

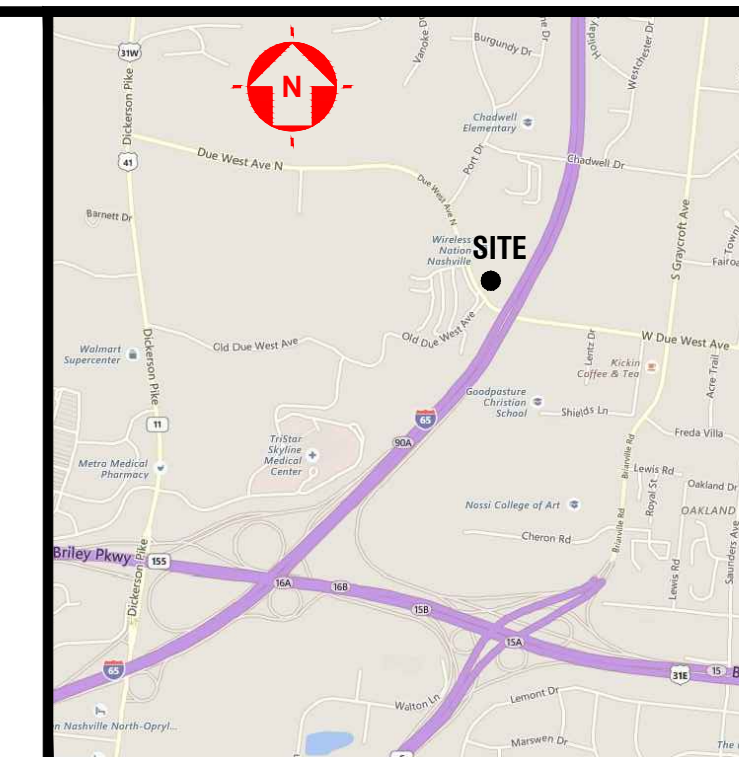


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# PRELIMINARY SPECIFIC PLAN SUBMITTAL FOR

# BASHAW VILLAGE A MULTI-FAMILY DEVELOPMENT

710 DUE WEST AVENUE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE



VICINITY MAP

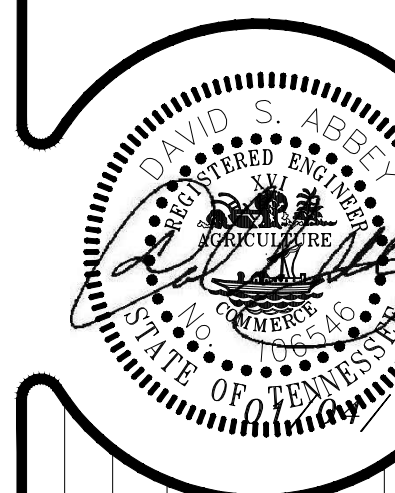
PLANS PREPARED FOR:  
**EASTLAND DEVELOPMENT, LLC**  
4883 GALLATIN PIKE  
NASHVILLE, TN 37216  
TELE: (615) XXX-XXXX

PLANS PREPARED BY:  
4209 GALLATIN PIKE  
NASHVILLE, TN 37216  
TELE: (615) 227-5863  
www.dmgashville.com



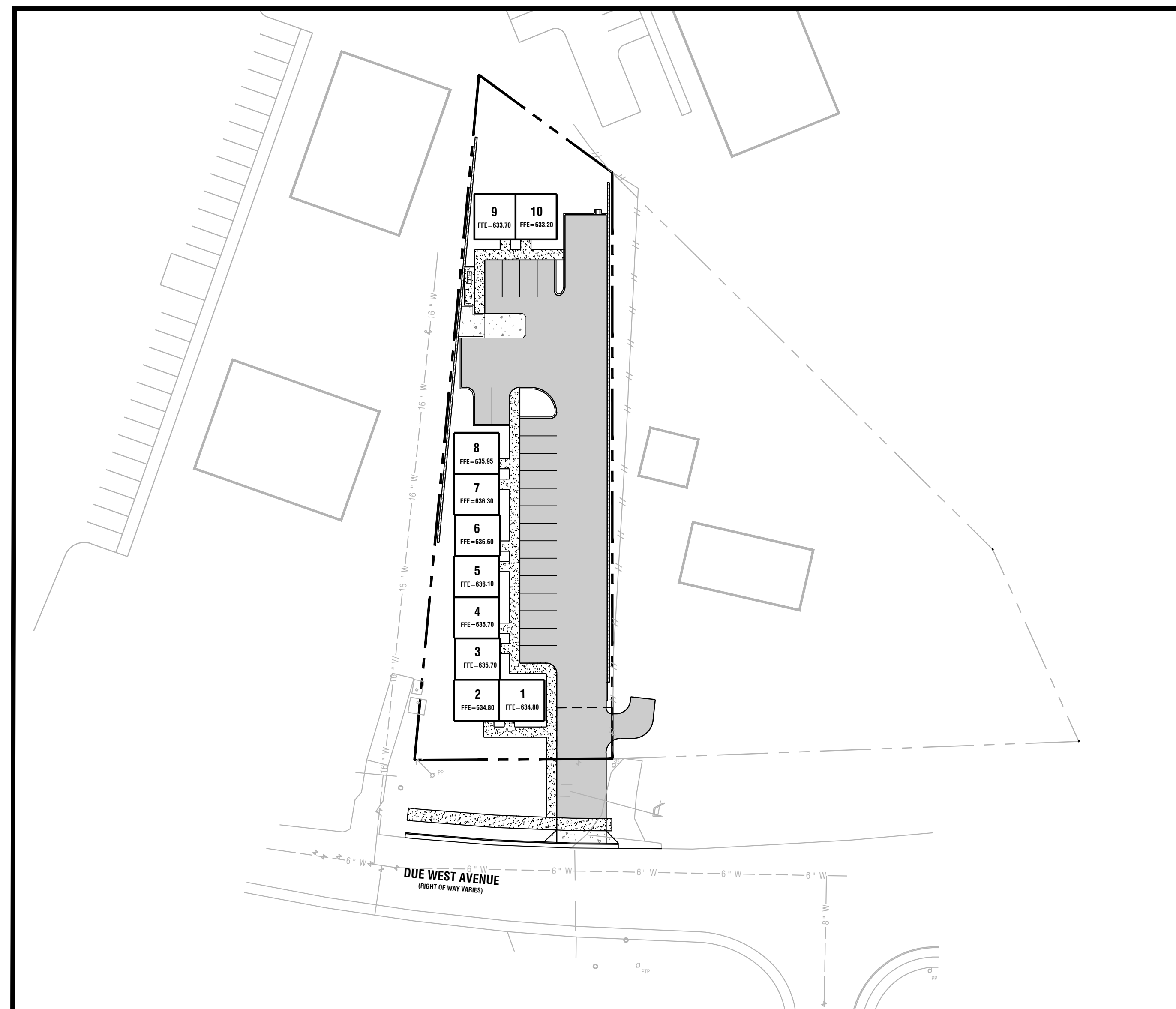
D E V E L O P M E N T  
M A N A G E M E N T  
G R O U P , L L C

