

SPECIFIC PLAN BENTO BOX

NASHVILLE, DAVIDSON COUNTY, TENNESSEE

CASE NO. 2016SP-039-002
LEA PROJECT NO. 514716018
AUGUST 30, 2016

DEVELOPMENT SUMMARY / SITE DATA

PROJECT NAME: BENTO BOX NASHVILLE
MAP/PARCEL: 105-07/443.01 & 444
SITE ADDRESS: 1267/1271 3rd AVE. SOUTH
SITE ACREAGE: 0.95 AC

COUNCIL DISTRICT: 17
COUNCIL MEMBER: COLBY SLEDGE

EXISTING USE: VACANT
EXISTING ZONING: TWO (INDUSTRIAL, WAREHOUSE/DISTRIBUTION)
OVERLAYS: UZO (URBAN ZONING OVERLAY)

PROPOSED USE: MULTIFAMILY MIXED USE
PROPOSED ZONING: SP

SP DISTRICT STANDARDS

LOT SIZE: 0.95 AC
FAR: 1.2
ISR: 0.9

STREET SETBACK/STREET TYPES:
3rd AVE. SOUTH - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)
HART ST. - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)

MULTIFAMILY BUILDING HEIGHT: 5 STORIES IN 76 FT

BUILDING DATA

MULTIFAMILY DWELLING UNITS:
20 CO-LIVING ROOMS
27 MICRO UNITS
17 STUDIO UNITS
19 ONE-BEDROOM UNITS
6 TWO-BEDROOM UNITS
89 TOTAL UNITS

COMMERCIAL SPACE:
RESTAURANT: 4,877 SF (TWO TOTAL ESTABLISHMENTS)
RETAIL: 3,559 SF

PARKING REQUIREMENTS

MULTIFAMILY:
1 SP PER SINGLE UNIT + 1.5 SP PER 2-BR UNIT
= 15P X 83 UNITS + 1.5 SP X 6 UNITS
= 92 SPACES REQUIRED

RESTAURANT: 4,877 SF - 1,000 SF (UZO) = 3,877 SF/150 = 26 SPACES REQUIRED
RETAIL: 3,559 SF - 2,000 SF (UZO) = 1,559 SF/200 = 8 SPACES REQUIRED

PARKING REDUCTIONS:

PEDESTRIAN CONNECTION: 10%
TRANSIT CONNECTION: 10%
BUILD-TO-LINE/SETBACKS: 10%

MAX REDUCTION 25%

PARKING REQUIRED: 92 + 26 + 8 = 126 - 25% = 95 SPACES REQUIRED

PARKING PROVIDED: 83 IN AUTOMATED PARKING STRUCTURE
21 SURFACE SPACES (INCLUDING 5 ADA SPACES)
104 SPACES PROVIDED

BICYCLE PARKING REQUIREMENTS

MULTIFAMILY:
1 SP PER 4 DWELLING UNITS (29% OF THE TOTAL MUST BE PUBLICLY AVAILABLE)
= 1 SP X (89 UNITS/4)
= 23 SPACES REQUIRED (7 MUST BE PUBLICLY AVAILABLE)

RESTAURANT:
4 PUBLICLY AVAILABLE SPACES PER ESTABLISHMENT
= 4 SP X 2 ESTABLISHMENT
= 8 PUBLICLY AVAILABLE SPACES REQUIRED

RETAIL:
2 PUBLICLY AVAILABLE SPACES OR 1 SPACE PER 5,000 SQUARE FEET
= 1 SP X (3,559 SF/5,000 SF) < 2 SPACES
= 2 PUBLICLY AVAILABLE SPACES REQUIRED

TOTAL BICYCLE PARKING REQUIRED:
= 23 + 8 + 2
= 33 TOTAL BICYCLE PARKING SPACES REQUIRED (11 MUST BE PUBLICLY AVAILABLE)

BICYCLE PARKING PROVIDED = 33 TOTAL SPACES

DEVELOPER

BENTO BOX, LLC
BROOKLYN NAVY YARD
63 FLUSHING AVE.
BUILDING 280, SUITE 515
BROOKLYN, NY 11205
(718) 260-8200

APPLICANT

LITTLEJOHN
1935 21ST AVE SOUTH
NASHVILLE, TN 37212
CONTACT: TRAVIS TODD, PE
(615) 385-4144
TTODD@LEAINC.COM

NOTES

- THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A MIXED USE DEVELOPMENT.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/ 840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN OCTOBER OF 2016 AND WILL TAKE APPROXIMATELY 12 MONTHS TO BE COMPLETED.
- EFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.

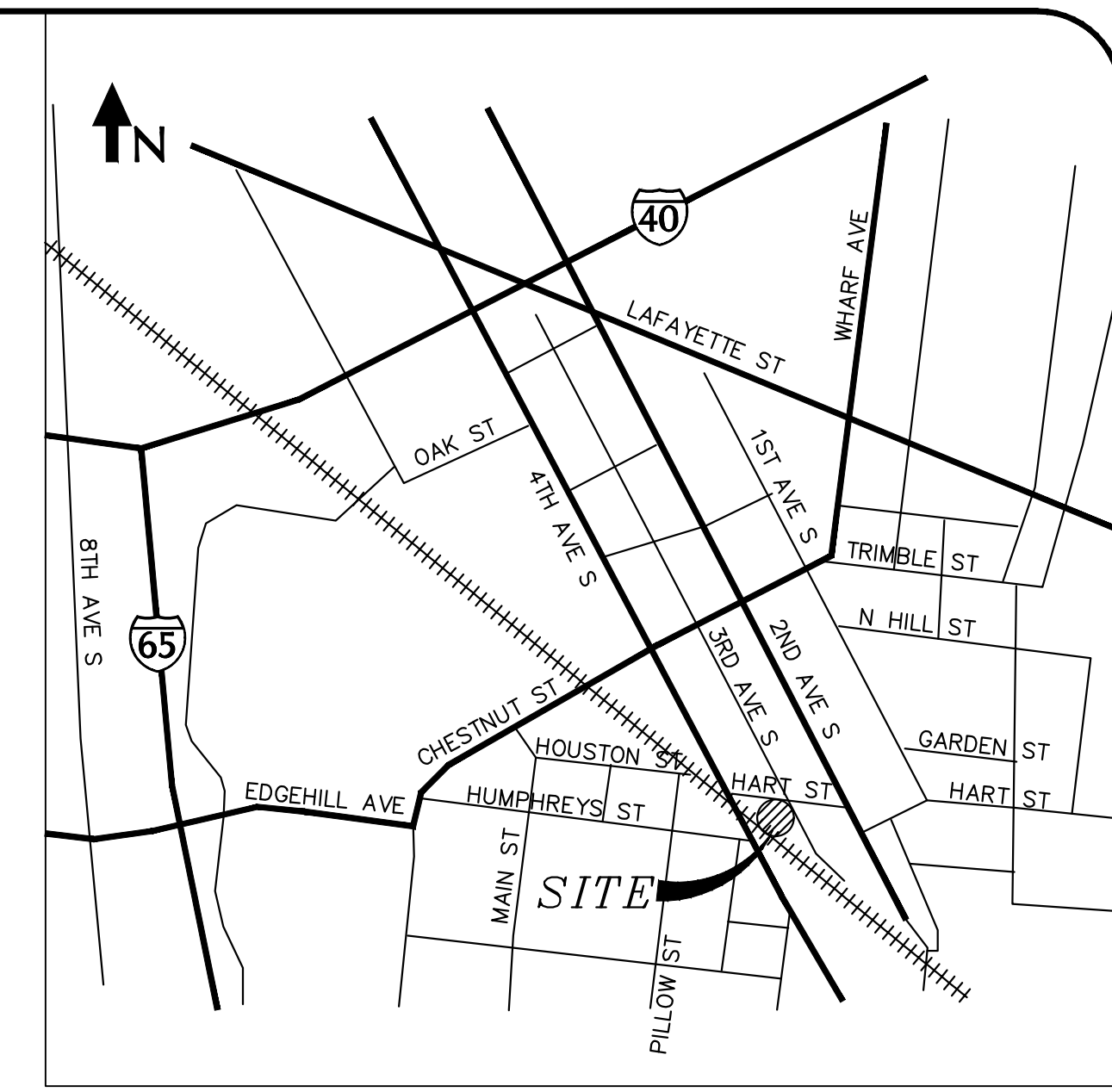
ARCHITECT
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515 MAIN ST.
NASHVILLE, TN 37206
615.242.4004

PREPARED FOR
BENTO BOX, LLC
BROOKLYN, NY

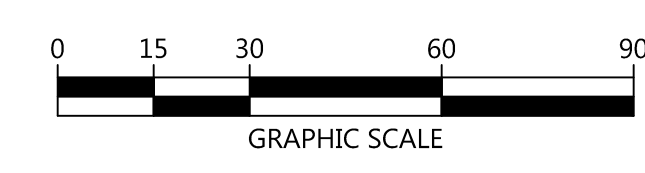
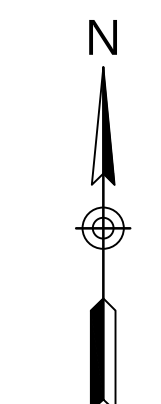
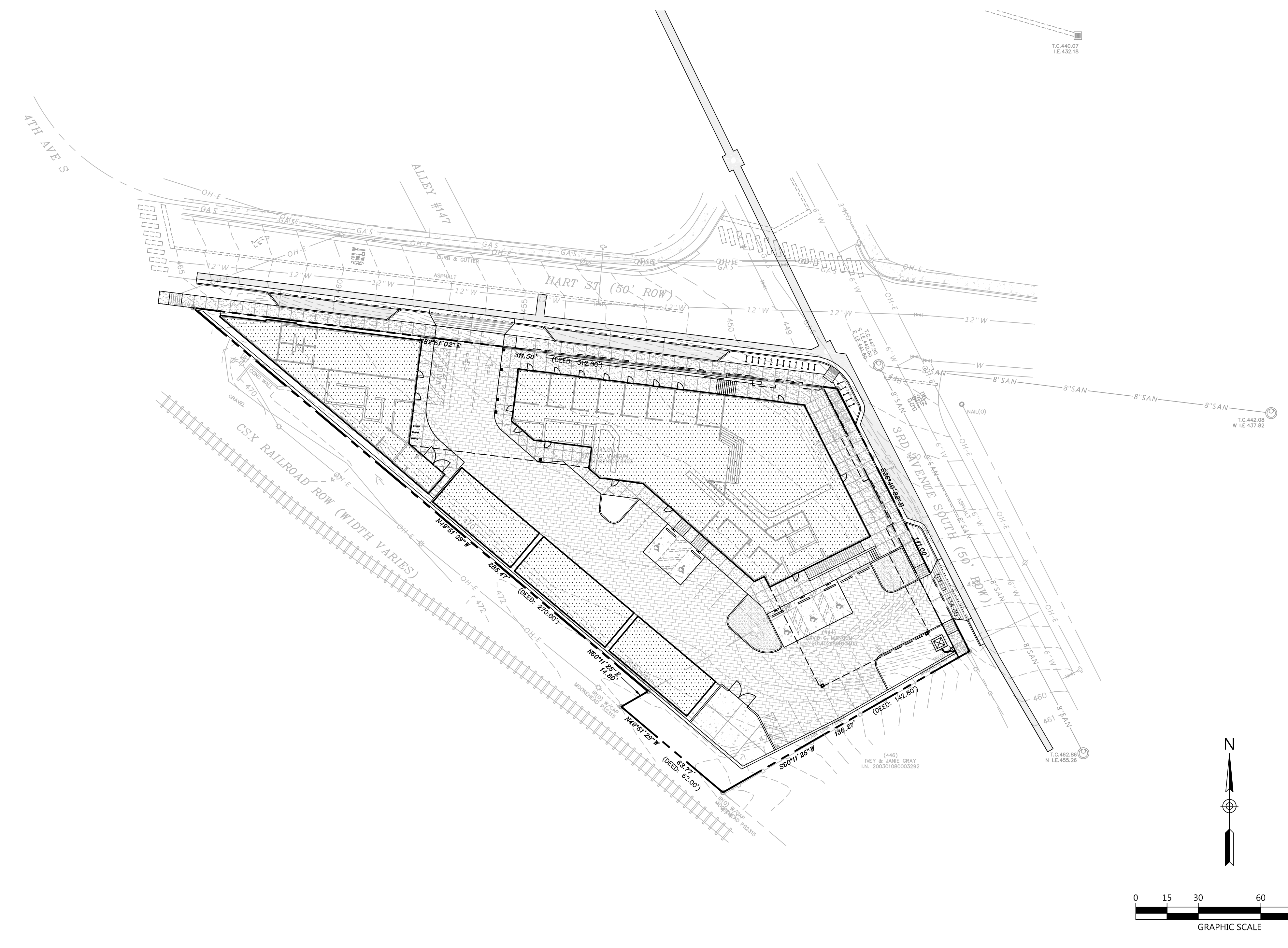
CIVIL ENGINEER/LANDSCAPE ARCHITECTURE

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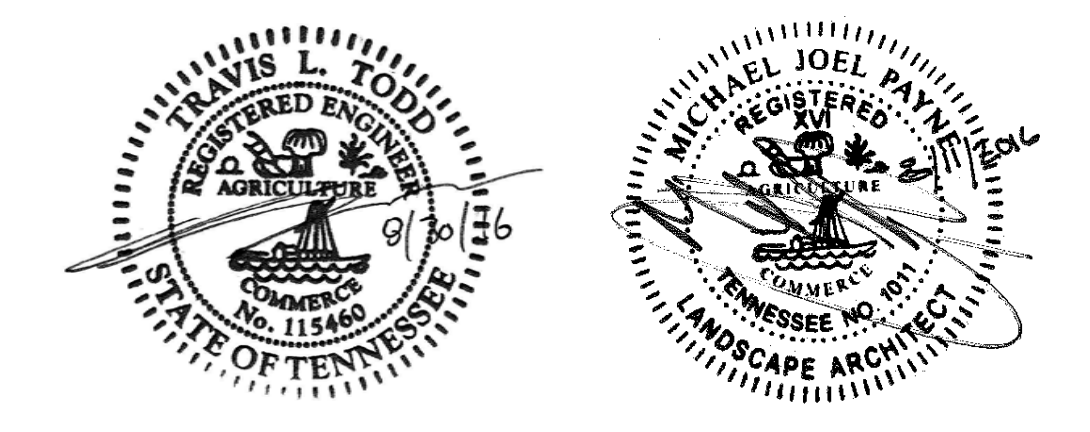


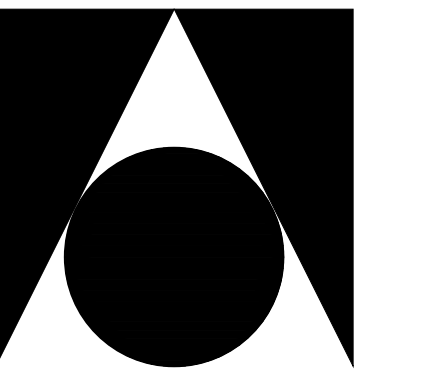
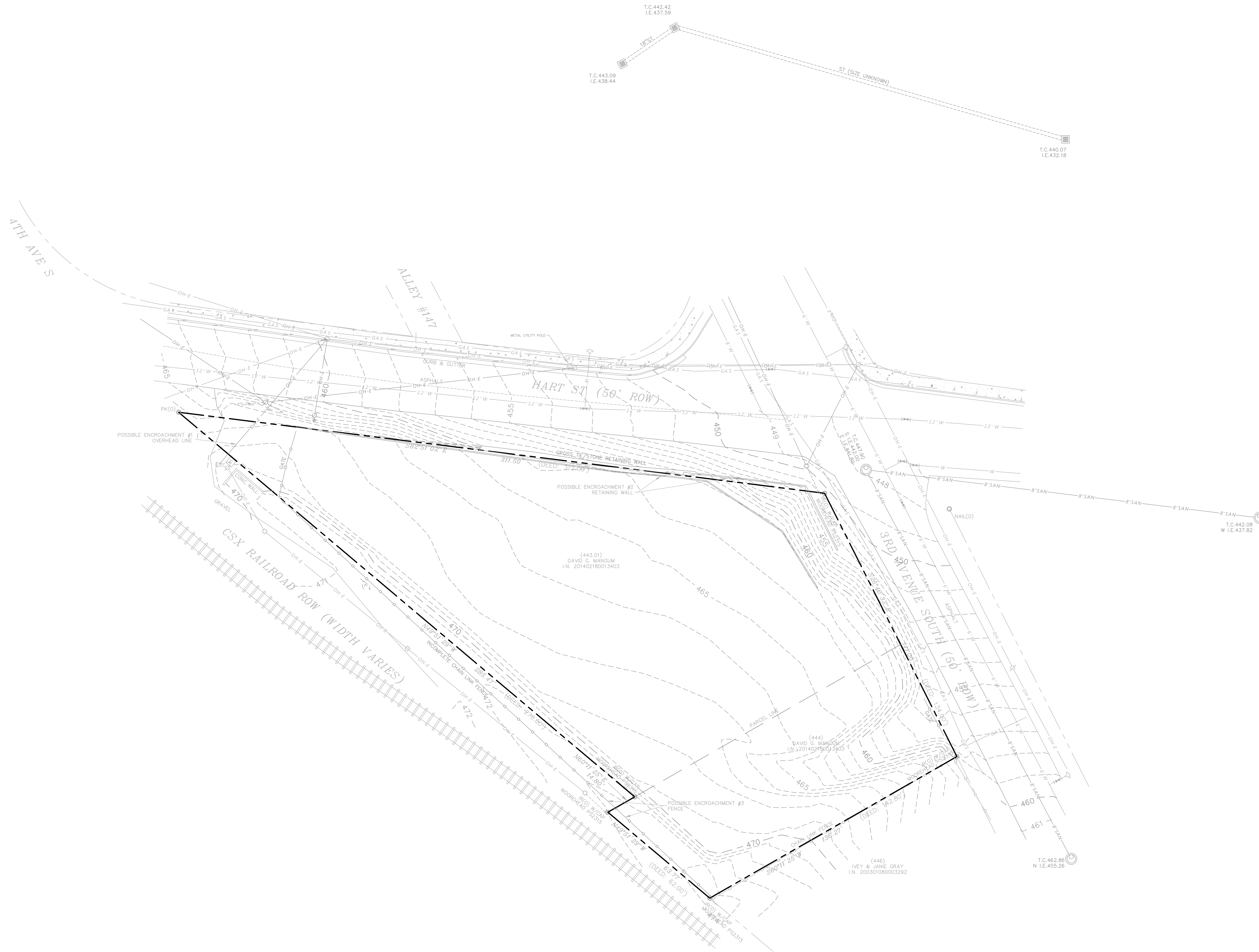
VICINITY MAP
NOT TO SCALE



