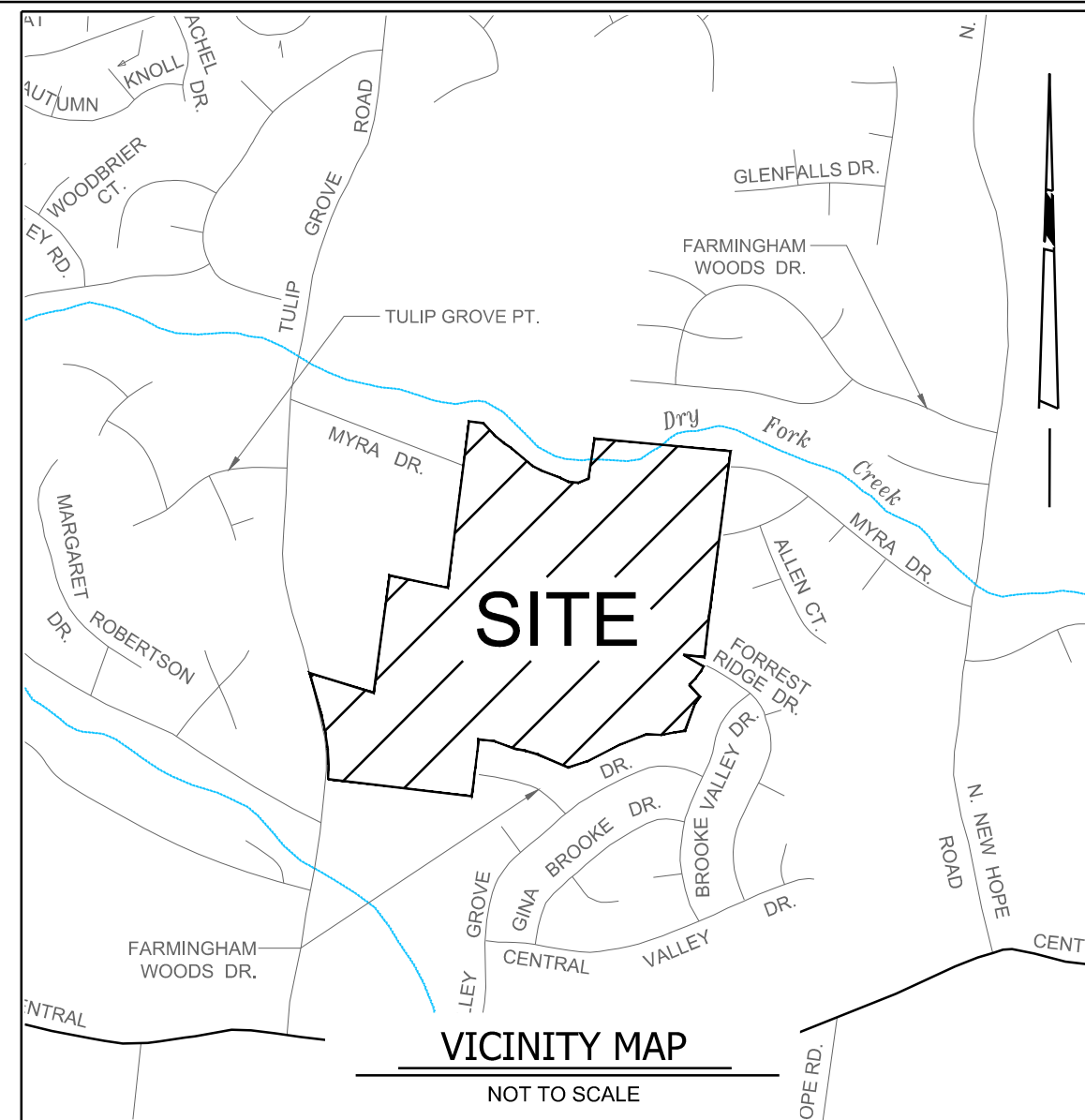
Owner and Developer
Wise Group Inc.
Attn: Alan Wise
1312 Central Court
Hermitage, TN 37076
(615) 391-3550

Civil Engineer
Wamble and Associates
Attn: Danny Wamble
40 Middleton Street
Nashville, TN 37210
(615) 251-9555

* For Standard SP, Stormwater, Public Works,
Water / Sanitary Sewer Notes and Bulk
Standards see Sheet C-4.0

Note:

1. The Purpose of this SP is to amend the currently approved SP to permit a maximum of 164 single-family lots and a maximum of 176 multi-family units.
2. Final construction plans shall comply with the standards of Metro Public Works Department.