**BASHAW VILLAGE  
MULTI-FAMILY DEVELOPMENT  
PRELIMINARY SPECIFIC PLAN**  
710 DUE WEST AVENUE  
NASHVILLE, DAVIDSON COUNTY, TN



### SITE DATA TABLE

CITY:	NASHVILLE	
COUNTY:	DAVIDSON	
STATE:	TENNESSEE	
COUNCILMANIC DISTRICT:	8th, NANCY VANREEDE	
ZONING CLASSIFICATION:	CURRENT - RS10;	PROPOSED - SP
SURROUNDING ZONING:	RS10 AND RM15	
PROPOSED LAND USE:	MULTI-FAMILY (ATTACHED TOWNHOMES)	
TOTAL ACREAGE OF SITE:	0.58 ± ACRES	
TOTAL SQUARE FOOTAGE OF SITE:	25,244 ± SF	
MAXIMUM FLOOR AREA RATIO (FAR):	0.60 MAXIMUM; 0.35 PROVIDED	
MAXIMUM IMPERVIOUS SURFACE RATIO (ISR):	0.80 MAXIMUM; 0.71 PROVIDED	
- BUILDING	4,500 SF	17.83%
- SIDEWALK / PATIO	1,830 SF	7.25%
- PAVEMENT / CURBING	11,702 SF	46.35%
- GREEN SPACE	7,212 SF	28.57%
MINIMUM REQ'D BUILDING SETBACKS:		
- STREET YARD REQ'D / PROV'D:	15' / 18.78' AT CLOSEST POINT	
- SIDE YARD REQ'D / PROV'D:	NONE / 3.24' AT CLOSEST POINT	
- REAR YARD REQ'D / PROV'D:	20' / 24.41' AT CLOSEST POINT	
RAMP LOCATION AND NUMBER:	1 ACCESS ON DUE WEST AVENUE	
DISTANCE TO NEAREST EXISTING RAMP	MODIFIED SHARED ACCESS RAMP (SOUTH) 295 ± TO DRIVEWAY NORTH (APARTMENT ENTRANCE)	
DISTANCE TO INTERSECTION:	110 ± TO OLD DUE WEST AVENUE	
PROPOSED BUILDING AREA:	8,800 SF (10 UNITS @ 880 SF EACH)	
MAXIMUM BUILDING HEIGHT:	3 STORIES 45' MAX	
BUILDING HEIGHT PROVIDED:	20' (2-STORY)	
PARKING REQUIREMENTS:	RESIDENTIAL: 1 SPACE PER 1.5 UNITS	
TOTAL PARKING REQUIRED:	15 SPACES	
PARKING PROVIDED:	20 SPACES	



### INDEX OF DRAWINGS

- COVER SHEET
- BOUNDARY & TOPOGRAPHIC SURVEY
- SP1.0 SITE LAYOUT PLAN
- SP2.0 SITE GRADING & DRAINAGE PLAN
- SP3.0 SITE UTILITY PLAN
- L1.1 LANDSCAPE PLAN

### FLOOD NOTE:

BY GRAPHIC PLOTTING ONLY, THE DESCRIBED PROPERTY IS NOT LOCATED IN A FLOOD HAZARD ZONE AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47037C0138F WHICH BEARS AN EFFECTIVE DATE OF APRIL 20, 2001.

### PURPOSE NOTE:

THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A MULTI-FAMILY DEVELOPMENT AS SHOWN.