INDEX OF SHEETS

SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE DEMOLITION
C3.0	SITE LAYOUT
C4.0	SITE GRADING & DRAINAGE
C5.0	SITE UTILITIES
L1.0	SITE LANDSCAPE
L2.0	ILLUSTRATIVE SITE PLAN
A02	3D VIEWS
A1.00	GRADE LEVEL FLOOR PLAN
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A1.05	RESIDENTIAL FLOOR 5 & ROOF PLANS
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	ELEVATIONS
A2.05	PARKING ELEVATION





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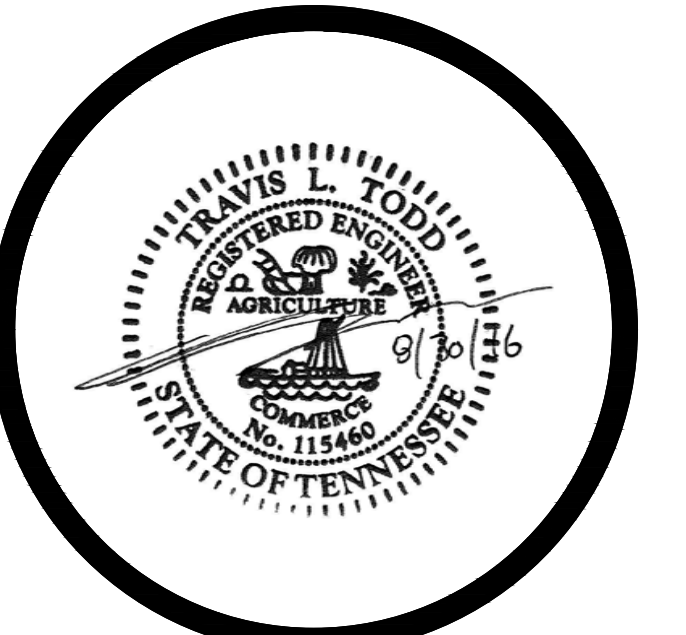
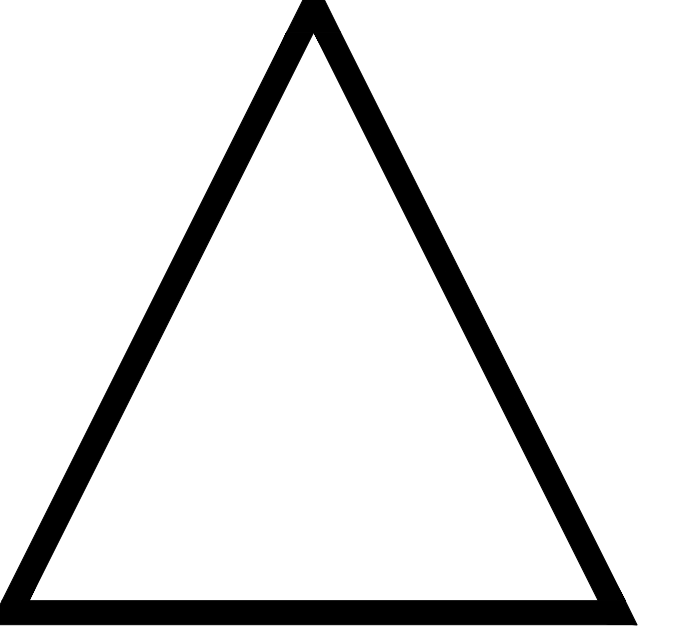
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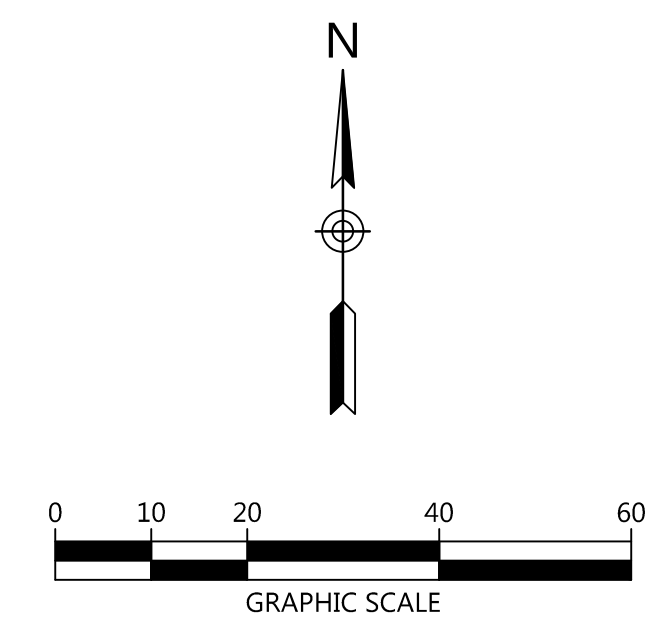


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EXISTING CONDITONS

C1.0

015.041.00
2016 AUG 30



DEMOLITION KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
D1	REMOVE EXISTING ASPHALT PAVEMENT	
D2a	REMOVE EXISTING CONCRETE PAVEMENT	
D2b	REMOVE EXISTING CONCRETE SIDEWALK	
D3	REMOVE EXISTING CONCRETE CURB	
D4	EVENLY SAWCUT	
D5	REMOVE EXISTING WALL	
D6	REMOVE EXISTING DRAINAGE STRUCTURE	
D7	REMOVE EXISTING STORM LINE	
D8	REMOVE EXISTING WATERLINE & APPURTENANCES	
D9	REMOVE EXISTING SANITARY SEWER LINE	
D10	REMOVE EXISTING UTILITY/LIGHTING POLE	
D10a	REMOVE/RELOCATE OVERHEAD UTILITY LINE	
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE	
D12	EXISTING HYDRANT TO BE RELOCATED	
D13	REMOVE EXISTING FENCE	



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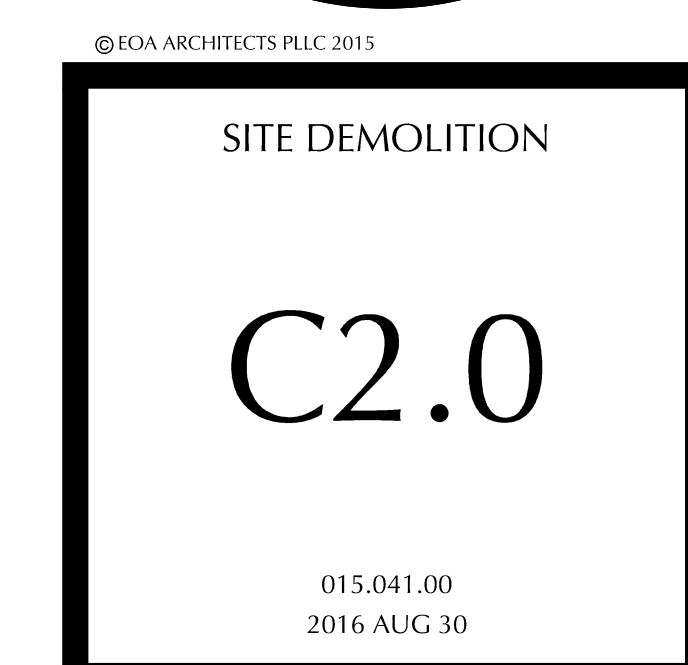
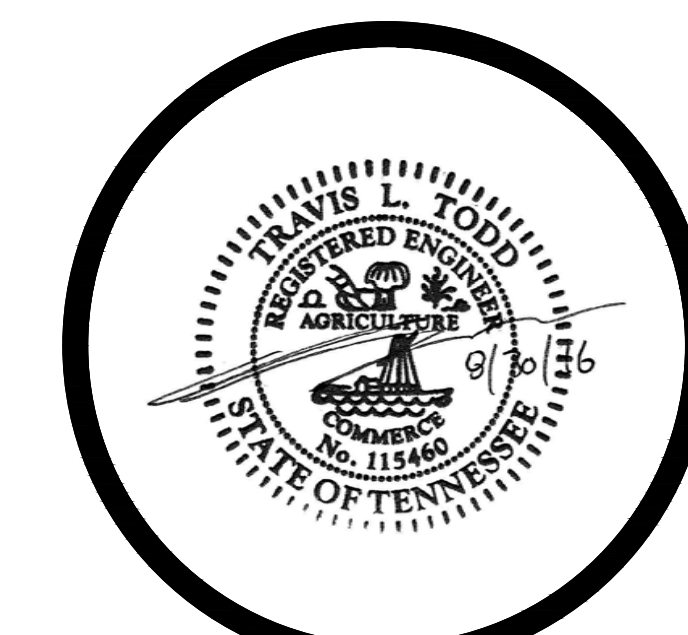
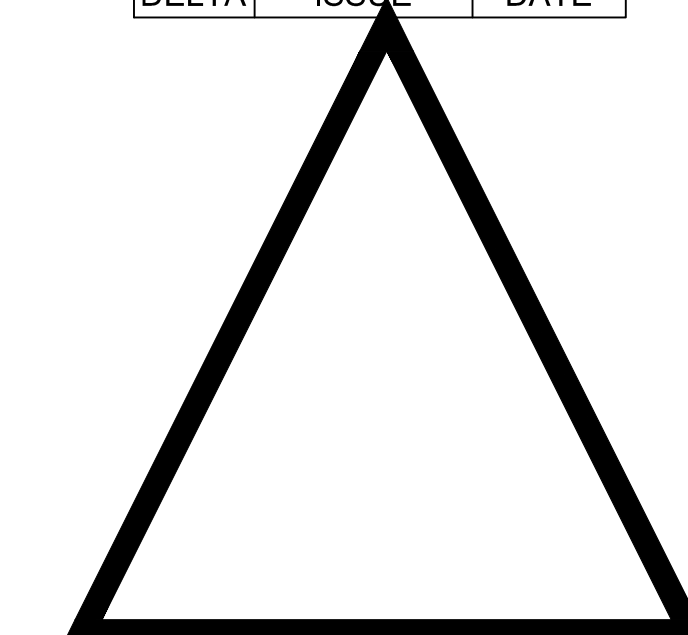
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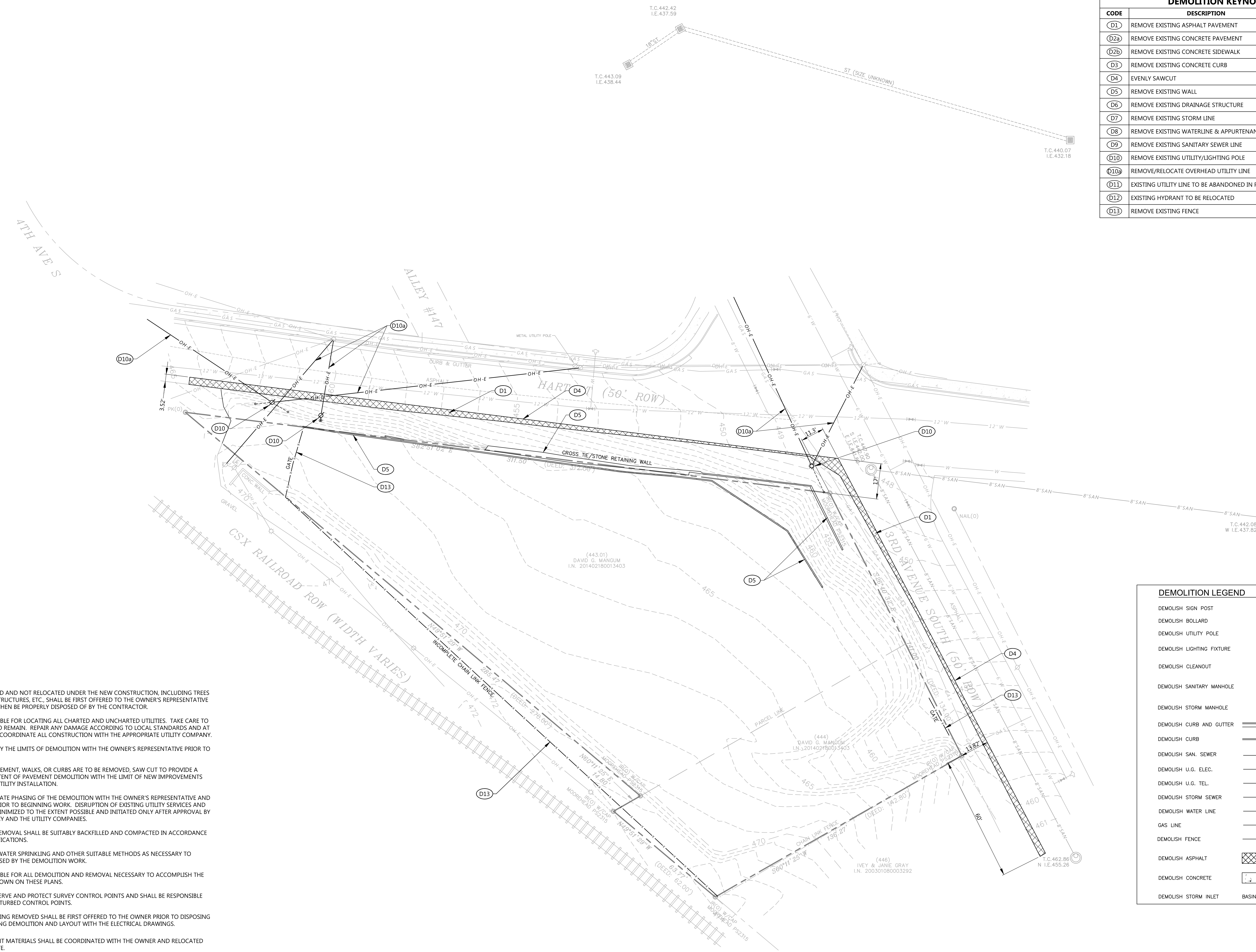
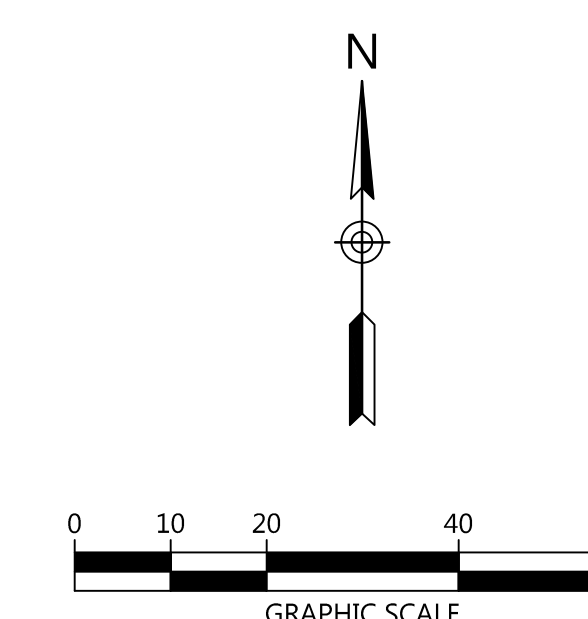
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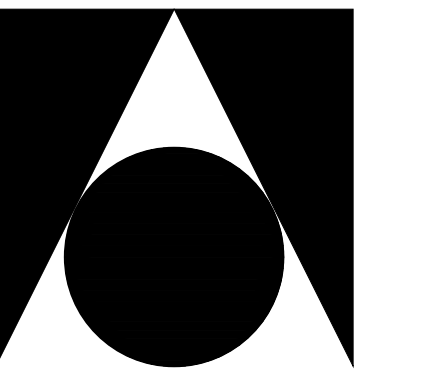