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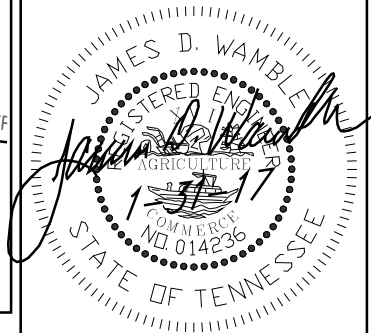
SHEET NO.	SHEET TITLE
C-0.0	COVER SHEET
C-1.0	PRELIMINARY SP PLAN
C-2.0	DETAILS / SITE DATA / DEVELOPMENT SUMMARY
C-3.0	PHASING PLAN
C-4.0	NOTES AND STANDARDS
A-1.1	ARCHITECTURAL DETAILS (TOWNHOMES)
A-1.2	ARCHITECTURAL DETAILS (SINGLE FAMILY HOMES)



WAMBLE & ASSOCIATES P L L C

Civil Engineering
Land Surveying
Land Planning

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**EVANS HILL
COVER SHEET**

REV: January 31, 2017

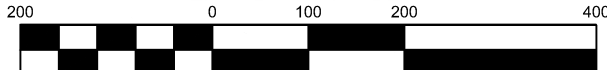
DATE: JUNE 30, 2016

W&A NO.: 812-0213

C-0.0

GRAPHIC SCALE

(IN FEET)



1 inch = 200 ft.

Map 86, Parcel 247
Harold W. Ewin and
Lois A. Ewin
Instr. No.
20120830-0078431

Farmingham Woods
Phase II, Section 1
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Farmingham Woods
Phase I
P.B. 7900, Page 228

New Hope Estates
Phase I
P.B. 9700, Page 319

New Hope Estates
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New Hope Estates
Phase 3
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Valley Grove
Revised Sec. 10
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Valley Grove
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Valley Grove
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Proposed Connection to
Woodway Lane
50' R.O.W.

Valley Grove
Section 5
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Map 86, Parcel 116
Zelander M. Hockett, et ux
Bk 8301, Pg 885

Map 86, Parcel 110
William H. Ewin and
Dorothy P. Ewin
Instr. No.
20021114-0140969

Map 86, Parcel 342
David Joe Ewin
Bk 11697, Pg 317

Map 86, Parcel 246
William H. Ewin
Bk 11252, Pg 928

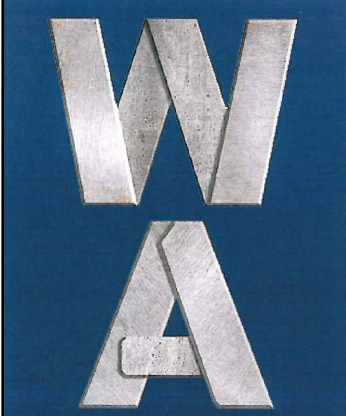
Map 86, Parcel 112
Addie Hockett
Bk 734, Pg 453

Map 86, Parcel 179
Onnie Lee Gregory, et ux
Bk 4321, Page 601

Map 86, Parcel 114
G.H. Robertson et ux
Bk 1452, Page 111

Map 86-12, Parcel 120
Myra Ruth Robertson
Instr. No. 20030103-0001112

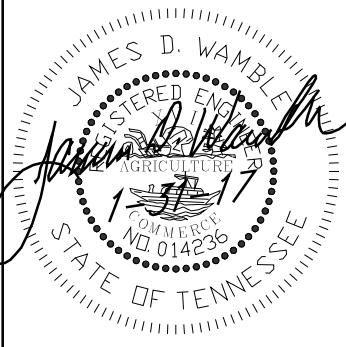
Map 86, Parcel 115
Zelander Hockett
Instr. No. 20090212-0012445