REVISIONS

DATE

NO. DESCRIPTION

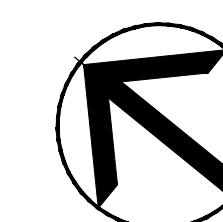
DATE: 01-04-17

DMG Project No: 16162

COVER SHEET

**SP0.0**

PARCEL ID: 05106000300  
MPC CASE NO: 2017SP-009-001

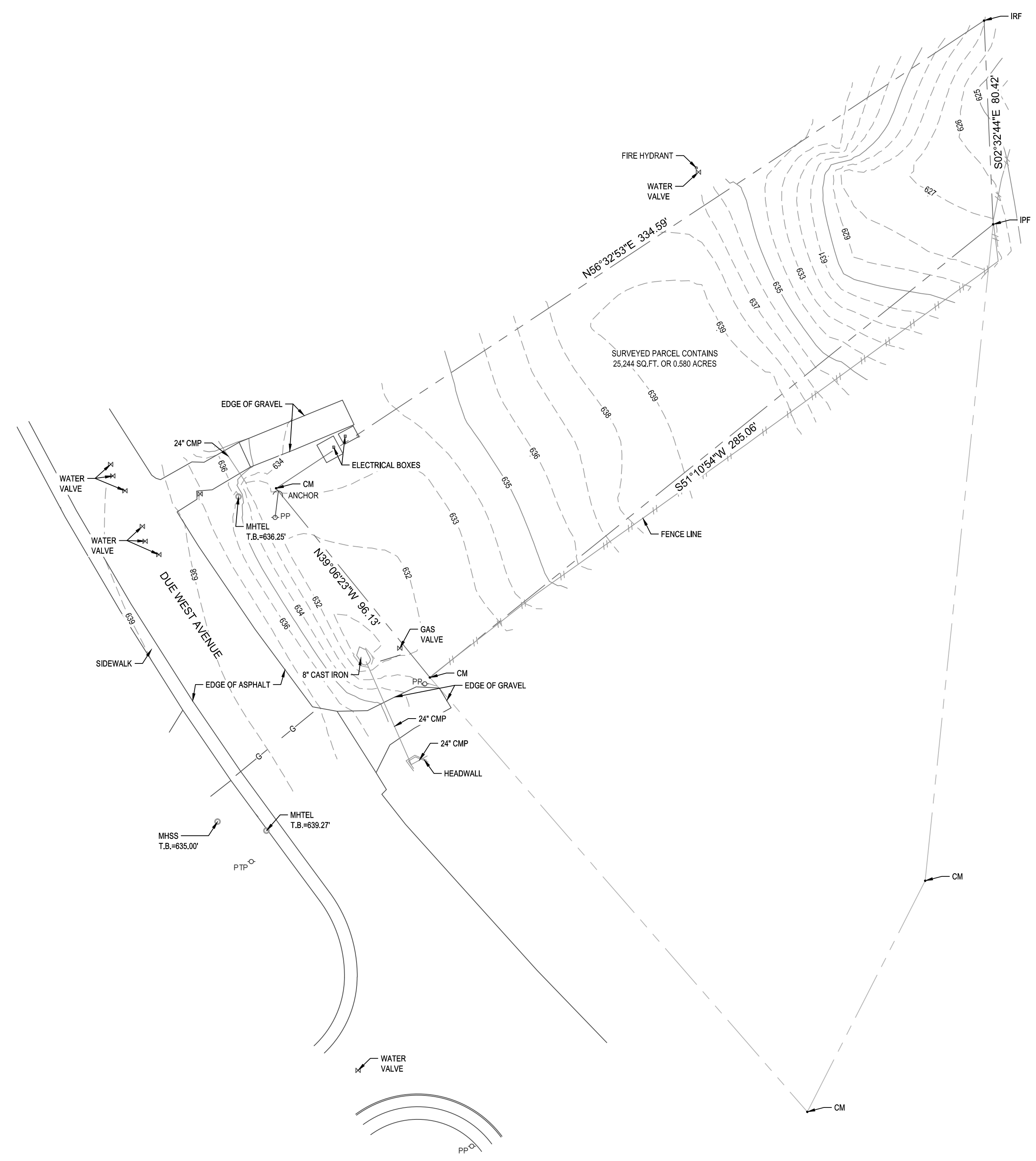
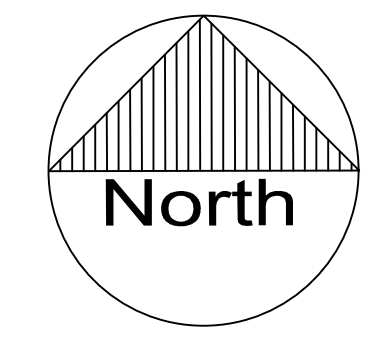


ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1"=40'