DEMOLITION NOTES

- ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.
- IN AREAS WHERE EXISTING PAVEMENT, WALKS, OR CURBS ARE TO BE REMOVED, SAW CUT TO PROVIDE A CLEAN EDGE. COORDINATE EXTENT OF PAVEMENT DEMOLITION WITH THE LIMIT OF NEW IMPROVEMENTS ON THE SITE LAYOUT PLAN & UTILITY INSTALLATION.
- CONTRACTOR SHALL COORDINATE PHASING OF THE DEMOLITION WITH THE OWNER'S REPRESENTATIVE AND LOCAL GOVERNING AGENCY PRIOR TO BEGINNING WORK. DISRUPTION OF EXISTING UTILITY SERVICES AND TRAFFIC PATTERNS SHALL BE MINIMIZED TO THE EXTENT POSSIBLE AND INITIATED ONLY AFTER APPROVAL BY THE LOCAL GOVERNING AGENCY AND THE UTILITY COMPANIES.
- CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.
- EXISTING LIGHT STANDARDS BEING REMOVED SHALL BE FIRST OFFERED TO THE OWNER PRIOR TO DISPOSING OF THEM. COORDINATE LIGHTING DEMOLITION AND LAYOUT WITH THE ELECTRICAL DRAWINGS.
- RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON SITE.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAIL ON THE LANDSCAPE PLAN.
- NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.
- THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- WHERE WATER LINE AND SEWER LINE ABANDONMENT IS PLANNED, THE CONTRACTOR MAY ABANDON WATER LINES AND SEWER LINES IN PLACE WHERE THEY OCCUR AT LEAST 24" (TO TOP OF PIPE) BELOW FINAL SUBGRADE ELEVATIONS AND OUTSIDE THE BUILDING FOOTPRINT. ALL UTILITY LINES BEING ABANDONED IN PLACE SHALL HAVE ALL ENDS PERMANENTLY CLOSED USING A CONCRETE PLUG.
- WHERE EXISTING IRRIGATION LINED LIE WITHIN THE AREA AFFECTED BY THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL REWORK THE EXISTING IRRIGATION SYSTEMS IN ACCORDANCE WITH DIRECTIVES NOTED ON THE LANDSCAPE PLAN. SERVICE SHALL BE MAINTAINED DURING CONSTRUCTION TO THE LANDSCAPED AREAS CURRENTLY IRRIGATED.

DEMOLITION LEGEND	
DEMOLISH SIGN POST	— —
DEMOLISH BOLLARD	⊙
DEMOLISH UTILITY POLE	⊗
DEMOLISH LIGHTING FIXTURE	⊗ ⊗
DEMOLISH CLEANOUT	•
DEMOLISH SANITARY MANHOLE	⊙
DEMOLISH STORM MANHOLE	⊙
DEMOLISH CURB AND GUTTER	====
DEMOLISH CURB	====
DEMOLISH SAN. SEWER	— —
DEMOLISH U.G. ELEC.	— — UGE
DEMOLISH U.G. TEL.	— — UGT
DEMOLISH STORM SEWER	— — ST
DEMOLISH WATER LINE	— — W
GAS LINE	— — G
DEMOLISH FENCE	—x—x—x—
DEMOLISH ASPHALT	▨
DEMOLISH CONCRETE	▩
DEMOLISH STORM INLET	BASIN [] CURB INLET []





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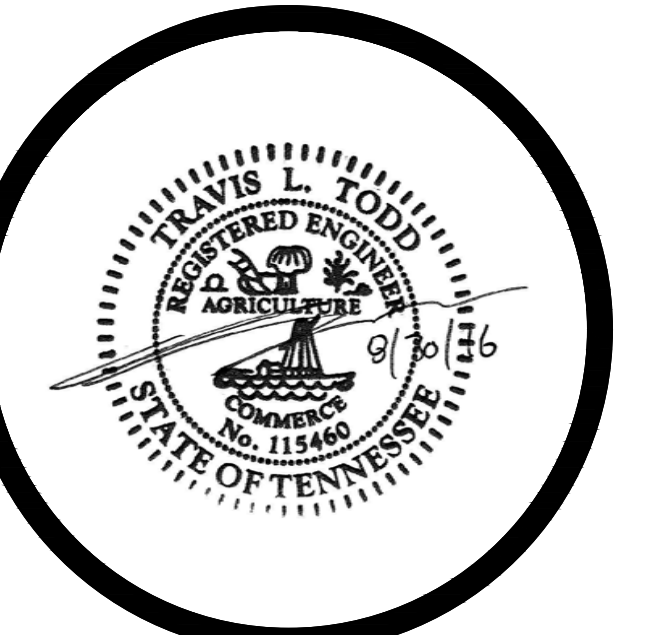
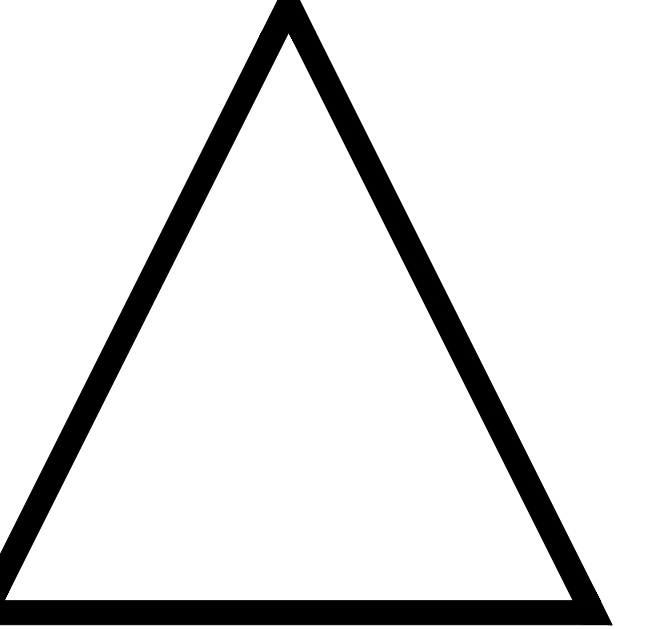
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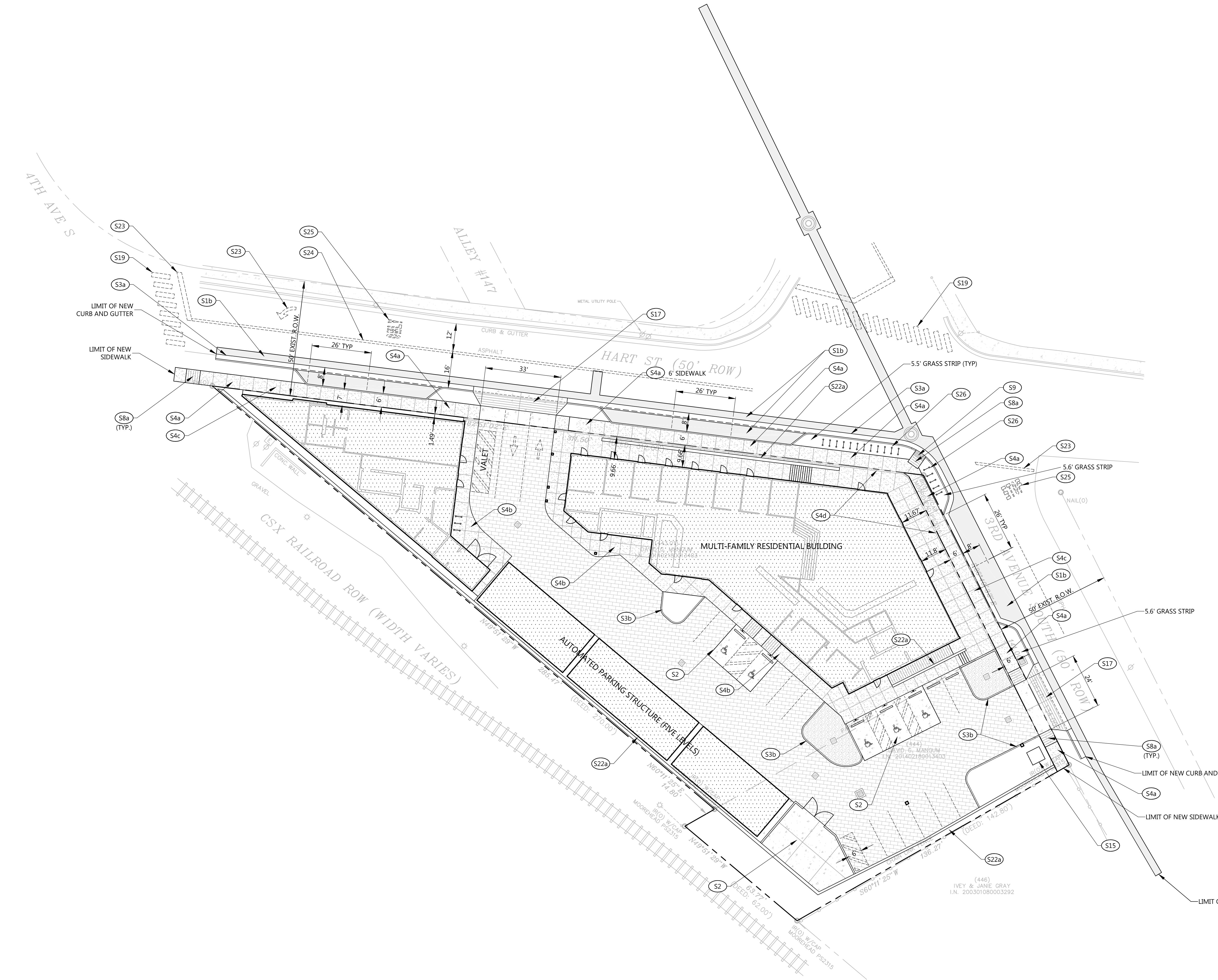


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SITE LAYOUT
C3.0

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2016 AUG 30

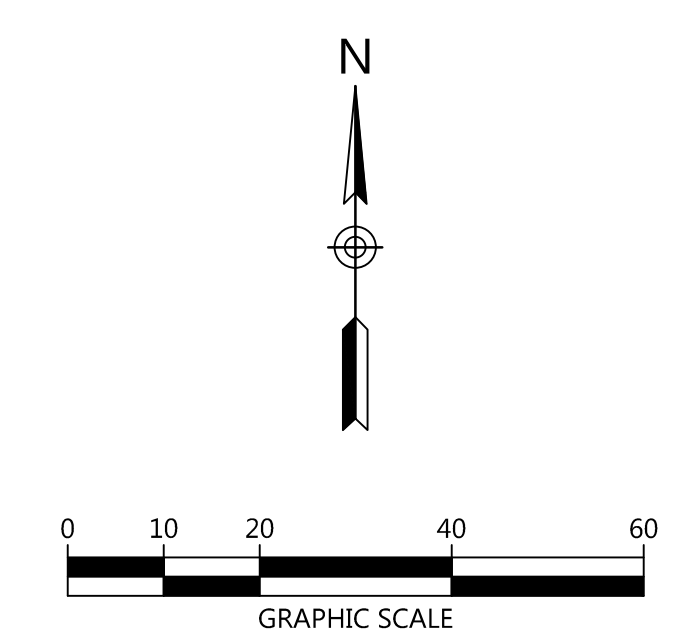
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(S1a)	ASPHALT PAVEMENT - LIGHT DUTY	
(S1b)	ASPHALT PAVEMENT - HEAVY DUTY	
(S1c)	ASPHALT PAVEMENT - OVERLAY	
(S2)	CONCRETE PAVEMENT	
(S3a)	CONCRETE CURB & GUTTER	
(S3b)	CONCRETE POST CURB	
(S3c)	CONCRETE EXTRUDED CURB	
(S4a)	CONCRETE SIDEWALK	
(S4b)	CONCRETE SIDEWALK WITH TURN DOWN CURB	
(S4c)	CONCRETE SIDEWALK AT CURB & GUTTER	
(S4d)	8" BRICK BAND	
(S5)	SIDEWALK JOINTS	
(S6)	ACCESSIBLE SYMBOL	
(S7)	ACCESSIBLE PARKING SPACE	
(S8a)	ACCESSIBLE RAMP	
(S8b)	ACCESSIBLE WINGED RAMP	
(S9)	TACTILE WARNING SURFACE	
(S10)	CONCRETE WHEELSTOP	
(S11a)	CONCRETE STAIRS WITH HANDRAIL	
(S11b)	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	
(S12)	ELEVATED WALK	
(S13a)	RAMP WITH HANDRAIL	
(S13b)	RAMP WITH HANDRAIL/GUARDRAIL	
(S14)	BOLLARD	
(S15)	UTILITY PAD	
(S16)	CONCRETE DUMPSTER PAD	
(S17)	DRIVEWAY RAMP	
(S18)	DIRECTIONAL ARROWS	
(S19)	PEDESTRIAN CROSSWALK	
(S20a)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(S20b)	WOODEN SCREEN FENCE (SPECIFY HEIGHT)	
(S21a)	GUARDRAIL	
(S21b)	GUARDRAIL WITH HANDRAIL	
(S22a)	CONCRETE RETAINING WALL	
(S22b)	SEGMENTAL RETAINING WALL	
(S23)	PAINTED STOP BAR (SPECIFY WIDTH)	
(S24)	PAINTED DOUBLE YELLOW STRIPING	
(S25)	PAINTED PAVEMENT LEGEND (MESSAGE VARIES)	
(S26)	BICYCLE RACK (28 TOTAL SPACES)	



- NOTES:**
- THE FINAL SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5 FEET OF CLEAR ACCESS.
 - UPON COMPLETION OF THE PROJECT SIDEWALKS WITHIN THE SITE SHALL BE ADA COMPLIANT, WHICH MAY REQUIRE REPLACEMENT OF SIDEWALKS ALONG THE PROPERTY FRONTAGE.
 - NO VERTICAL OBSTRUCTIONS SHALL BE WITHIN PROPOSED SIDEWALK. ALL POWER POLES, SIGNS, ETC. ARE TO BE RELOCATED AND THE SIDEWALK IS TO BE CLEAR FROM OBSTRUCTIONS.
 - A RECYCLING CONTAINER SHALL BE PLACED INSIDE THE SOLID WASTE ROOM.