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**EVANS HILL
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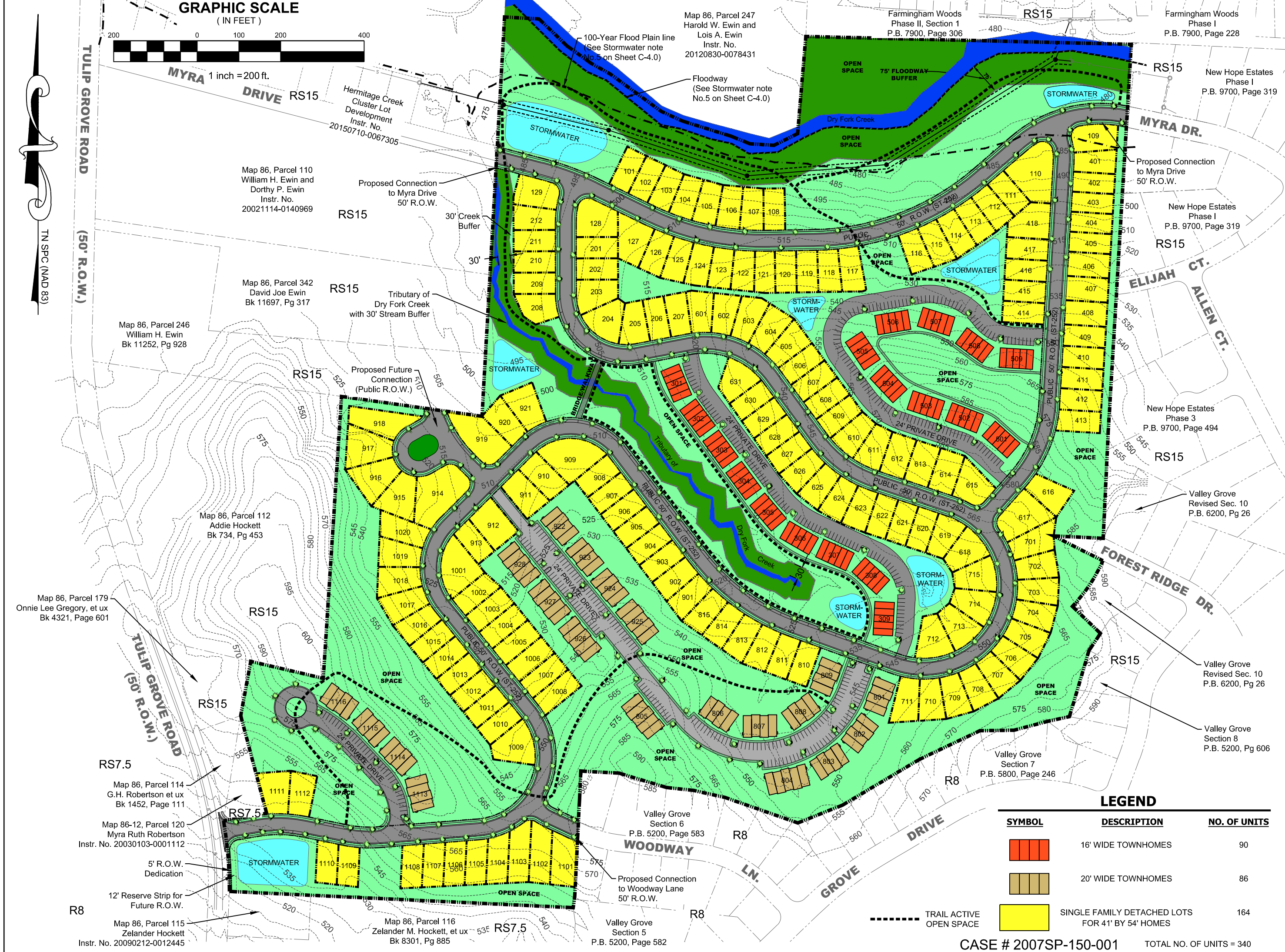