DRAWN BY : KSL  
DATE: 08/11/16  
REV:  
JOB #



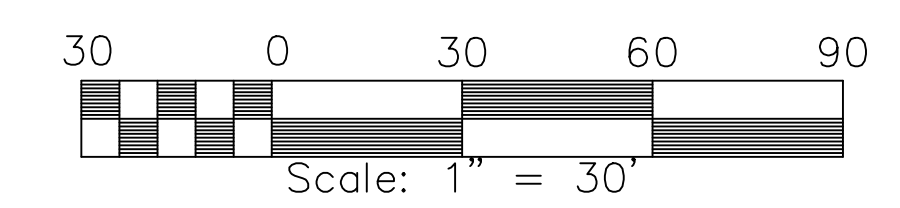
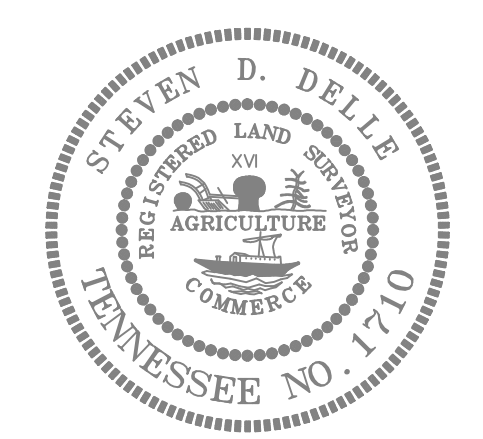
BOUNDARY AND TOPOGRAPHIC SURVEY

710 DUE WEST  
TAX MAP 00014540000472  
NASHVILLE, TENNESSEE

CERTIFICATION OF SURVEY ACCURACY

I (WE) HEREBY CERTIFY THAT TO THE BEST OF MY (OUR) KNOWLEDGE AND BELIEF THIS IS A TRUE AND ACCURATE SURVEY OF THE PROPERTY SHOWN HEREON; THAT THIS A CATEGORY "1" LAND SURVEY AS DEFINED IN TITLE 62, CHAPTER 18, TENNESSEE CODE ANNOTATED, AND THAT THE RATIO OF PRECISION IS GREATER THAN OR EQUAL TO 1:10,000.

DATE \_\_\_\_\_ NAME \_\_\_\_\_



Delle Land Surveying  
408 Nesbitt Lane  
Madison, Tennessee 37115  
(615) 865-4242

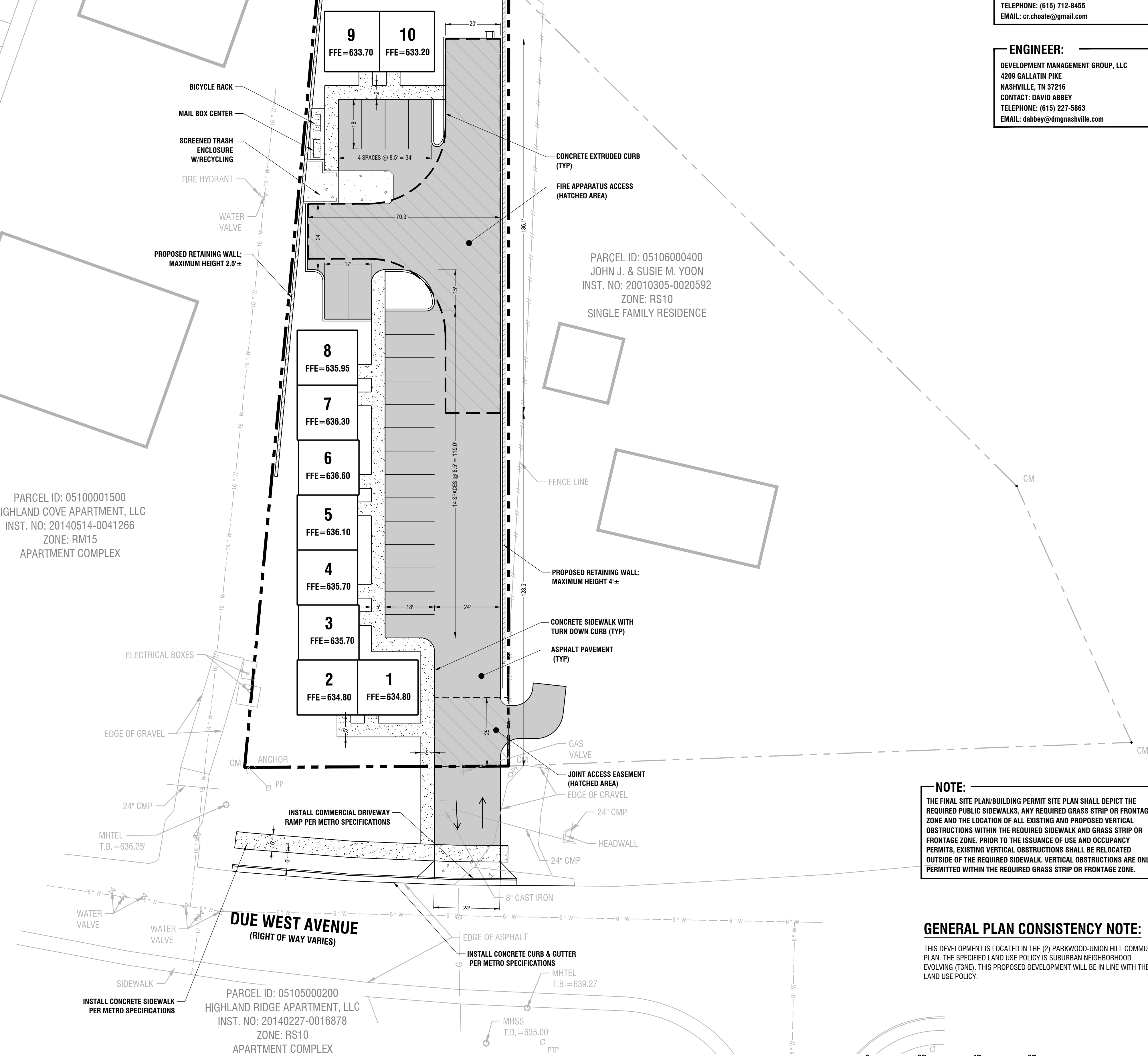
Z:\PROJECT DATABASE\2016\16162 - Eastland - Due West Ave Property - Nashville, TN\Plans\Engineer\16162 - Due West, CT-0-Lay-out-Layout1 Jan 06, 2017 - 11:09am Cory