PROPOSED FEATURES LEGEND

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



G:\Projects\2016\54716018\Wing\Construction\54716018_LAY.dwg-C3.0 SITE LAYOUT Aug 30, 2016 [brumley]

GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	
G1b	DOUBLE CURB INLET	
G2a	CATCH BASIN	
G2b	DOUBLE CATCH BASIN	
G3	JUNCTION MANHOLE	
G4	NDS DRAIN INLET	
G5	CLEANOUT	
G6a	CONCRETE HEADWALL - STRAIGHT	
G6b	CONCRETE HEADWALL - WINGED	
G7	BUILDING DOWNSPOUT CONNECTION	
G8	CONCRETE FLUME	
G9	UNDERGROUND DETENTION VAULT	
G10	WATER QUALITY STRUCTURE	
G11	CURB CUT	
G12	SIDEWALK DRAIN	
G13	TRENCH DRAIN	
G14	SILT FENCE	
G15	RIPRAP AT HEADWALL	
G16	URBAN BIORETENTION AREA	
G17	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER XX FEET	
G18a	FILTER FABRIC INLET PROTECTION	
G18b	DANDY BAG INLET PROTECTION	
G20	CORED CONNECTION TO EXISTING STRUCTURE	
G21	PERVIOUS PAVEMENT	
G22	GREEN ROOF	



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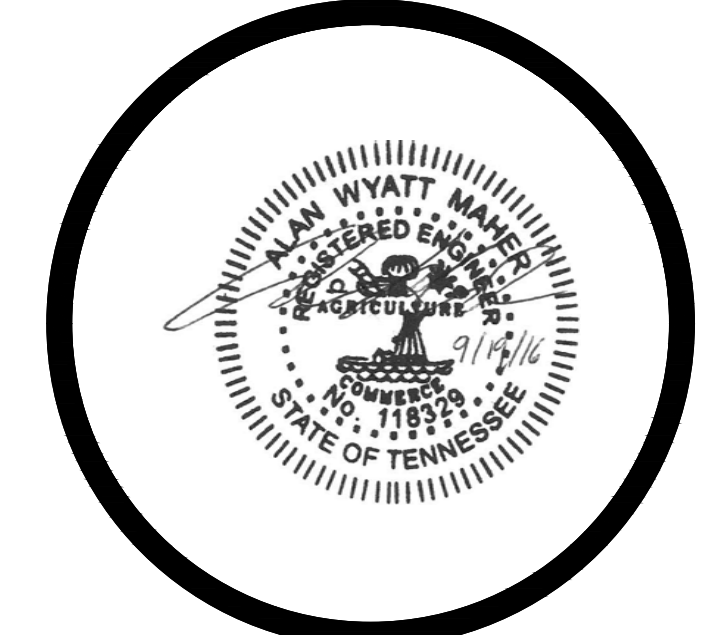
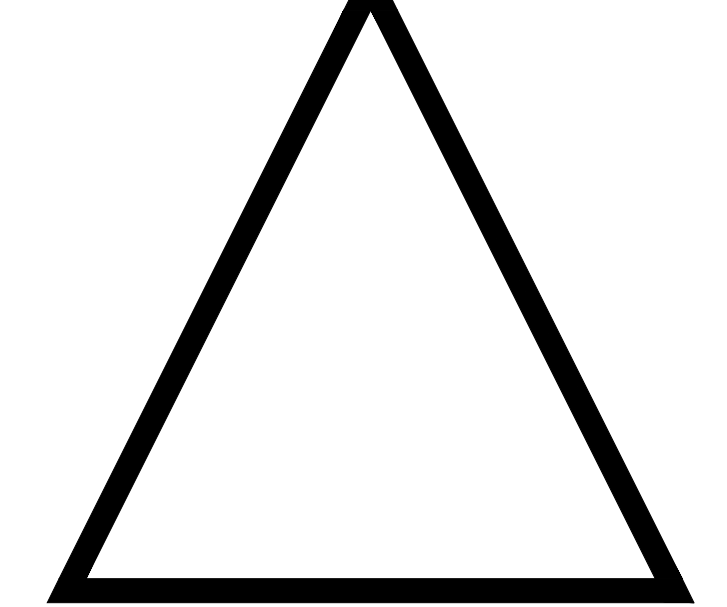
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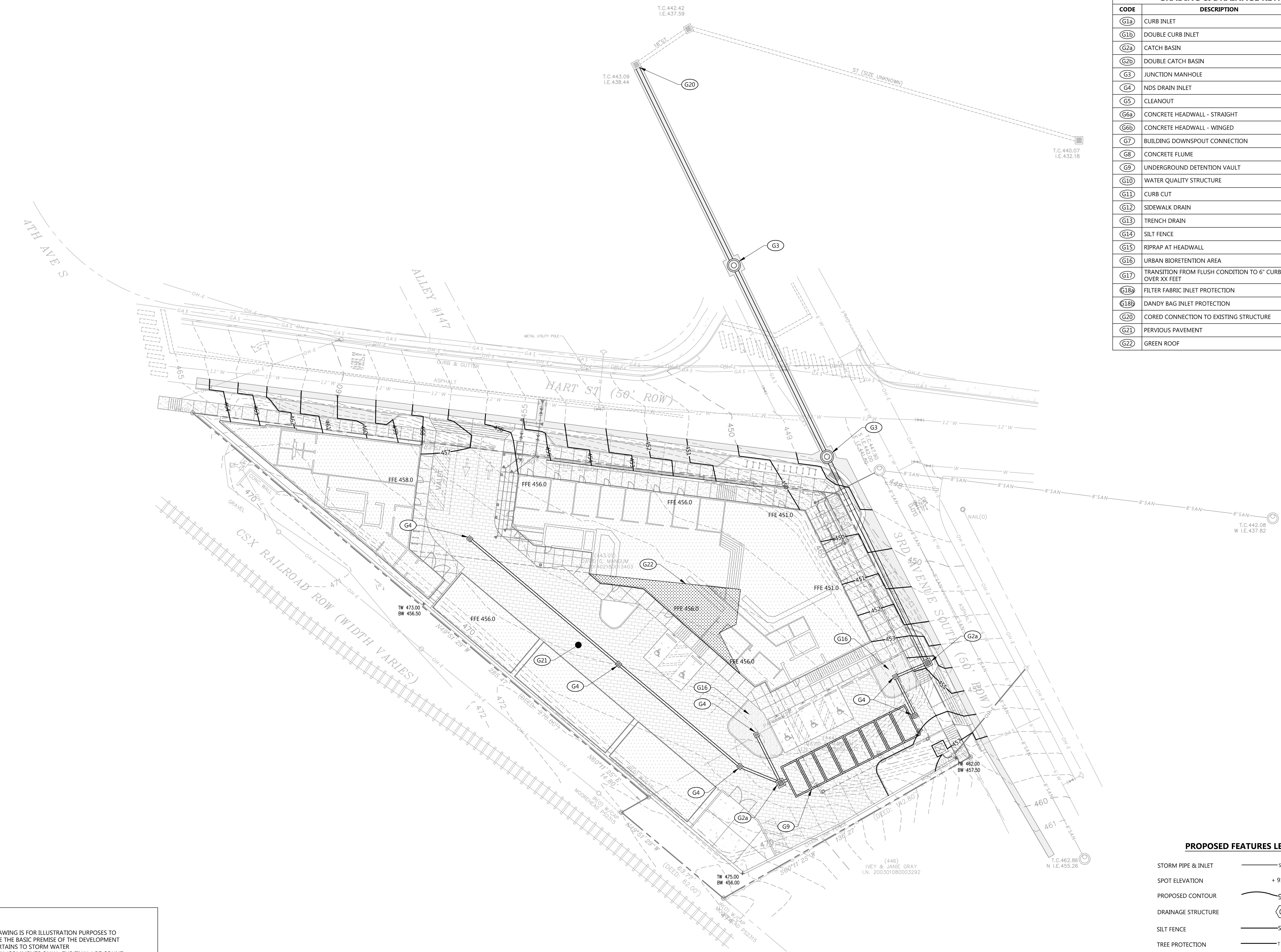
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GRADING AND DRAINAGE

C4.0

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2016 AUG 30



NOTES:

- THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
- THE NORTH ARROW AND COORDINATES SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, NAD 1983.
- THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" (NOT AN AREA OF SIGNIFICANT FLOOD HAZARD) AS INDICATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR DAVIDSON COUNTY TENNESSEE, COMMUNITY PANEL No. 47037C0219F, DATED APRIL 20, 2001.

◆ SITE BM:
TAG BOLT #2712 V22 ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST INTERSECTION OF HART ST AND 3RD AVE S
ELEV. 454.99

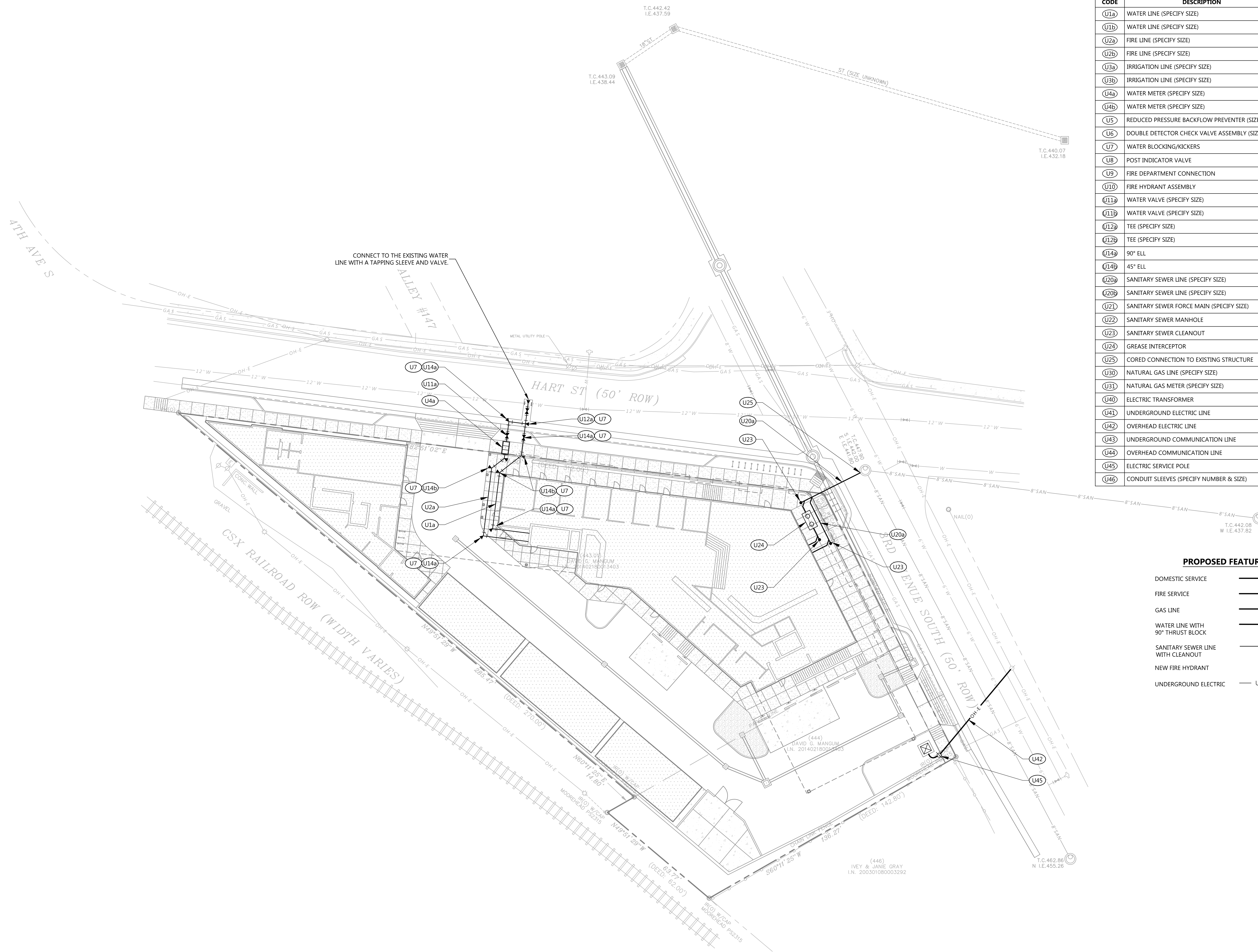
◆ PROJECT BM:
NAVD 88 (GPS DERIVED)

PROPOSED FEATURES LEGEND

STORM PIPE & INLET	— S T —
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	— 90 —
DRAINAGE STRUCTURE	⊕ G3
SILT FENCE	— SF —
TREE PROTECTION	— T P —
INLET PROTECTION	— I P —
STRAW BALE FILTER	— S B F —

811
Know what's below.
Call before you dig.

UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1a	WATER LINE (SPECIFY SIZE)	
U1b	WATER LINE (SPECIFY SIZE)	
U2a	FIRE LINE (SPECIFY SIZE)	
U2b	FIRE LINE (SPECIFY SIZE)	
U3a	IRRIGATION LINE (SPECIFY SIZE)	
U3b	IRRIGATION LINE (SPECIFY SIZE)	
U4a	WATER METER (SPECIFY SIZE)	
U4b	WATER METER (SPECIFY SIZE)	
U5	REDUCED PRESSURE BACKFLOW PREVENTER (SIZE?)	
U6	DOUBLE DETECTOR CHECK VALVE ASSEMBLY (SIZE?)	
U7	WATER BLOCKING/KICKERS	
U8	POST INDICATOR VALVE	
U9	FIRE DEPARTMENT CONNECTION	
U10	FIRE HYDRANT ASSEMBLY	
U11a	WATER VALVE (SPECIFY SIZE)	
U11b	WATER VALVE (SPECIFY SIZE)	
U12a	TEE (SPECIFY SIZE)	
U12b	TEE (SPECIFY SIZE)	
U14a	90° ELL	
U14b	45° ELL	
U20a	SANITARY SEWER LINE (SPECIFY SIZE)	
U20b	SANITARY SEWER LINE (SPECIFY SIZE)	
U21	SANITARY SEWER FORCE MAIN (SPECIFY SIZE)	
U22	SANITARY SEWER MANHOLE	
U23	SANITARY SEWER CLEANOUT	
U24	GREASE INTERCEPTOR	
U25	CORED CONNECTION TO EXISTING STRUCTURE	
U30	NATURAL GAS LINE (SPECIFY SIZE)	
U31	NATURAL GAS METER (SPECIFY SIZE)	
U40	ELECTRIC TRANSFORMER	
U41	UNDERGROUND ELECTRIC LINE	
U42	OVERHEAD ELECTRIC LINE	
U43	UNDERGROUND COMMUNICATION LINE	
U44	OVERHEAD COMMUNICATION LINE	
U45	ELECTRIC SERVICE POLE	
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	



PROPOSED FEATURES LEGEND

- DOMESTIC SERVICE — D W —
- FIRE SERVICE — F — F —
- GAS LINE — GAS —
- WATER LINE WITH 90° THRUST BLOCK — [Symbol] —
- SANITARY SEWER LINE WITH CLEANOUT — [Symbol] —
- NEW FIRE HYDRANT — [Symbol]
- UNDERGROUND ELECTRIC — UGE — UGE —



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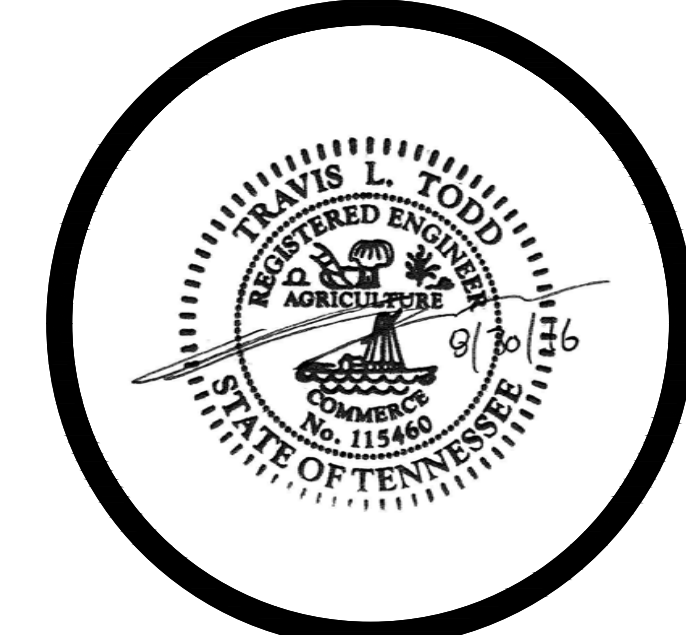
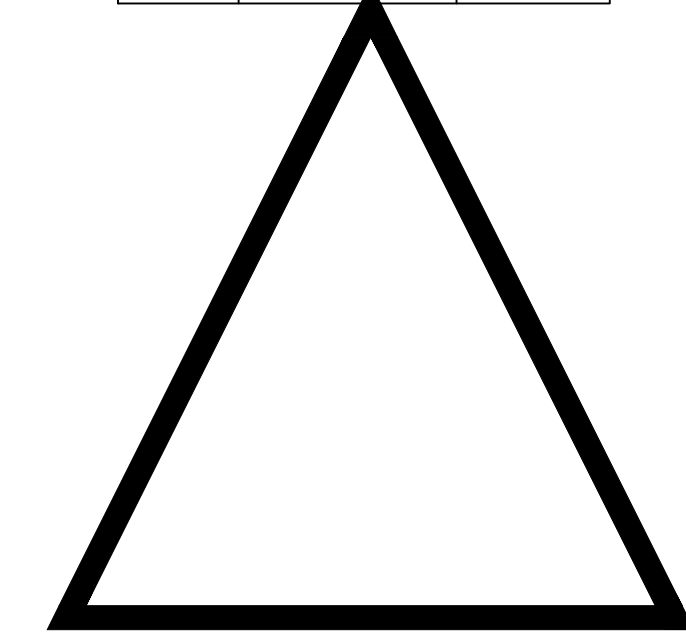
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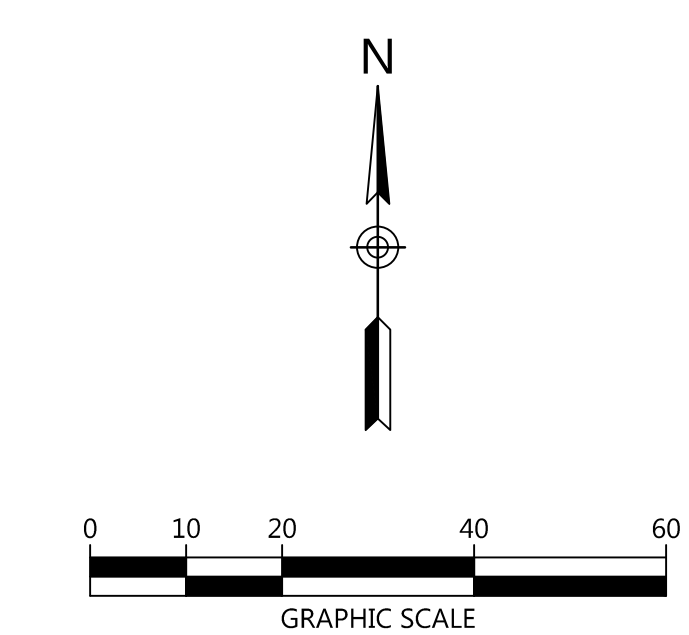