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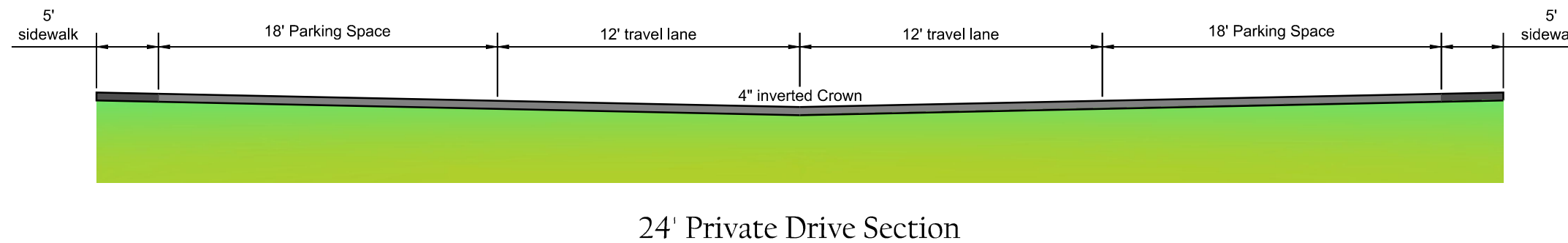
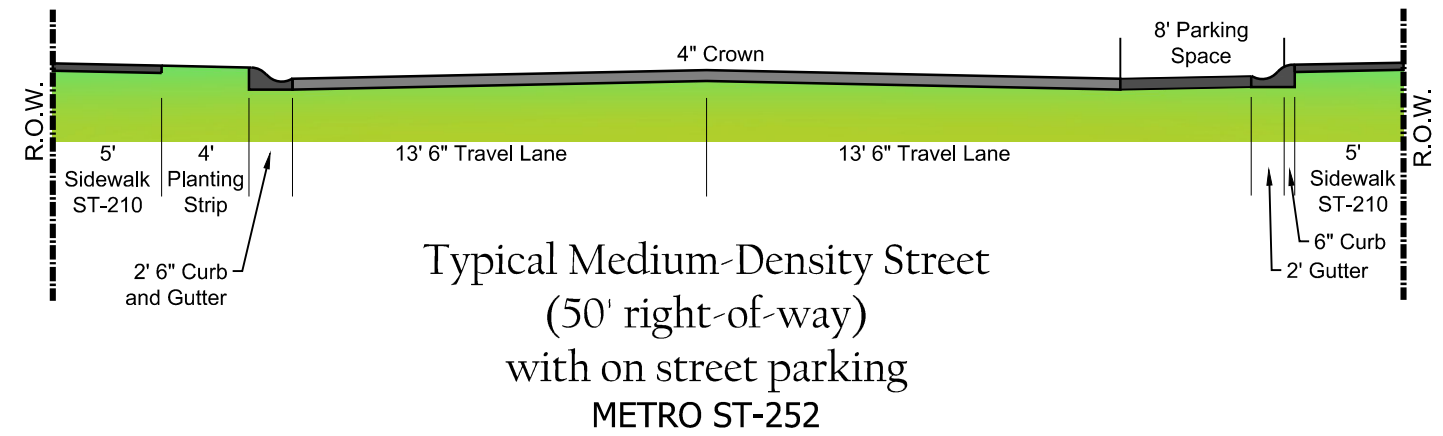
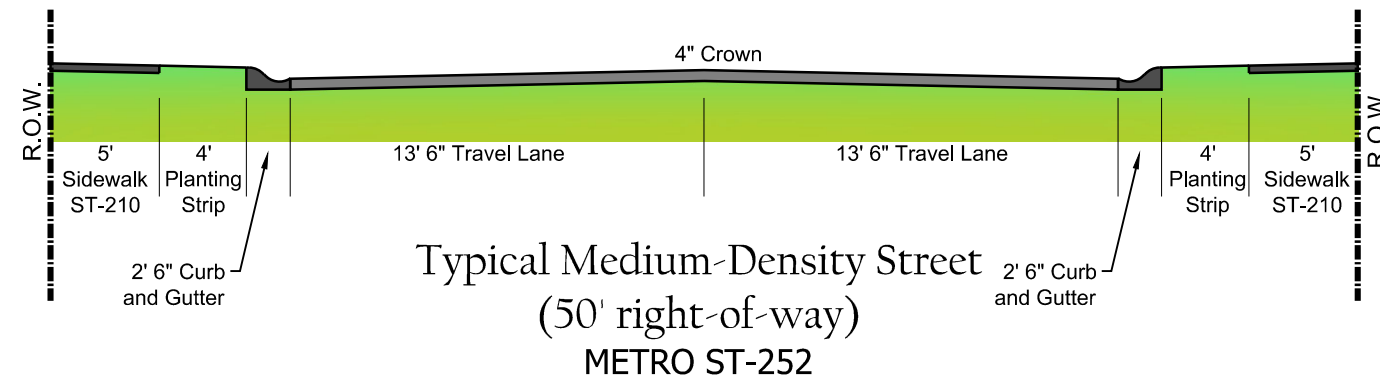
C-1.0