PARCEL ID: 05100001500  
HIGHLAND COVE APARTMENT, LLC  
INST. NO: 20140514-0041266  
ZONE: RM15  
APARTMENT COMPLEX

PARCEL ID: 05100001500  
HIGHLAND COVE APARTMENT, LLC  
INST. NO: 20140514-0041266  
ZONE: RM15  
APARTMENT COMPLEX

PARCEL ID: 05106000400  
JOHN J. & SUSIE M. YOON  
INST. NO: 20010305-0020592  
ZONE: RS10  
SINGLE FAMILY RESIDENCE

PARCEL ID: 05105000200  
HIGHLAND RIDGE APARTMENT, LLC  
INST. NO: 20140227-0016878  
ZONE: RS10  
APARTMENT COMPLEX



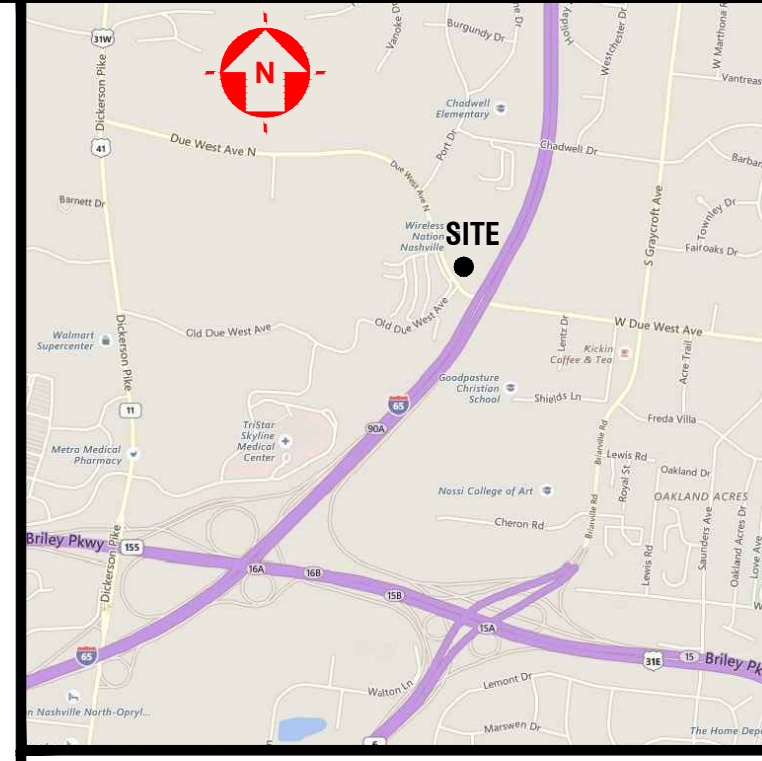
**OWNER OF RECORD:**  
PARCEL ID: 0510600300 (710 DUE WEST AVENUE)  
ROBERT VAUGHN  
1506 DELLWOOD AVENUE  
COOKEVILLE, TN 38506

**DEVELOPER:**  
EASTLAND DEVELOPMENT, LLC  
4803 GALLATIN PIKE  
NASHVILLE, TN 37216  
CONTACT: CHRIS CHOATE  
TELEPHONE: (615) 712-8455  
EMAIL: cr.choate@gmail.com

**ENGINEER:**  
DEVELOPMENT MANAGEMENT GROUP, LLC  
4209 GALLATIN PIKE  
NASHVILLE, TN 37216  
CONTACT: DAVID ABBEY  
TELEPHONE: (615) 227-5863  
EMAIL: dabbey@dmgtnashville.com



Know what's below.  
Call before you dig.



VICINITY MAP

**FLOOD NOTE:**

BY GRAPHIC PLOTTING ONLY, THE DESCRIBED PROPERTY IS LOCATED IN A FLOOD HAZARD ZONE 'X' AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 47037C0138F WHICH BEARS AN EFFECTIVE DATE OF APRIL 20, 2001.