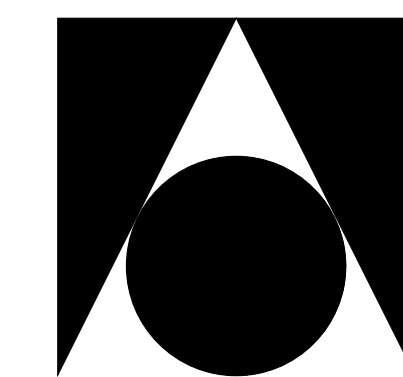
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Case No.
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SITE UTILITIES
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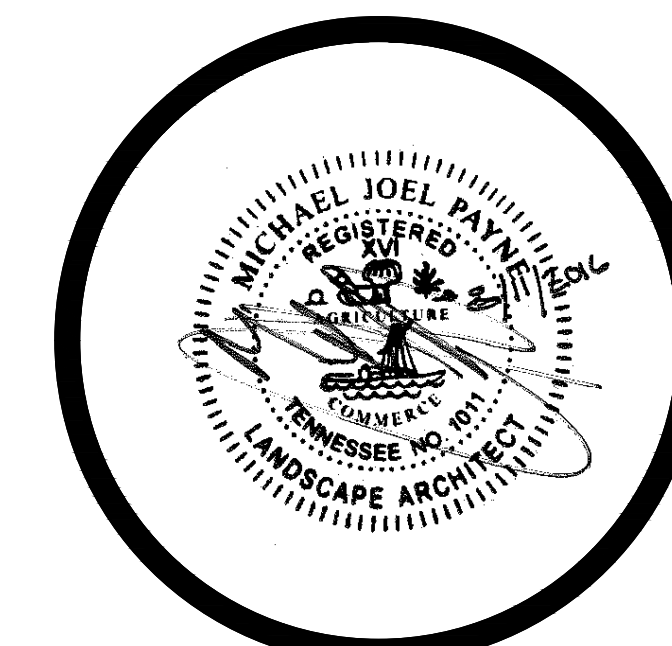
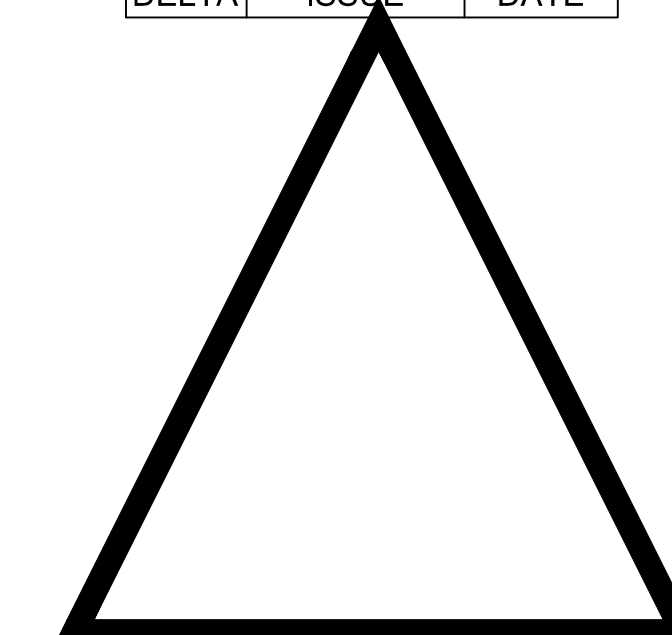
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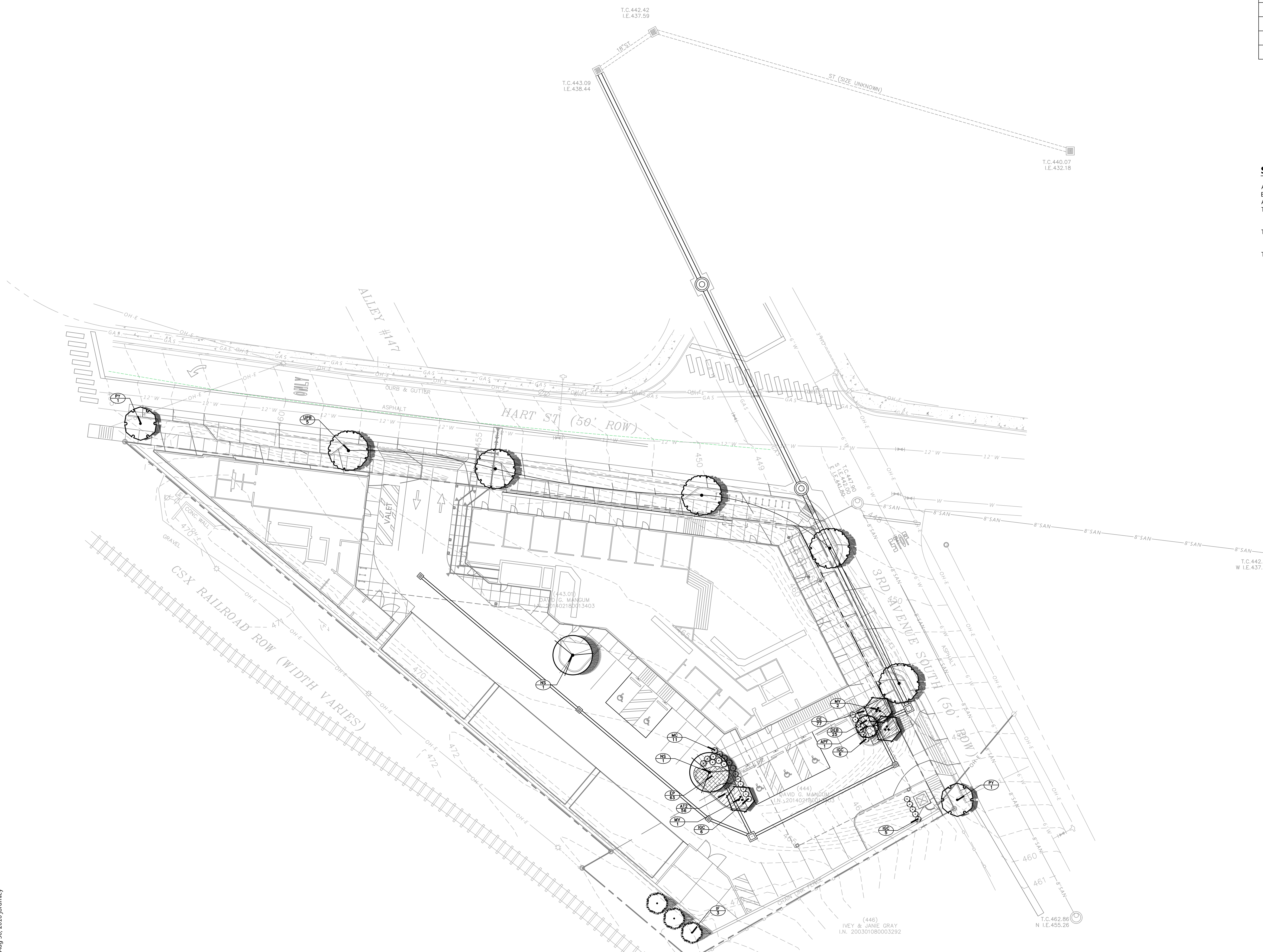
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LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	
L2	IRRIGATION LIMITS	
L3	AREA TO BE SEEDED	
L4	AREA TO BE SODDED	
L5	AREA TO BE 4"-6" RIVER ROCK	

SITE TREE DENSITY CALCULATIONS

ACREAGE:	0.90
BUILDING ACREAGE:	0.56
ADJUSTED ACREAGE:	0.34
TREE DENSITY UNITS REQUIRED: (14 TDU/Ac. x 0.34)	<u>4.76</u>
TREE DENSITY UNITS PROVIDED:	
EXISTING TREE CREDITS:	N/A
PROPOSED TREES: (SEE CHART BELOW)	5.0
TOTAL TREE DENSITY UNITS PROVIDED:	<u>5.0</u>
PROPOSED TREES:	
2" 06 x 0.5 =	3.0
3" 01 x 0.6 =	0.6
4" 02 x 0.7 =	1.4
TOTAL	<u>5.0</u>



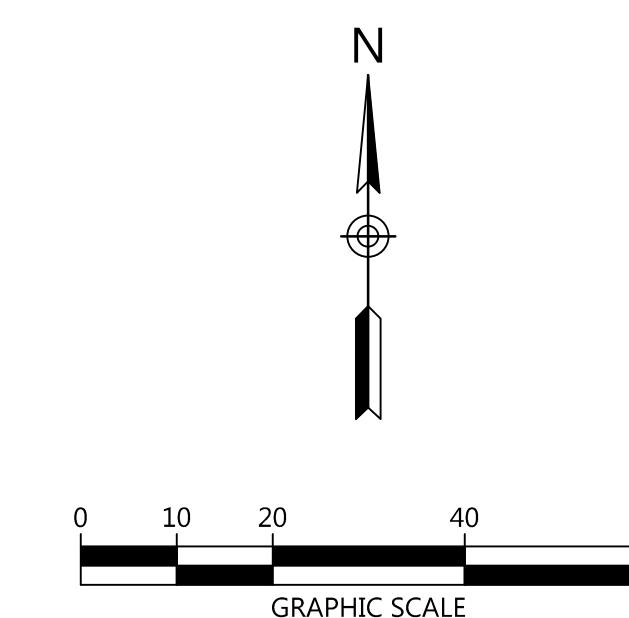
PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	SPREAD	REMARKS	
APF	1	Acer palmatum 'Fireglow'	Fireglow Japanese Maple	B & B	3" Cal	6-7'	4-5'	Specimen; Well branched	
IF	3	Ilex x attenuata 'Fosteri'	Foster's Holly	B & B	2" Cal	8'	3-4'		
MV	3	Magnolia virginiana 'Cully'	Sweet Bay	B & B	2" min/stem	8-9'	3'-4'	balanced canopy; matched; 3 stems max, equal diameter	
NS	2	Nyssa sylvatica	Sour Gum	B & B	4" Cal	16-18'	5'	Well branched	
PY	2	Prunus x yedoensis	Yoshino Cherry	B & B	3" Cal	10-12'		Well formed crown	
UPB	5	Ulmus parvifolia 'Bosque'	Bosque Lacebark Elm	B & B	3"	14-16'	4.5-5'	Well branched	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
IGC	17	Ilex glabra 'Compacta'	Compact Inkberry Holly	#3 Cont.		21-24"	18"	30" o.c.	
MC	11	Muhlenbergia capillaris 'Lenca'	Regal Mist Muhly Grass	#3 Cont.		3'		36" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
ATZ	56	Asclepias tuberosa	Butterfly Milkweed	#1 Cont.		12"	12"	18" o.c.	
CE	77	Carex oshimensis 'Everillo'	Everillo Japanese Sedge	#1 Cont.		12"	12"	18" o.c.	
DEB	25	Dryopteris erythrosora 'Brilliance'	Brilliance Autumn Fern	#1 Cont.		12"	12-15"	18" o.c.	Plant on 18" centers
EP	63	Echinacea purpurea	Purple Coneflower	# 3 Cont.				18" o.c.	

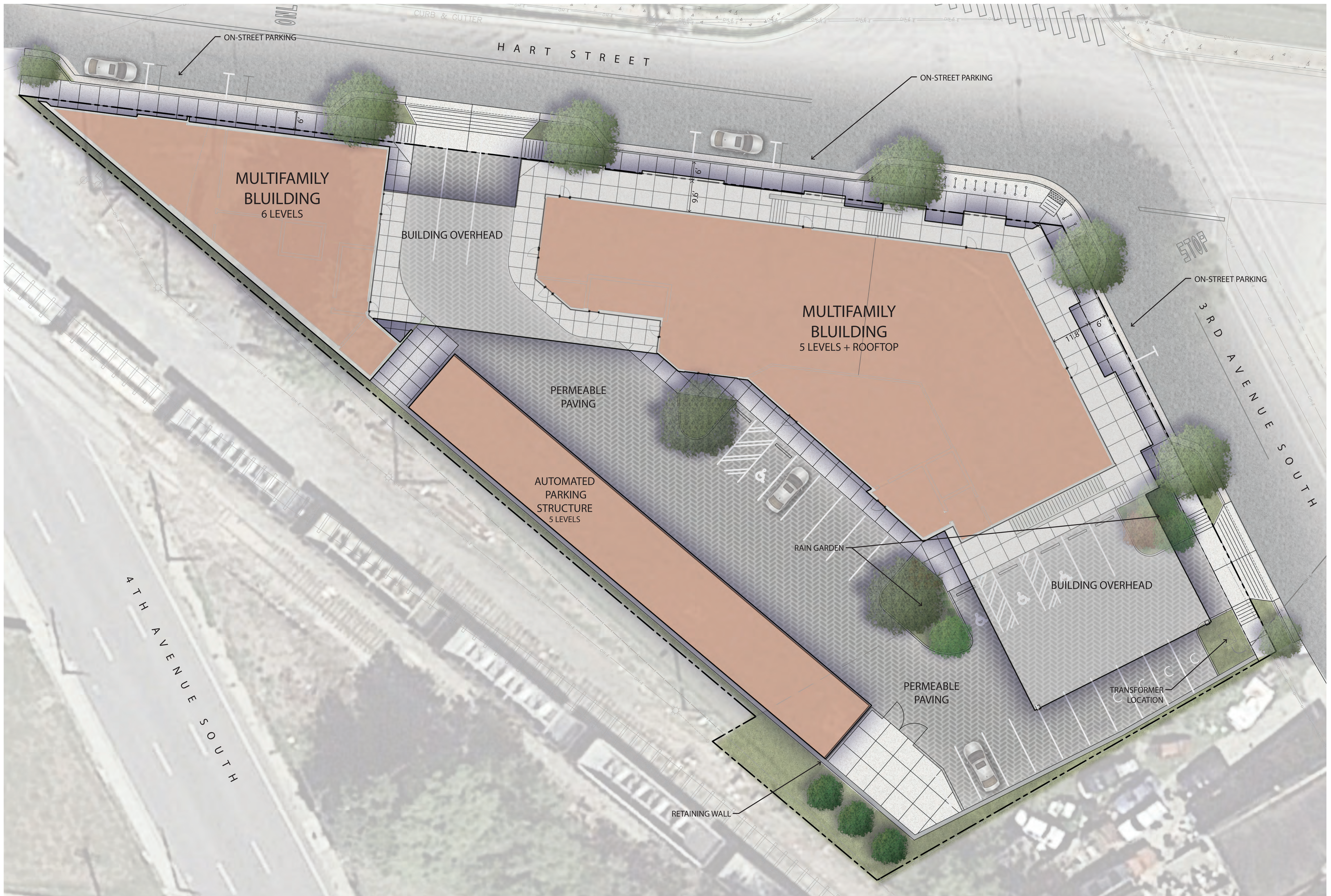
* TREES WITHIN ROW NOT COUNTED IN TDU COUNT



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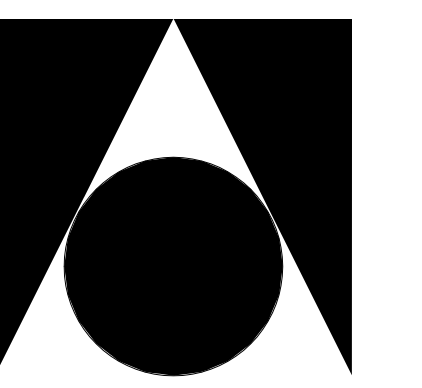


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 ILLUSTRATIVE SITE PLAN - L2.0