LEGEND

SYMBOL	DESCRIPTION	NO. OF UNITS
	16' WIDE TOWNHOMES	90
	20' WIDE TOWNHOMES	86
	SINGLE FAMILY DETACHED LOTS FOR 41' BY 54' HOMES	164
	TRAIL ACTIVE OPEN SPACE	

CASE # 2007SP-150-001 TOTAL NO. OF UNITS = 340





SITE DATA

Total Area	71.69 Acres
Existing Land Use Policy	T3 NE (Neighborhood Evolving)
Existing Zoning	SP (Zoned for 340 Residential Units)
Proposed Total Number of Units	340 Residential Units
Townhouse	90 - 16' by 37' Townhomes
Townhouse	86 - 20' by 42' Townhomes
Single-Family Homes	164 Single Family Lots
Proposed Density	340 / 71.69 = 4.74 units/acre
Proposed Public Use	
Right-of-way	9.49 acres
Open Space	18 acres (not including stormwater treatment areas)
Undisturbed Natural Areas	7.91 acres (buffers, creeks etc.)
Grass strips and Parking Islands	1.46 acres
Total Green Space	18 + 7.91 + 1.46 = 27.37 acres
Percentage Open Space	(18 + 7.91) / 71.69 = 36%

DEVELOPMENT SUMMARY

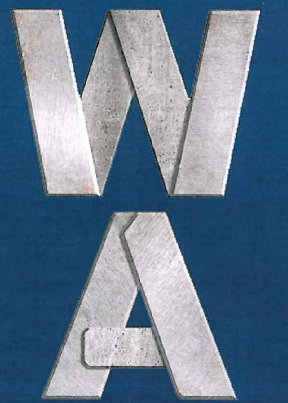
PROPERTY INFORMATION

- Metro Parcel IDs
08600011300 0860032700 0860034800 0870002500 0870019500
- Council District - 12
- Council Member - Steve Glover
- Donelson/Hermitage/Old Hickory Community Plan
Transect Category "T3 Suburban"
- Previous SP number 2007SP-150G-14
- Council Bill No. BL2007-35

General Plan Consistency

The Specific Plan District proposed herein is located within Subarea #14, the Donelson/Hermitage/Old Hickory Community Plan. The specified land use policy for this site is Transect 3 (T3) Neighborhood Evolving policy or (T3 NE).

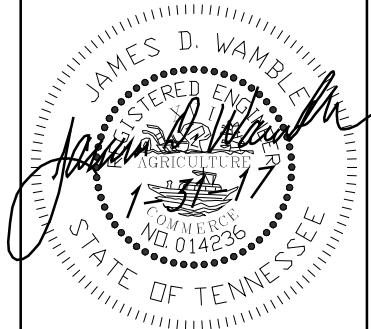
The plan as proposed will further the goals of the T3 NE policy by providing immediate connectivity as shown on the attached plans. The connectivity proposed, both vehicular and pedestrian will result in a fluent development while still preserving over 36% of the site as open space or natural terrain left in its current state.



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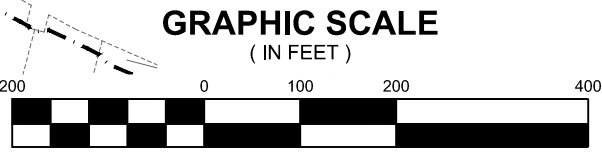
**EVANS HILL
DETAILS / SITE DATA /
DEVELOPMENT SUMMARY**

REV: January 31, 2017

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W&A NO.: 812-0213

C-2.0



TULIP GROVE ROAD
(50' R.O.W.)
TN SPC (NAD 83)

MYRA DRIVE
RS15
Hermitage Creek Cluster Lot Development
Instr. No. 20150710-0067305

Map 86, Parcel 110
William H. Ewin and
Dorothy P. Ewin
Instr. No. 20021114-0140969

Map 86, Parcel 342
David Joe Ewin
Bk 11697, Pg 317

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Bk 4321, Page 601

TULIP GROVE ROAD
(50' R.O.W.)
RS15
RS7.5

Map 86, Parcel 114
G.H. Robertson et ux
Bk 1452, Page 111

Map 86-12, Parcel 120
Myra Ruth Robertson
Instr. No. 20030103-0001112

5' R.O.W.
Dedication

12' Reserve Strip for
Future R.O.W.