**SURVEY NOTE:**

BASE INFORMATION WAS TAKEN FROM AN BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY DELLE LAND SURVEYING DATED AUGUST 11, 2016. DEVELOPMENT MANAGEMENT GROUP, LLC SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

**DISTURBED AREA:**

TOTAL DISTURBED AREA = 0.58 ACRES ±

**SITE DATA TABLE**

CITY:	NASHVILLE
COUNTY:	DAVIDSON
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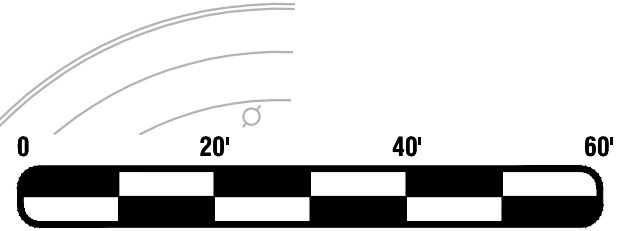
**SP STANDARD NOTES:**

- THE PURPOSE TO THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A MULTI-FAMILY DEVELOPMENT AS SHOWN.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT REGULATIONS AND APPROVED BY METRO DEPARTMENT OF WATER SERVICES.
- THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED ON FEMA MAP 47037C0138F WITH AN EFFECTIVE DATE OF APRIL 20, 2001.
- ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- ADA COMPLIANT CURB RAMPS IN COMPLIANCE WITH METRO PUBLIC WORKS STANDARDS TO BE CONSTRUCTED AT STREET CROSSINGS.
- THE REQUIRED FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- METRO WATER SERVICE SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- INDIVIDUAL WATER AND SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- SOLID WASTE PICKUP TO BE PROVIDED BY PRIVATE HAULER AT PROPOSED DUMPSTER LOCATIONS SHOWN ON THIS PLAN.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATION AND REQUIREMENTS OF THE RM15-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

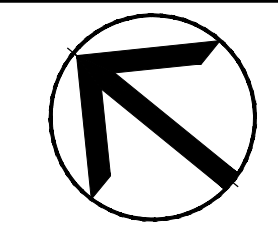
**NOTE:**  
THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

**GENERAL PLAN CONSISTENCY NOTE:**  
THIS DEVELOPMENT IS LOCATED IN THE (2) PARKWOOD-UNION HILL COMMUNITY PLAN, THE SPECIFIED LAND USE POLICY IS SUBURBAN NEIGHBORHOOD EVOLVING (T3NE). THIS PROPOSED DEVELOPMENT WILL BE IN LINE WITH THE LAND USE POLICY.

ISSUED FOR:  CHECKSET  AGENCY REVIEW  BID PURPOSES  CONSTRUCTION



SCALE: 1" = 20'

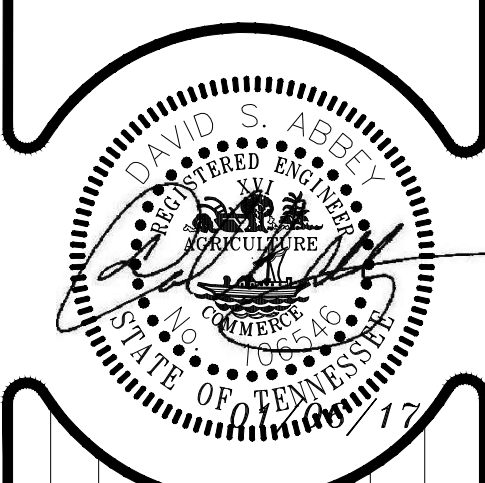


PARCEL ID: 05106000300  
MPC CASE NO: 2017SP-009-001

PLANS PREPARED FOR:  
**EASTLAND DEVELOPMENT, LLC**  
4803 GALLATIN PIKE  
NASHVILLE, TN 37216  
TELE: (615) XXX-XXXX

PLANS PREPARED BY:  
**DJ**  
DEVELOPMENT MANAGEMENT GROUP, LLC  
4209 GALLATIN PIKE  
NASHVILLE, TN 37216  
TELE: (615) 227-5863  
www.dmgtnashville.com

**BASHAW VILLAGE**  
MULTI-FAMILY DEVELOPMENT  
PRELIMINARY SPECIFIC PLAN  
710 DUE WEST AVENUE  
NASHVILLE, DAVIDSON COUNTY, TN