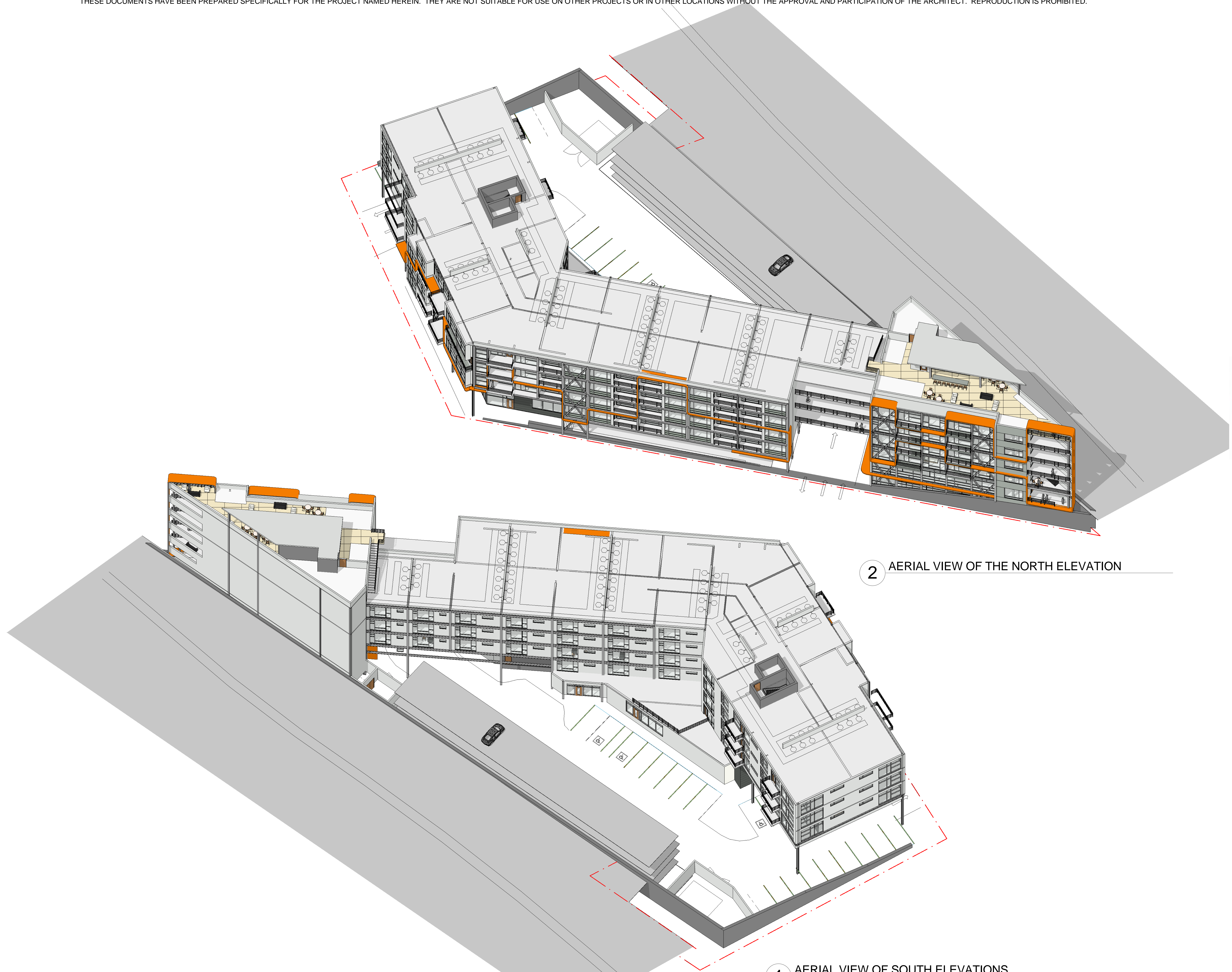


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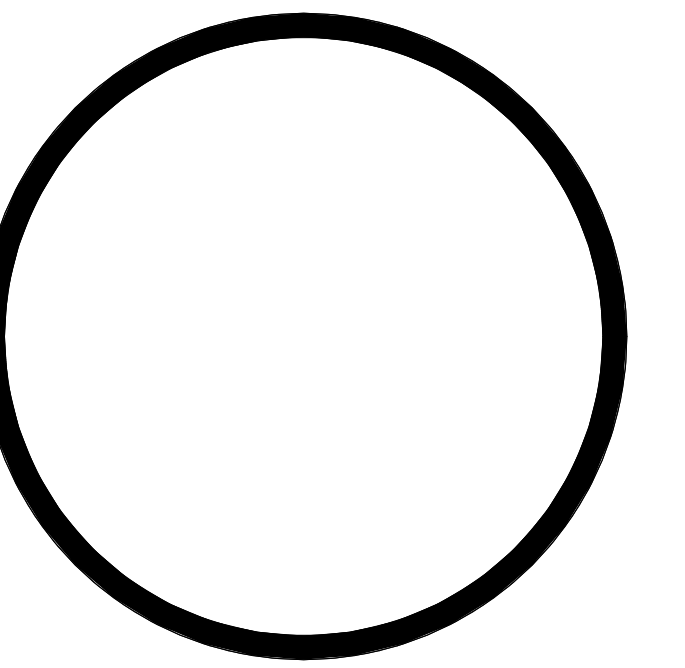
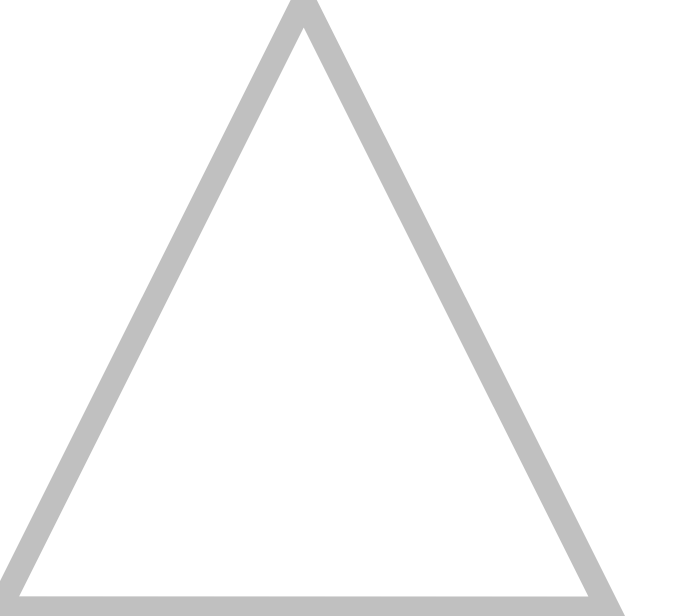
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2 AERIAL VIEW OF THE NORTH ELEVATION

1 AERIAL VIEW OF SOUTH ELEVATIONS

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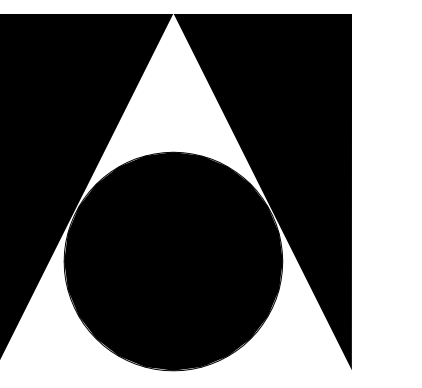


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3D VIEWS

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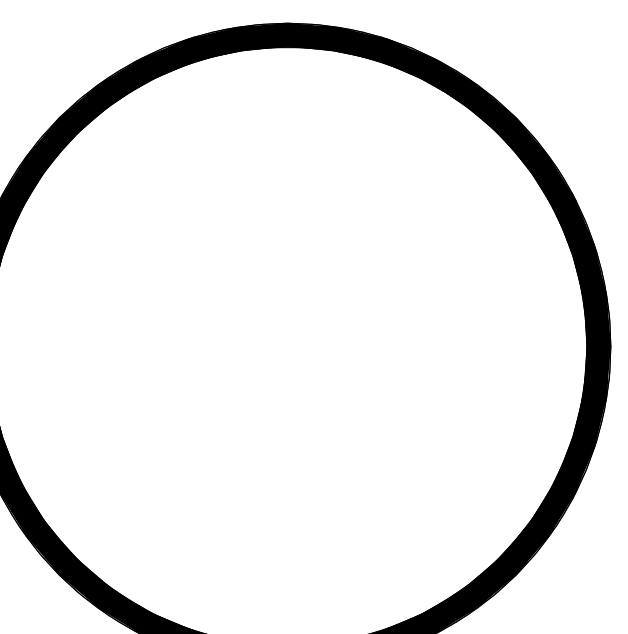
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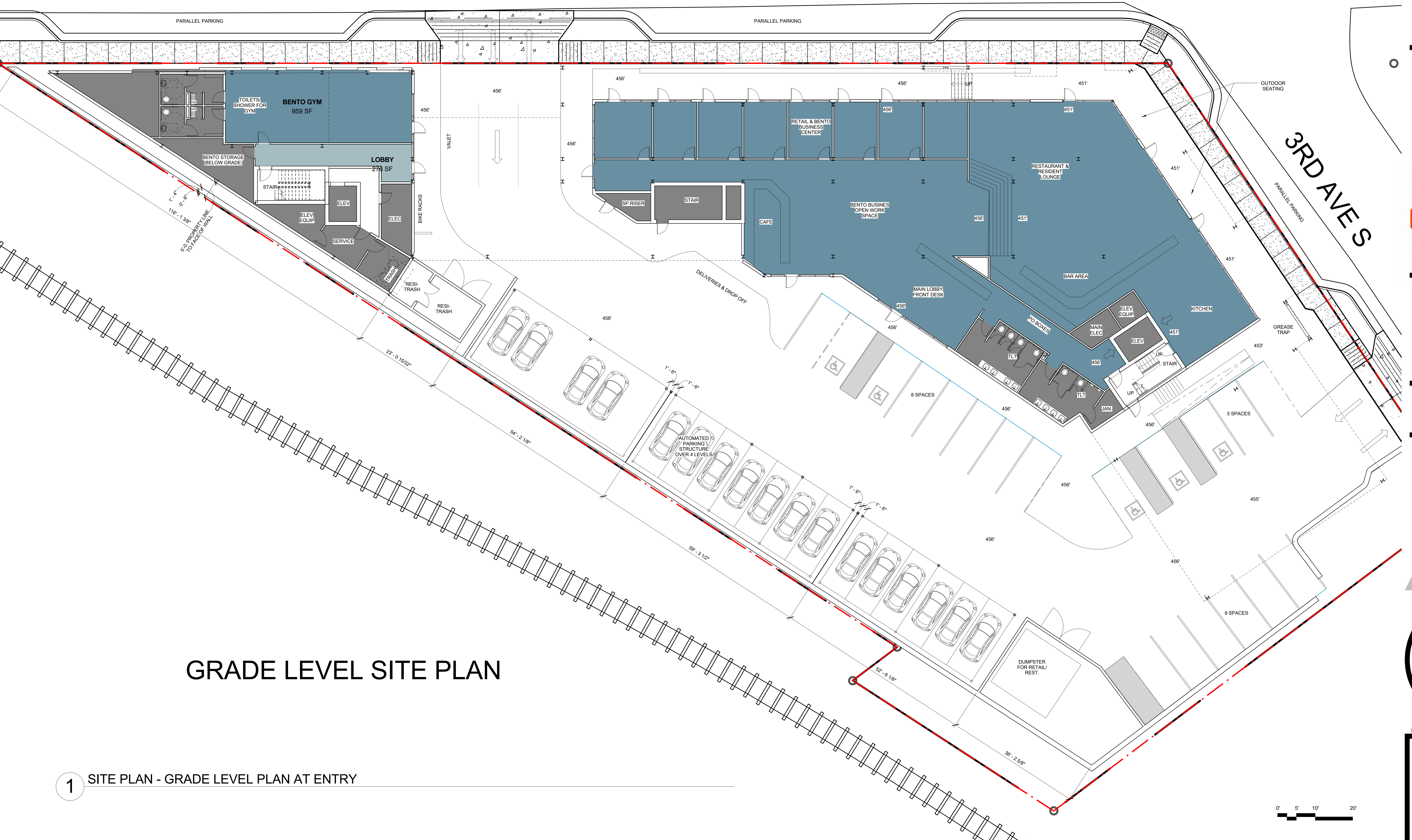
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GRADE LEVEL FLOOR PLAN

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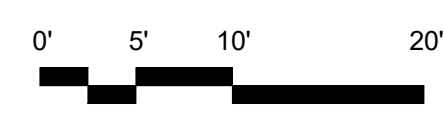
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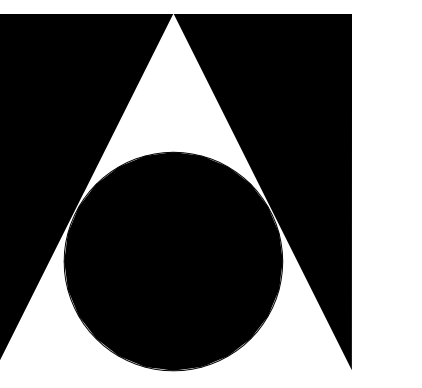
HART STREET



GRADE LEVEL SITE PLAN

1 SITE PLAN - GRADE LEVEL PLAN AT ENTRY





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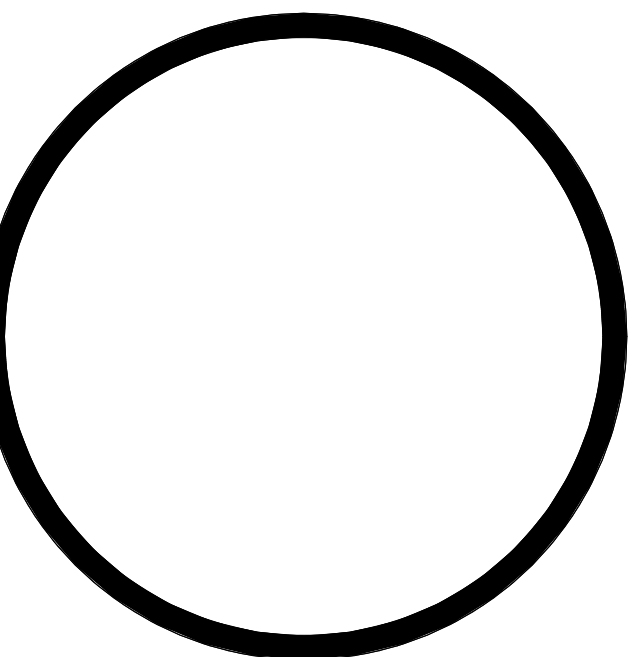
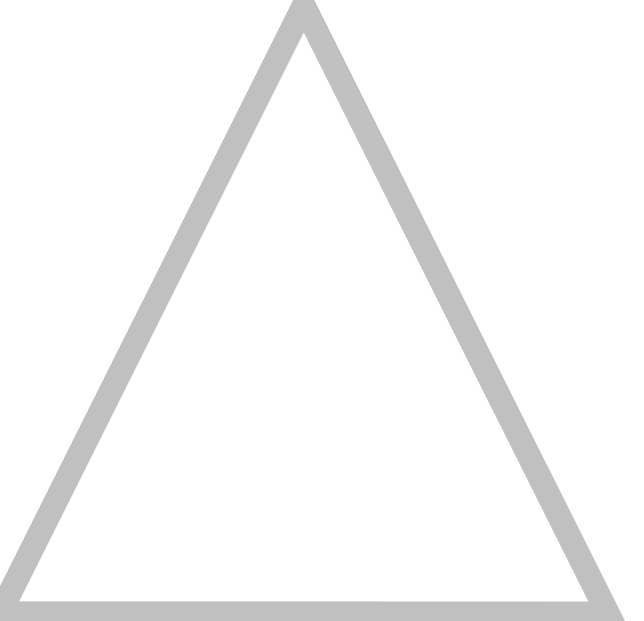
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RESIDENTIAL FIRST FLOOR