Map 86, Parcel 115
Zelander Hockett
Instr. No. 20090212-0012445

Proposed Connection
to Myra Drive
50' R.O.W.

30' Creek Buffer

30'

Tributary of
Dry Fork Creek
with 30' Stream Buffer

Proposed Future
Connection

Proposed Phase Line
(typical)

Map 86, Parcel 247
Harold W. Ewin and
Lois A. Ewin
Instr. No. 20120830-0078431

Floodway
(See Stormwater note
No.5 on Sheet C-4.0)

Farmingham Woods
Phase II, Section 1
P.B. 7900, Page 306

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Phase I
P.B. 7900, Page 228

New Hope Estates
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Valley Grove
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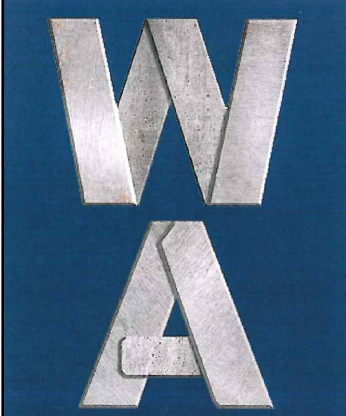
Proposed Connection
to Woodway Lane
50' R.O.W.

Valley Grove
Section 5
P.B. 5200, Page 582

LEGEND

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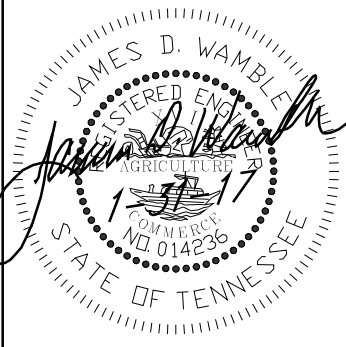
CASE # 2007SP-150-001 TOTAL NO. OF UNITS = 340



WAMBLE & ASSOCIATES P.L.L.C.

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**EVANS HILL
PHASING PLAN**

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C-3.0

STANDARD SP NOTES

1. The purpose of this SP is to amend the currently approved SP to permit a maximum of 164 single-family lots and a maximum of 176 multi-family units.
2. All public sidewalks are to be constructed in conformance with Metro Public Works sidewalk design standards. The final site plan/building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
3. Wheel chair accessible curb ramps, complying with applicable Metro Public Works standards, shall be constructed at street crossings.
4. The required fire flow shall be determined by the Metropolitan Fire Marshal's office, prior to the issuance of a building permit.
5. Minor modifications to the preliminary SP plan may be approved by the planning commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by metro council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
6. If a development standard, not including permitted uses, is absent from the SP and/or Council approval, the property shall be subject to the standards, regulations and requirements of the RS5 zoning district for single-family lots, and the RM9 zoning district for multi-family units as of the date of the applicable request or application. Uses are limited to the uses specified in the Council ordinance.
7. All common space areas are to be dedicated as Public Utility Easements with the recording of the Master Deed. All NES structures are to be located within Public Utility Easements.
8. Boundary Information taken from a Boundary Survey done by Wamble & Associates, PLLC. dated March 27, 2007. Topographic Information taken from an Aerial Topographic survey.
9. This SP shall include an affordable housing component by providing a minimum of fifteen percent (15%), or 51 of the 340 total homes, at or below a sales price of \$220,000. This requirement shall be written into deed restrictions to be recorded prior to 3rd reading at Metro Council.

STORMWATER NOTES

1. The proposed method for the collection, discharge and treatment of on-site stormwater will be street inlets, culverts and surface channels to convey the run-off to sub-surface structures that will provide quantity detention and quality treatment in accordance with the Stormwater Management Manual Volume 1 - Regulations.
2. Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 & approved by the Metropolitan Department of Water Services.
3. Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" cmp).
4. Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
5. This property is located within an area designated as "Zone X", areas determined to be outside 500-year flood plain, as noted on Flood Insurance Rate Map Number 47037C0275F and Map 47037C0261F, Effective Date: April 20, 2001. FEMA's current flood maps do not show the presence of the 100-year flood plain. 100-year flood plain and floodway shown hereon taken from 2015 USACE Flood Study.
6. The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.)
7. This drawing is for illustration purpose, as it pertains to stormwater, to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application
8. Stormwater quality design to meet the current Volumn 5 LID requirements.