NO.	DATE	DESCRIPTION

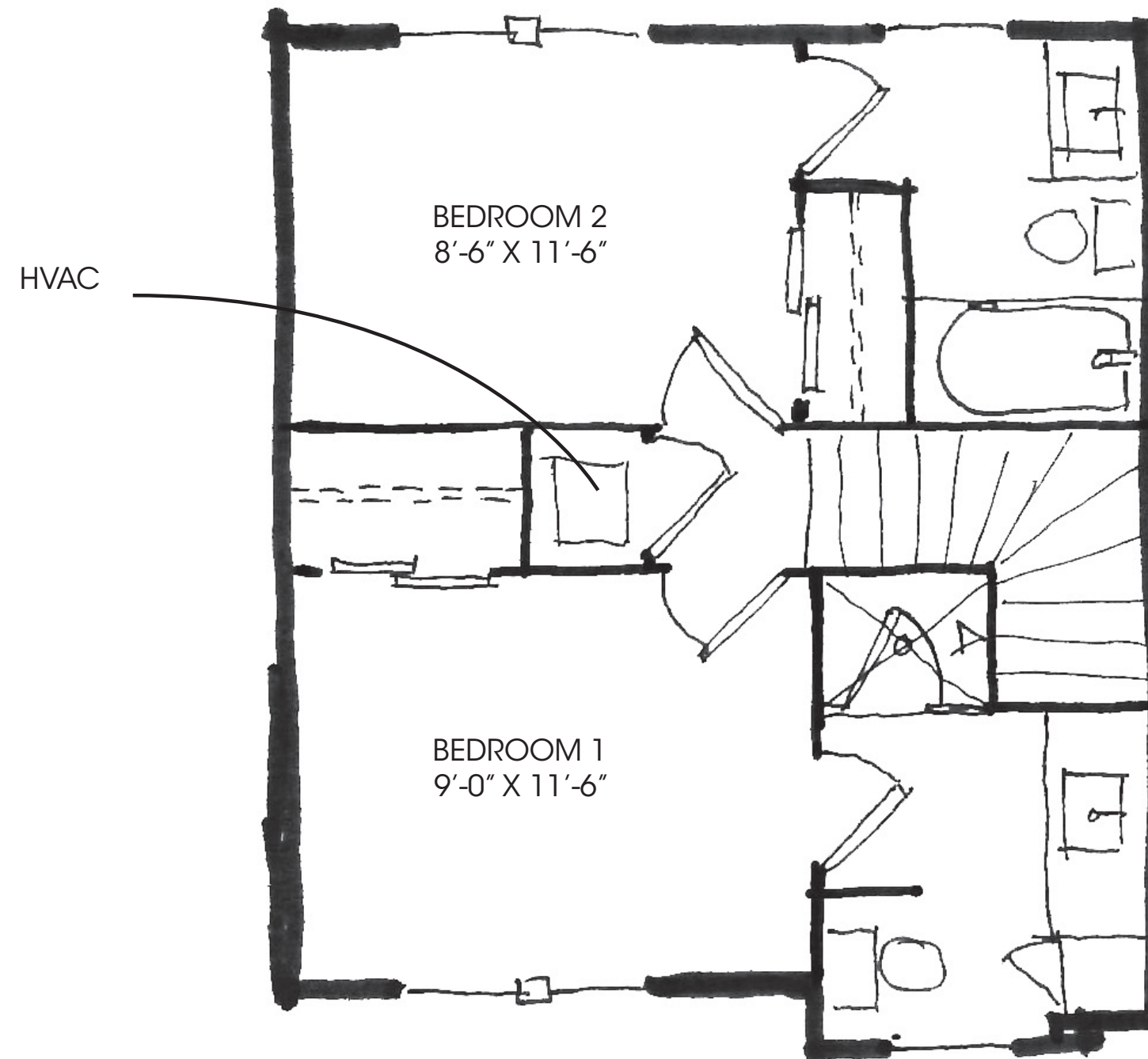
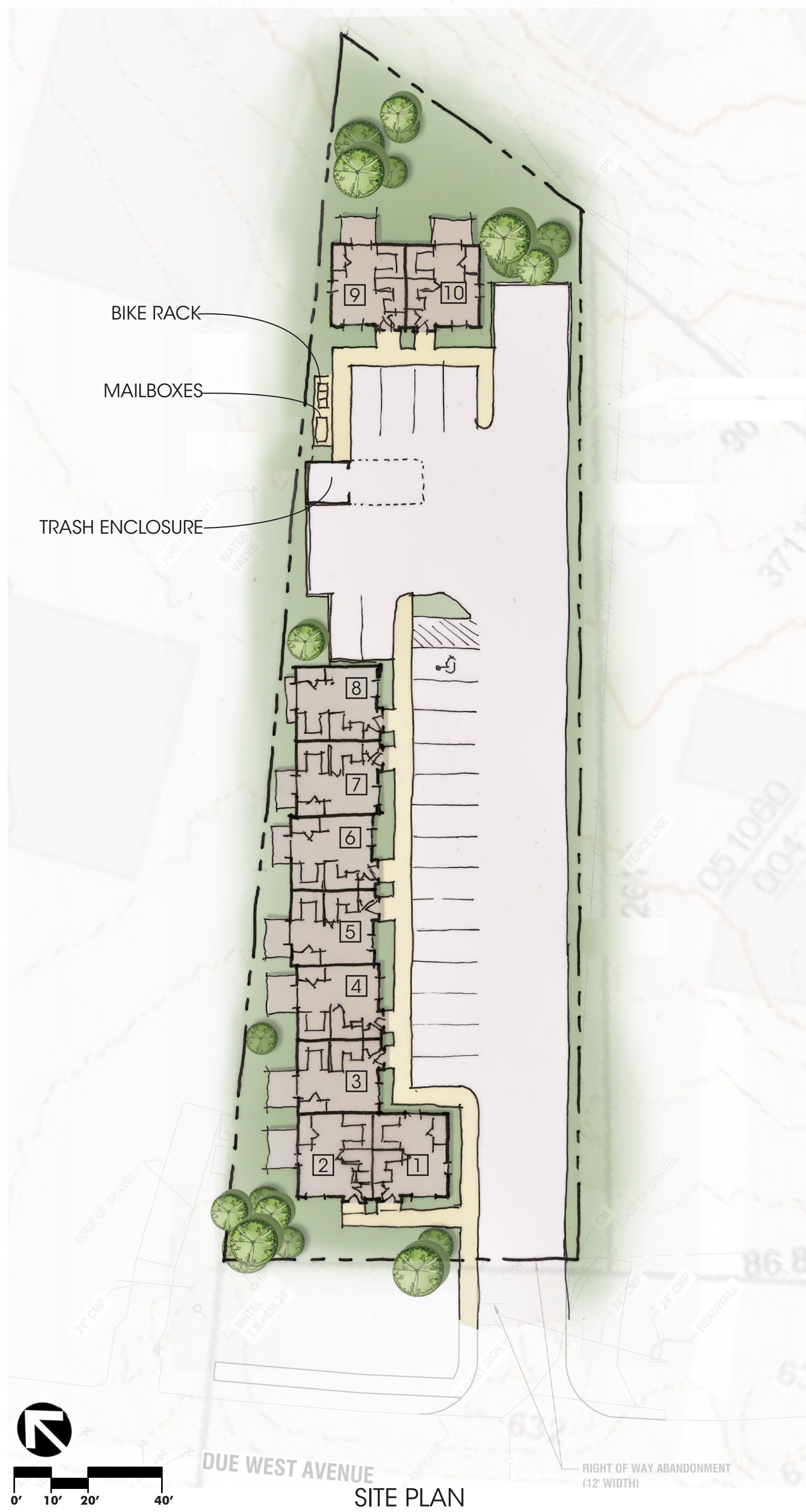
DATE: 01-06-17  
DMG Project No: 16162