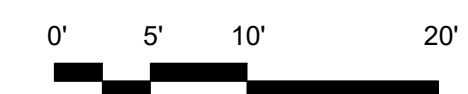
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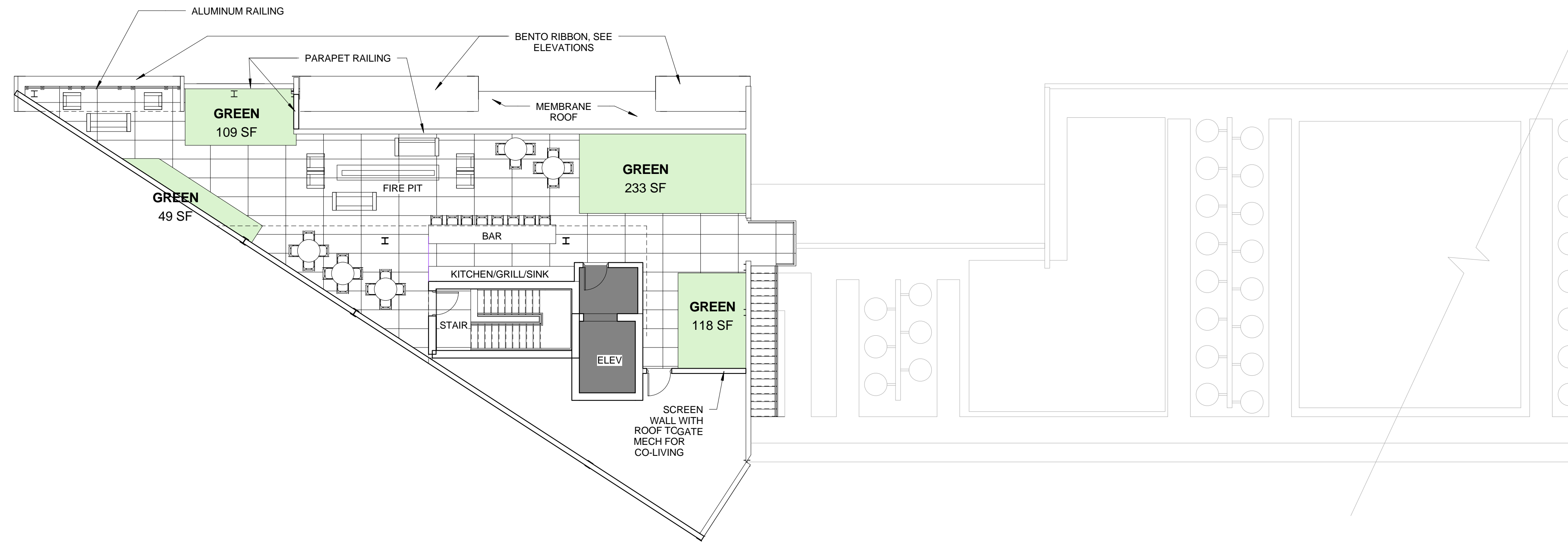
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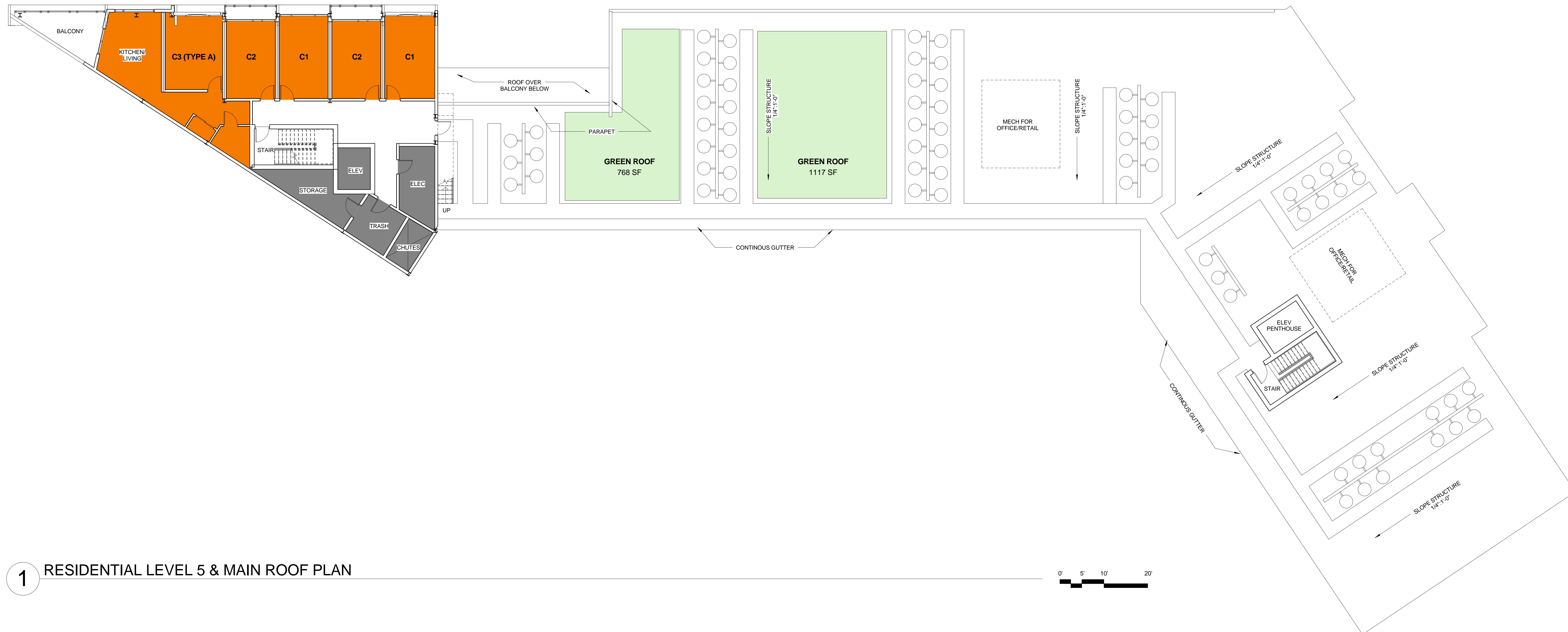


1 RESIDENTIAL LEVEL 1 - AT GRADE AT CORNER OF 4TH AVE

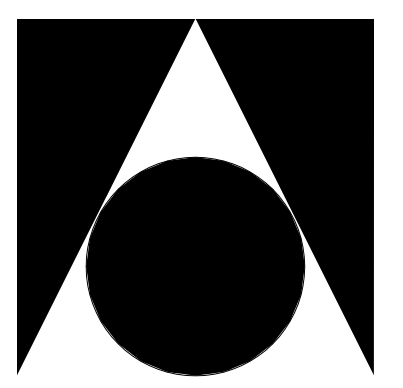




2 UPPER ROOF DECK



1 RESIDENTIAL LEVEL 5 & MAIN ROOF PLAN



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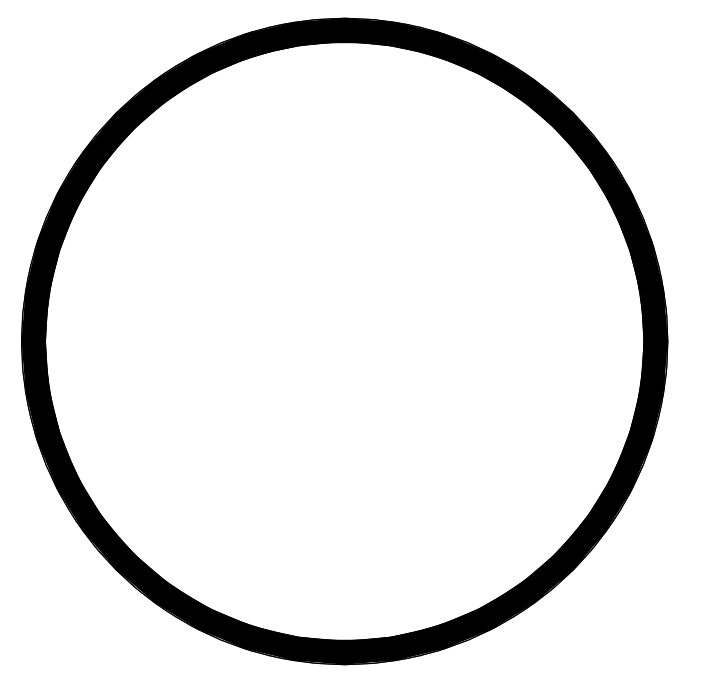
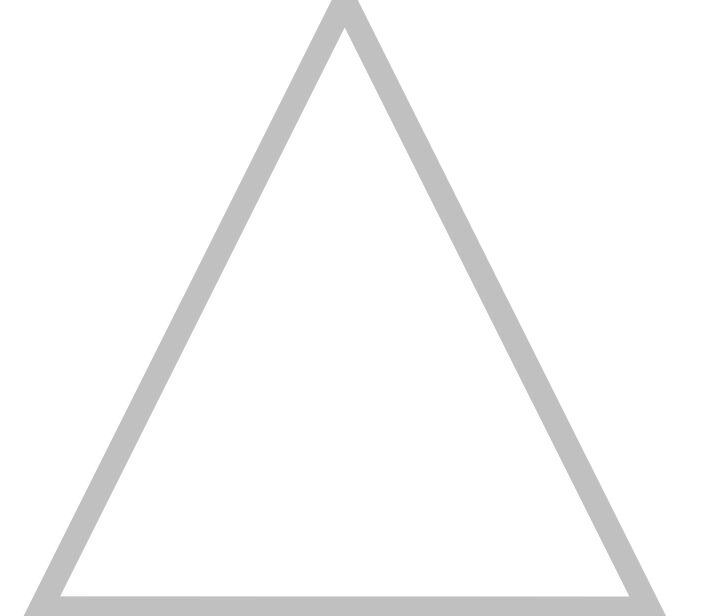
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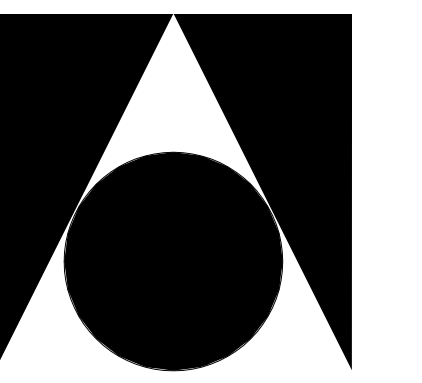


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RESIDENTIAL FLOOR 5 & ROOF
PLANS

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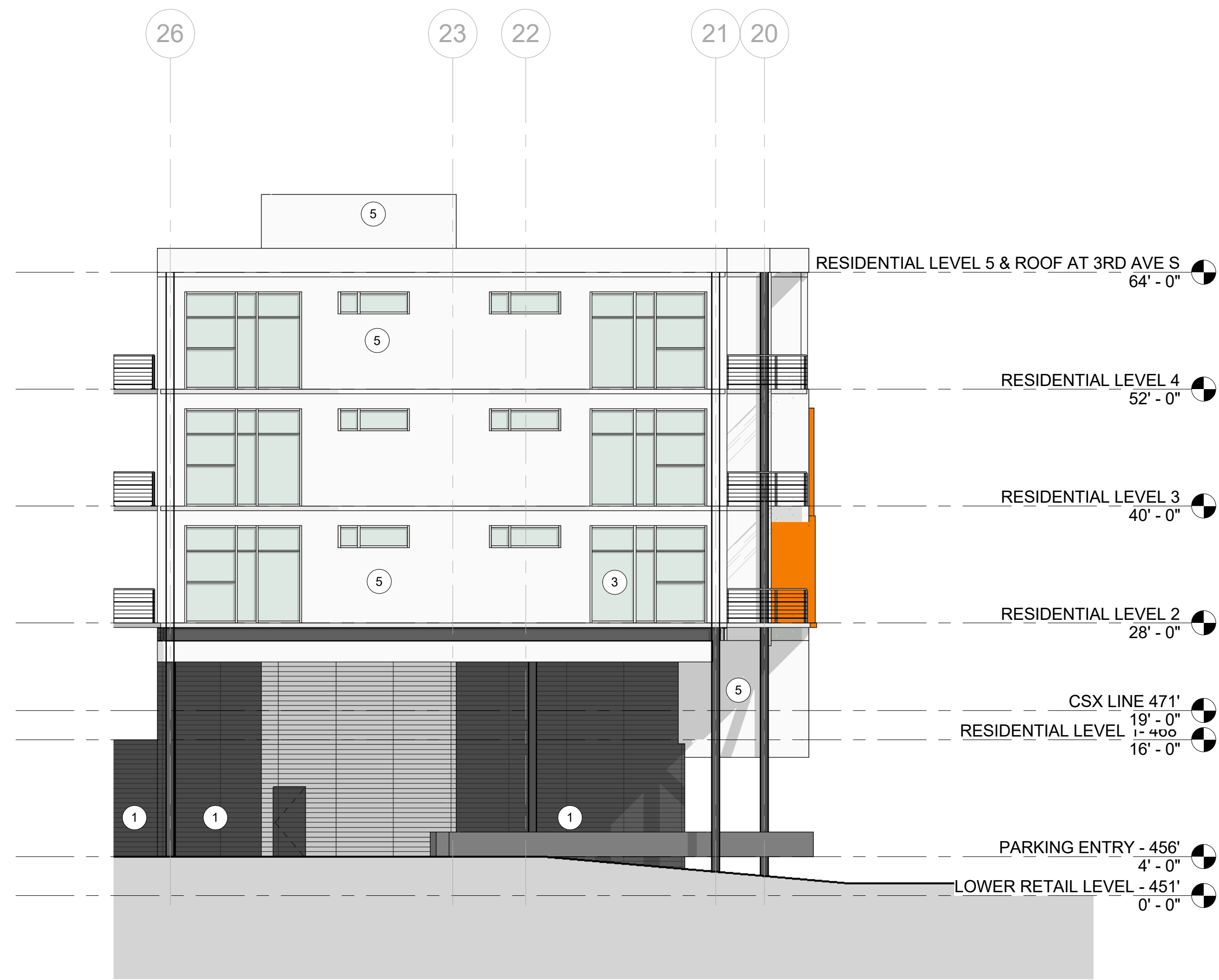


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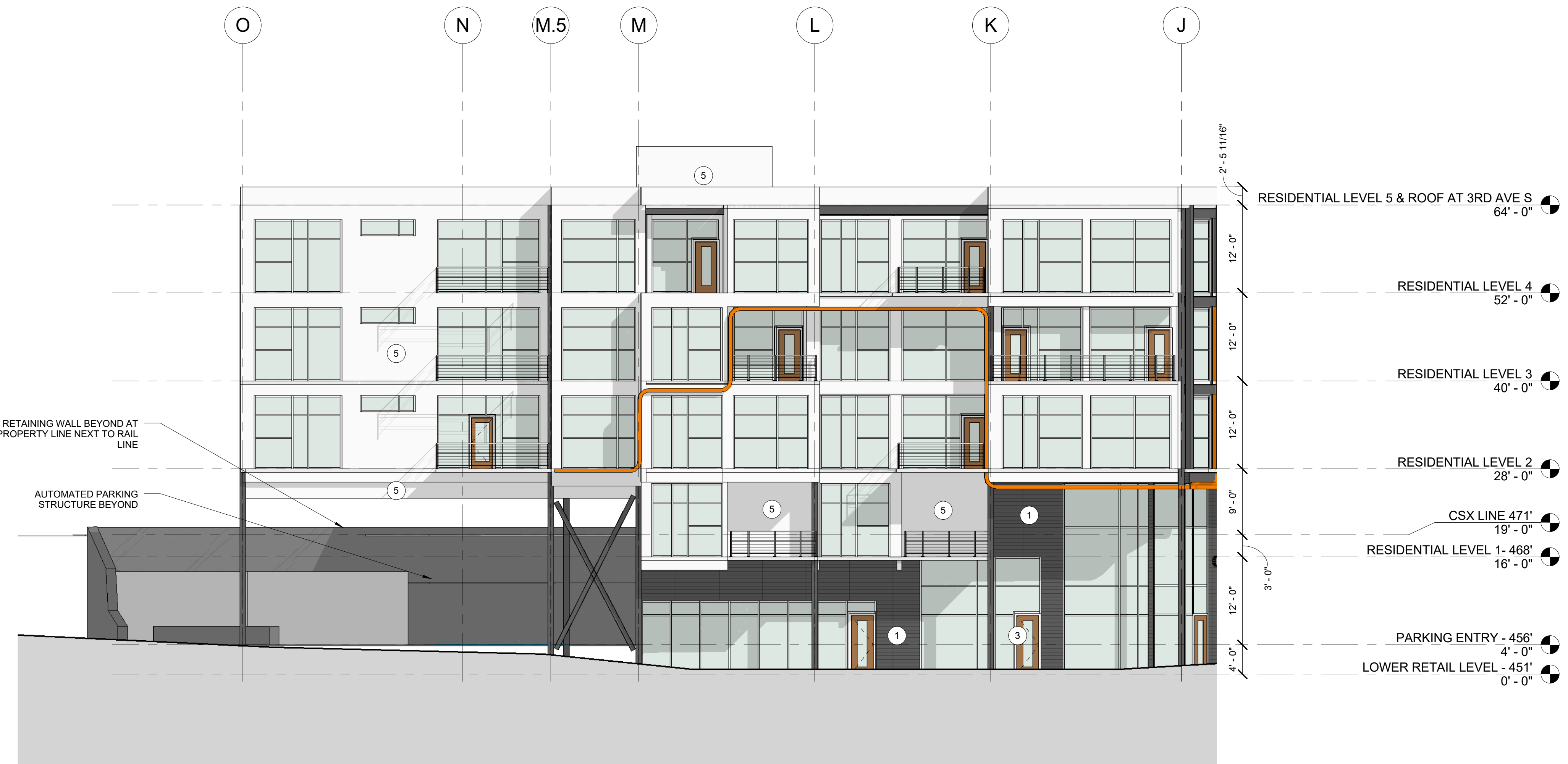
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3 SOUTHEAST ELEVATION