WATER AND SEWER NOTES

1. All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
2. All water meters shall be a minimum of 24" below finished grade and not to exceed a maximum of 28" below finished grade.
3. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
4. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
5. Individual water and/or sanitary sewer service lines are required for each unit.
6. Fire hydrants shall be located in such a manner that any portion of a building shall be no further than 500 feet from a fire hydrant as measured via a hard surface road - not a direct line from a hydrant. Locations that meet this requirement will be shown on Final Site Plans for approval by the Metro Fire Marshals Office.

ARCHITECTURAL STANDARDS

General

1. A raised foundation is not required.
2. All front-loaded garages shall be recessed from the front facade of the home by at least 2'. A front porch shall not be considered the front facade of the home. No more than 25% of the homes shall the garage be recessed by only 2' from the front facade of the home. No More than 25% of the homes shall the garage be recessed by only 3' from the front facade of the home. All other homes shall be recessed from the front facade of the home by at least 5'.
3. Windows to be on one horizontal panel on the garage door.
4. Building facades fronting the street shall provide a minimum of one principle entrance (doorway) and a minimum of 15% glazing. For measurement purposes, the total area of the front facade shall not include the square footage of the garage door.
5. Windows shall be vertically oriented at a ratio of 1.75 to 1.
6. EIFS, and untreated wood shall be prohibited on front elevations. Vinyl siding shall be acceptable on 75% of each front elevation and on all side and rear elevations.

Walls

1. Materials
 - a. Building walls shall be finished in brick, stone, wood siding, shingles, fiber cement siding/shingles, vinyl siding and or stucco.
2. Configurations & Techniques
 - a. Siding shall be horizontal or vertical, maximum of 8" exposure.
 - b. Shingles shall be horizontal, maximum of 8" exposure.

Attachments

1. Materials
 - a. Chimneys shall be finished with siding and cantilevered.
 - b. Piers and arches shall be finished in masonry or stucco.
 - c. Decks shall not be permitted in front or side yards.
 - d. Awnings shall have a metal structure covered with canvas or synthetic canvas.
2. Configurations & Techniques
 - a. Balconies shall be structurally supported by piers, columns, brackets, tapered beams, or cantilevered.
 - b. Porches, arcades and breezeways shall have square or vertically proportioned openings (must be taller than wide).
 - c. Piers shall be no less than 12" x 12".
 - d. Posts shall be no less than 4" x 4".
 - e. Wood elements must be painted or sealed with an opaque or semisolid stain.

BULK STANDARDS

Bulk Standards - Single Family Lots

Minimum Lot Area: 4,000 s.f.
Minimum Lot Width: 51' (at steet right-of-way)
Maximum Building Coverage: 65%

Setbacks:

Front: 20' Min. Principle Building / 20' Min. Garage
Side: 5' Min. / 10' Side Street
Rear: 10' Min.
Maximum Height of Principal Building: Limited to 2 stories in 35 feet

Parking

Parking required: 2 spaces per unit
Parking location: Front or Side Entry Garage
Parking Access: Main or Side Street

Bulk Standards - Townhomes

Minimum Lot Area: None
Minimum Lot Width: None
Maximum Building Coverage: 75%

Setbacks:

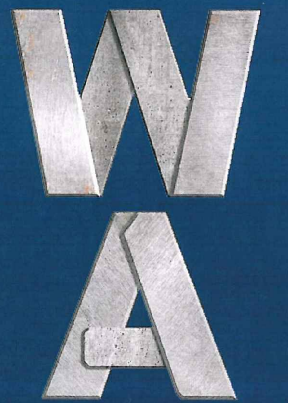
Front: 5' Min. from Sidewalk
Side: 5' Min. on Corner Lots
0' on Internal Lots

Rear: 10' Min.

Distance between Detached Buildings: 6' Min.
Height of Principal Building: Limited to 2 stories in 35 feet

Parking

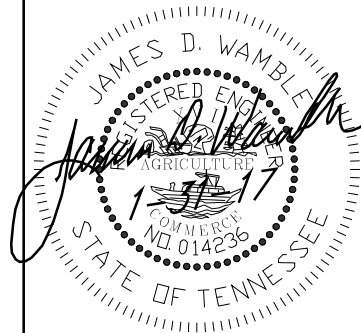
Parking required: 2 spaces per unit
Parking location: Front
Parking Access: Private Street



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**EVANS HILL
NOTES AND
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