SITE LAYOUT PLAN  
**SP1.0**

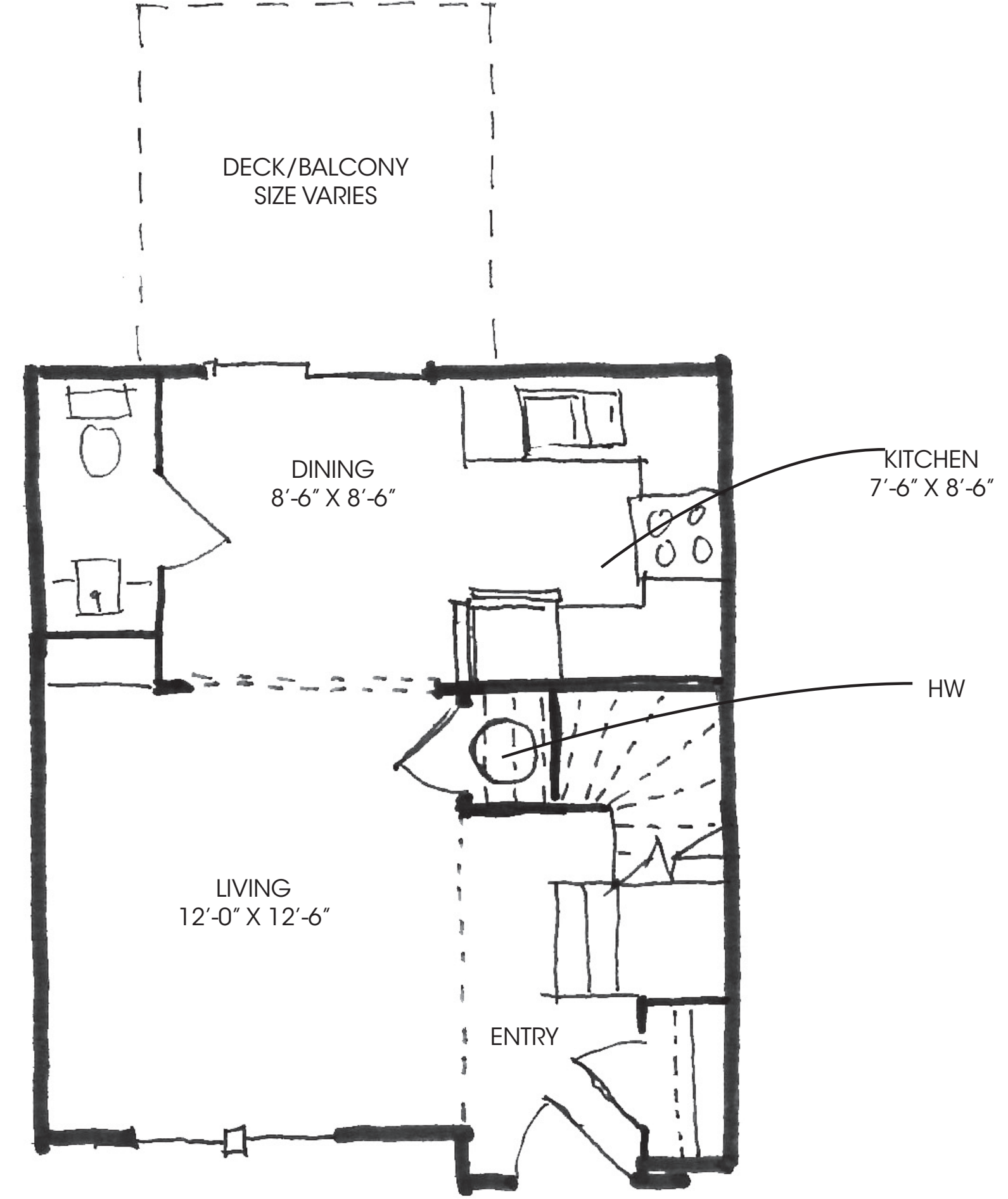








UNIT PLAN - LEVEL 2  
APPROX 415 SF



UNIT PLAN - LEVEL 1  
APPROX 450 SF

UNIT PLANS



ELEVATIONS

December 21, 2016

Concept Design  
**710 Due West Avenue**  
Madison, TN

SP #: 2017SP-009-001  
SGS #: 16069.00

**SMITH GEE STUDIO, LLC**  
209 10th Avenue South • Suite 425  
Nashville, Tennessee 37203  
p: 615.739.5555  
www.smithgeestudio.com