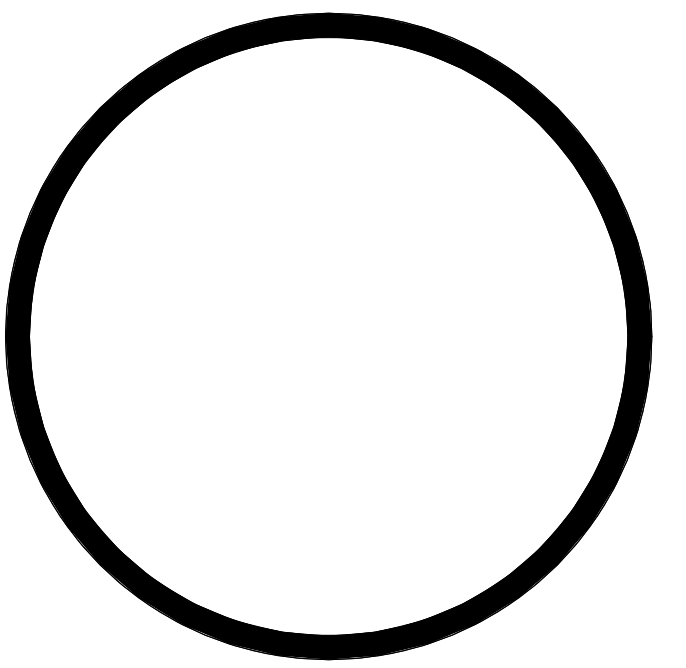
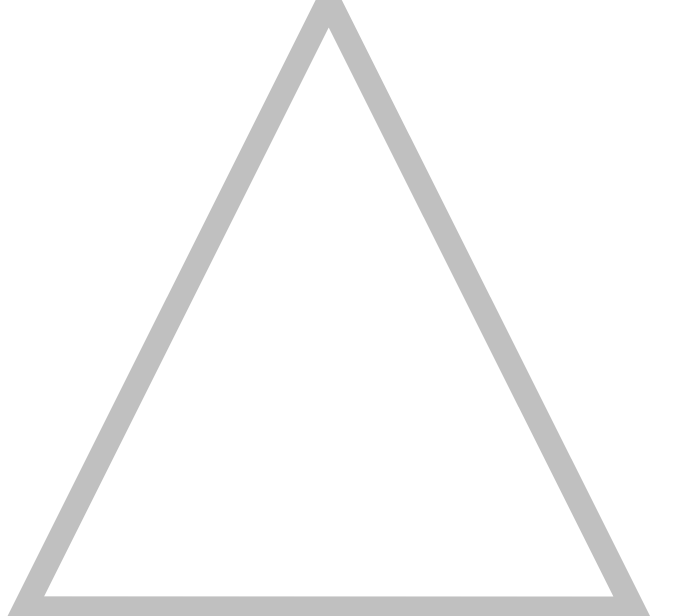
2 EAST ELEVATION - FACING 3RD AVENUE SOUTH



1 NORTH ELEVATION - FACING HART STREET



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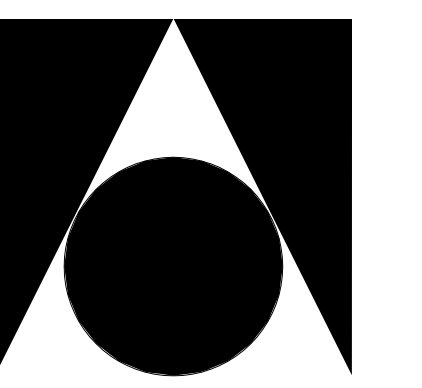
EXTERIOR ELEVATIONS

A2.01

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EXTERIOR FINISH KEYNOTES

- 1 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #1
- 2 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #2
- 3 STOREFRONT WINDOW SYSTEM
- 4 EXPOSED STEEL STRUCTURE - PAINTED
- 5 STUCCO WALL SYSTEM
- 6 CANOPY AT ENTRY
- 7 ALUMINUM GUARDRAIL
- 8 METAL SCREEN AT OPEN STAIRWELL



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2 COURTYARD ELEVATION - SOUTH WEST



3 COURTYARD ELEVATION - WEST

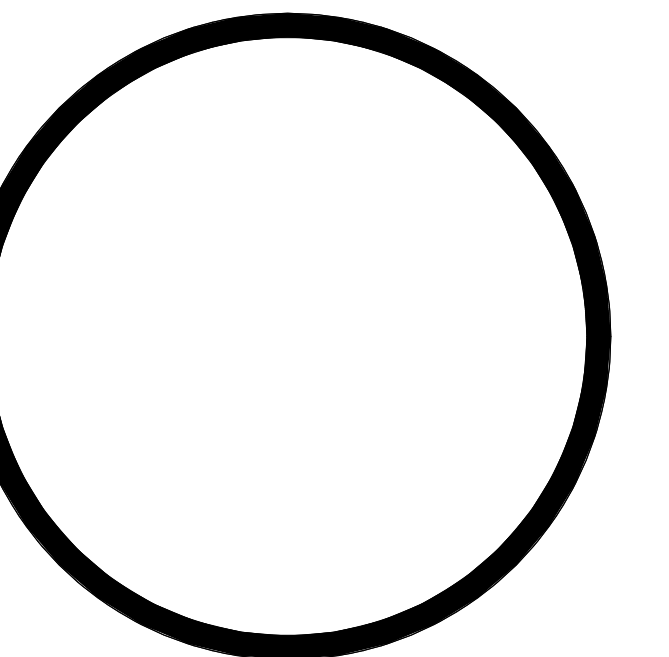
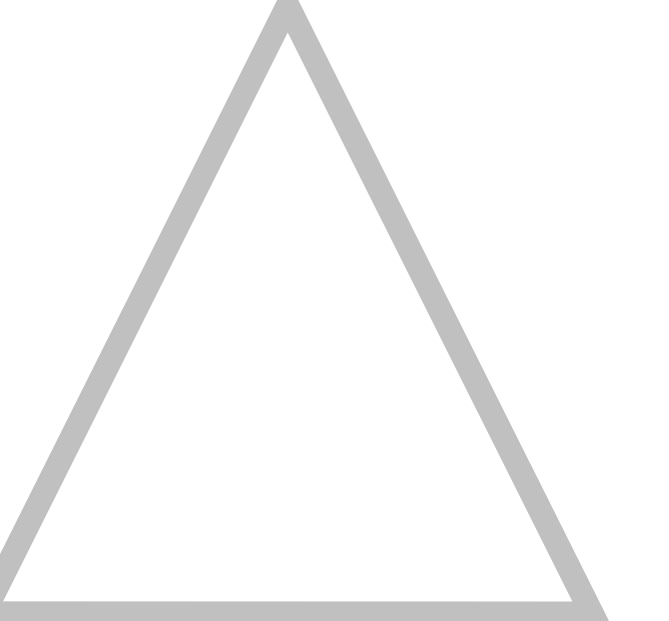


1 SOUTH ELEVATION

EXTERIOR FINISH KEYNOTES

- 1 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #1
- 2 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #2
- 3 STOREFRONT WINDOW SYSTEM
- 4 EXPOSED STEEL STRUCTURE - PAINTED
- 5 CANOPY AT ENTRY
- 6 ALUMINUM GUARDRAIL
- 7 METAL SCREEN AT OPEN STAIRWELL

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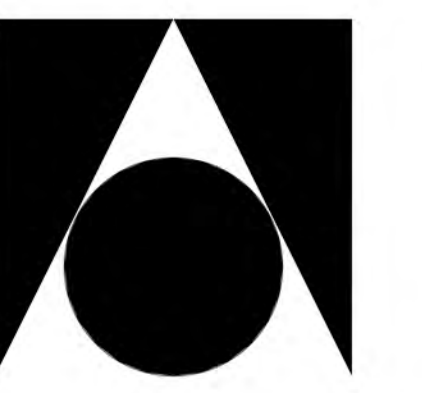


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EXTERIOR ELEVATIONS

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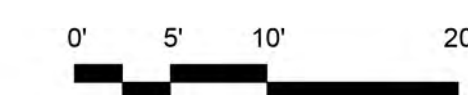
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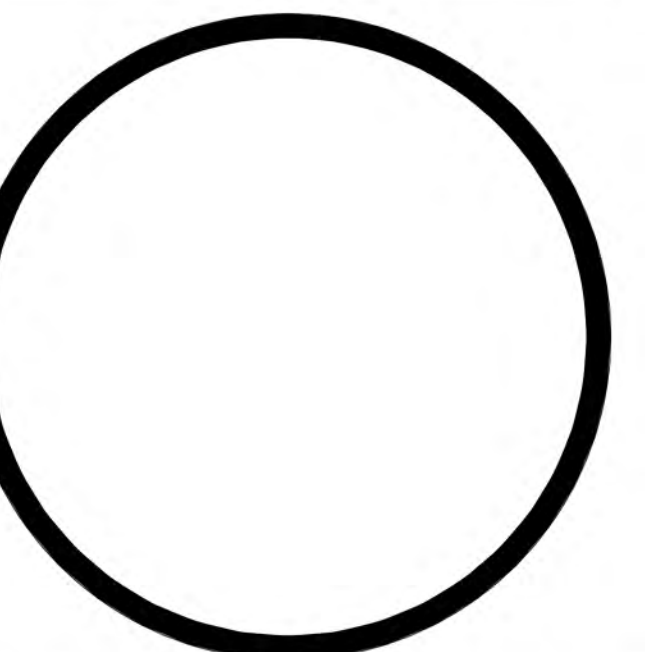
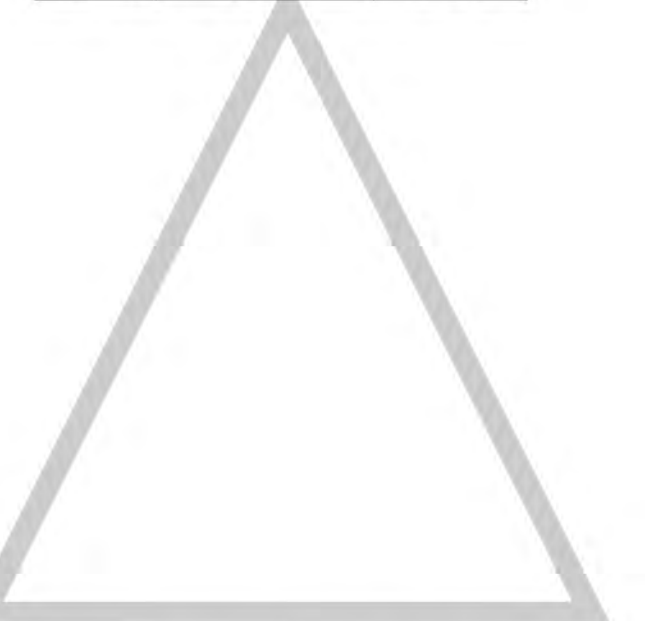
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1 NORTH ELEVATION - FACING DUDLEY PARK



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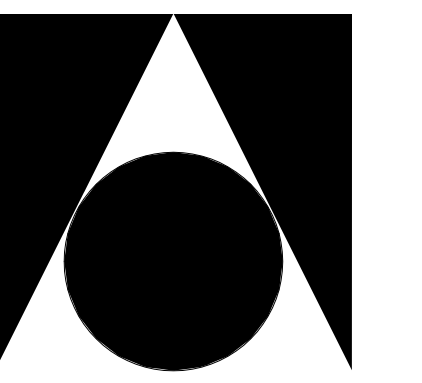


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ELEVATIONS

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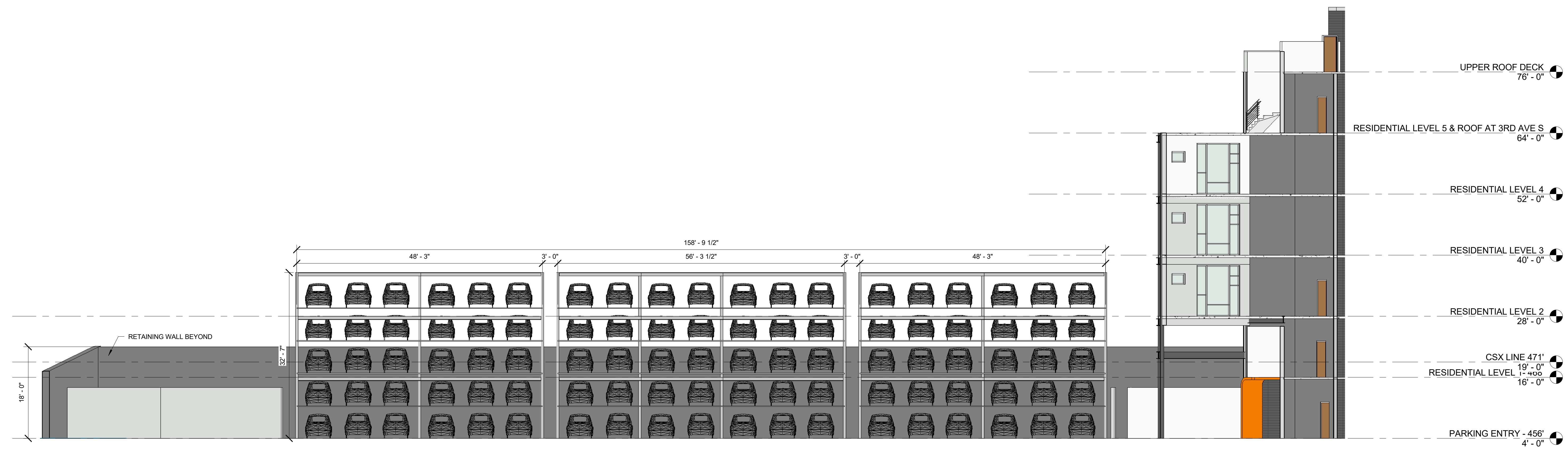


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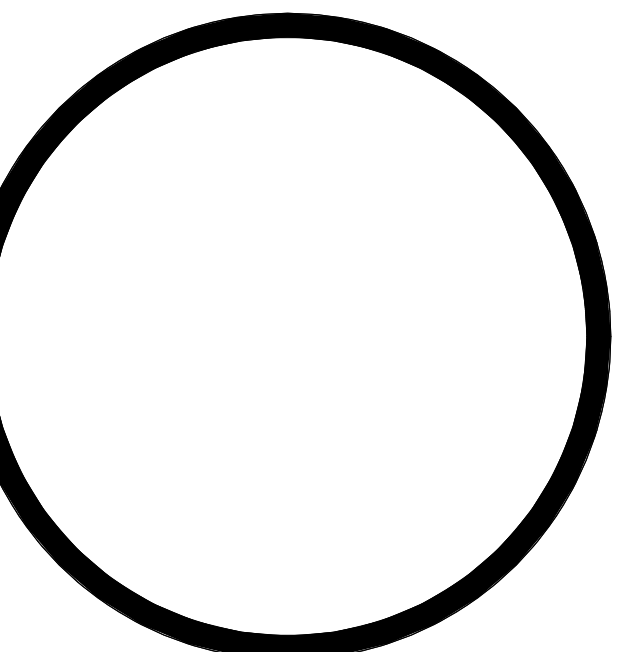
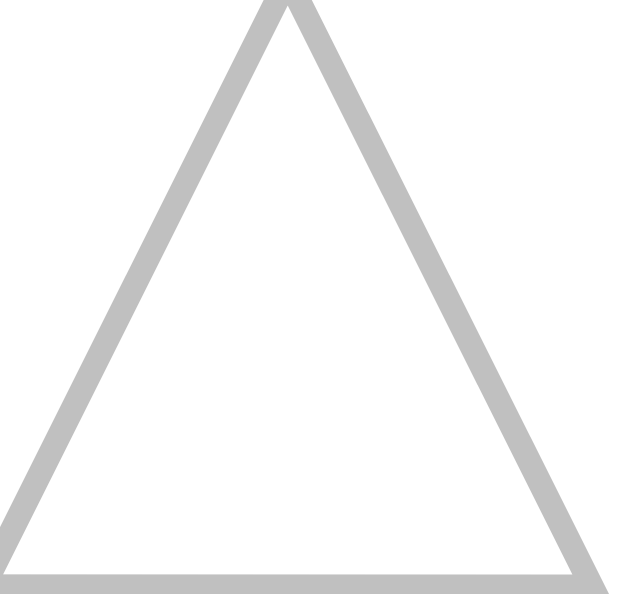
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1 ELEVATION AT PARKING STRUCTURE



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PARKING ELEVATION

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