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 SILVIO RAMON GARCIA  
 DOCUMENT# DB-20020408 0042194  
 RODDC

# Rosedale Cottages Multifamily Community

2016SP-084-001 Preliminary SP

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Boundary and Topographic Survey  
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# Concept Plan

## Purpose

The purpose of this SP application is to provide 12 residential units for work force housing that blends into the South Nashville community.

## Vision

In keeping with the Metro Planning goals for South Nashville's evolving neighborhood development, the developers are motivated to provide work force housing to the community. To provide the housing needs, the developer has envisioned the homes to be purchased by first time home buyers and starting families. The project envisions meeting the goals established through the South Nashville Action Partnership. These goals include the following:

- Provide residents a safe and beautiful place to live and to work.
- Embrace diversity among the residents such as income and race.
- Allow neighbors to have a choice in decisions that impact the South Nashville Area.
- Take pride in the community.

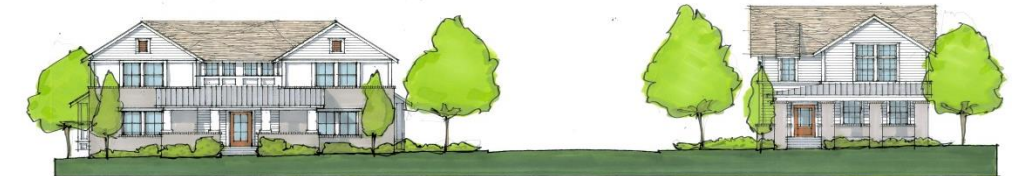
The project envisions to provide a mixture of housing choices for different lifestyles within the development. The prime location will allow easy access to existing mass transit options within the greater community as well as providing convenient access to I-440, Nashville Downtown via Nolensville Pike, and to the commercial districts within the community. With the development, the vision is to maintain uniformity with the existing homes along the street and to improve the aesthetics of the subject properties. The development is influenced by input from the local council member and Metro Nashville Community Planning Department.

The goal for this development is to create a place of that enhances the neighborhood, increases a sense of pride, respects its neighbors and enhances the quality of life of the residents.

## General Plan Consistency:

The specific plan proposed herein is located within the South Nashville Community Plan. The specific land

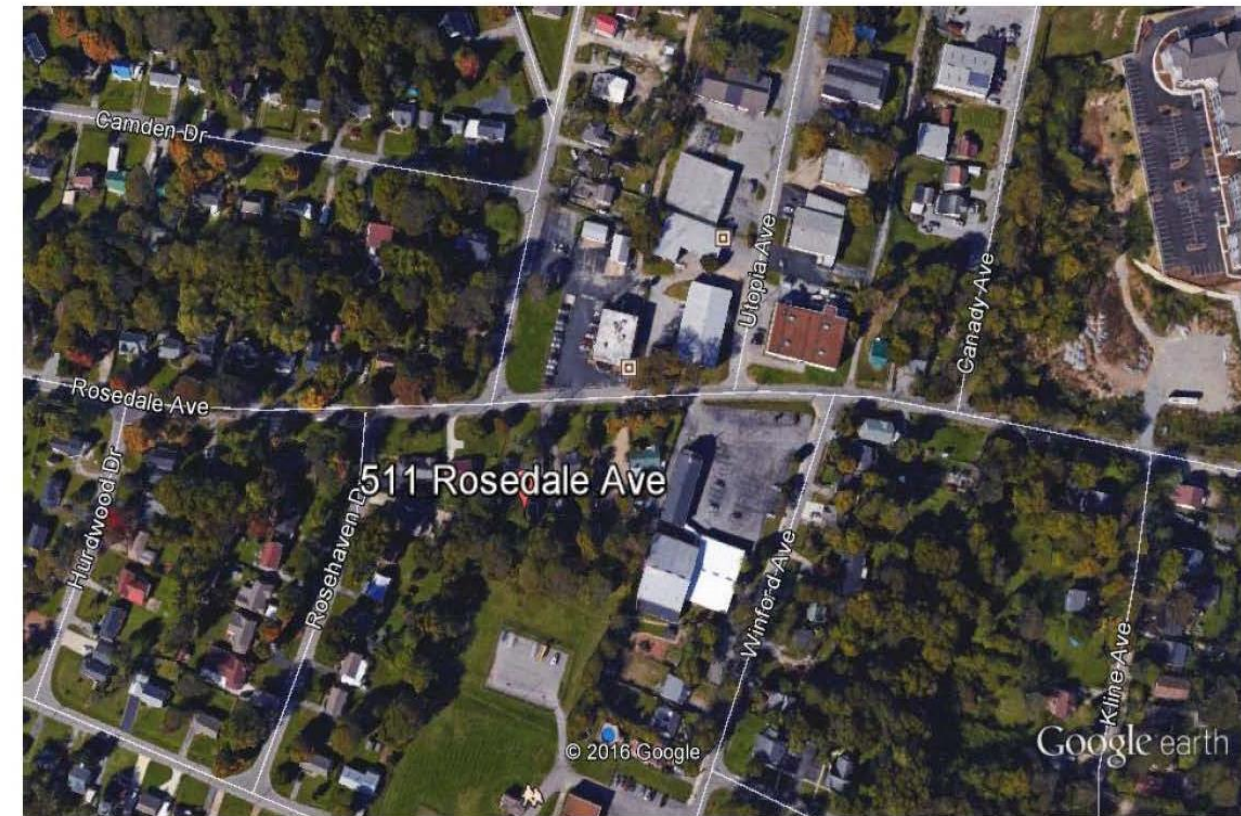
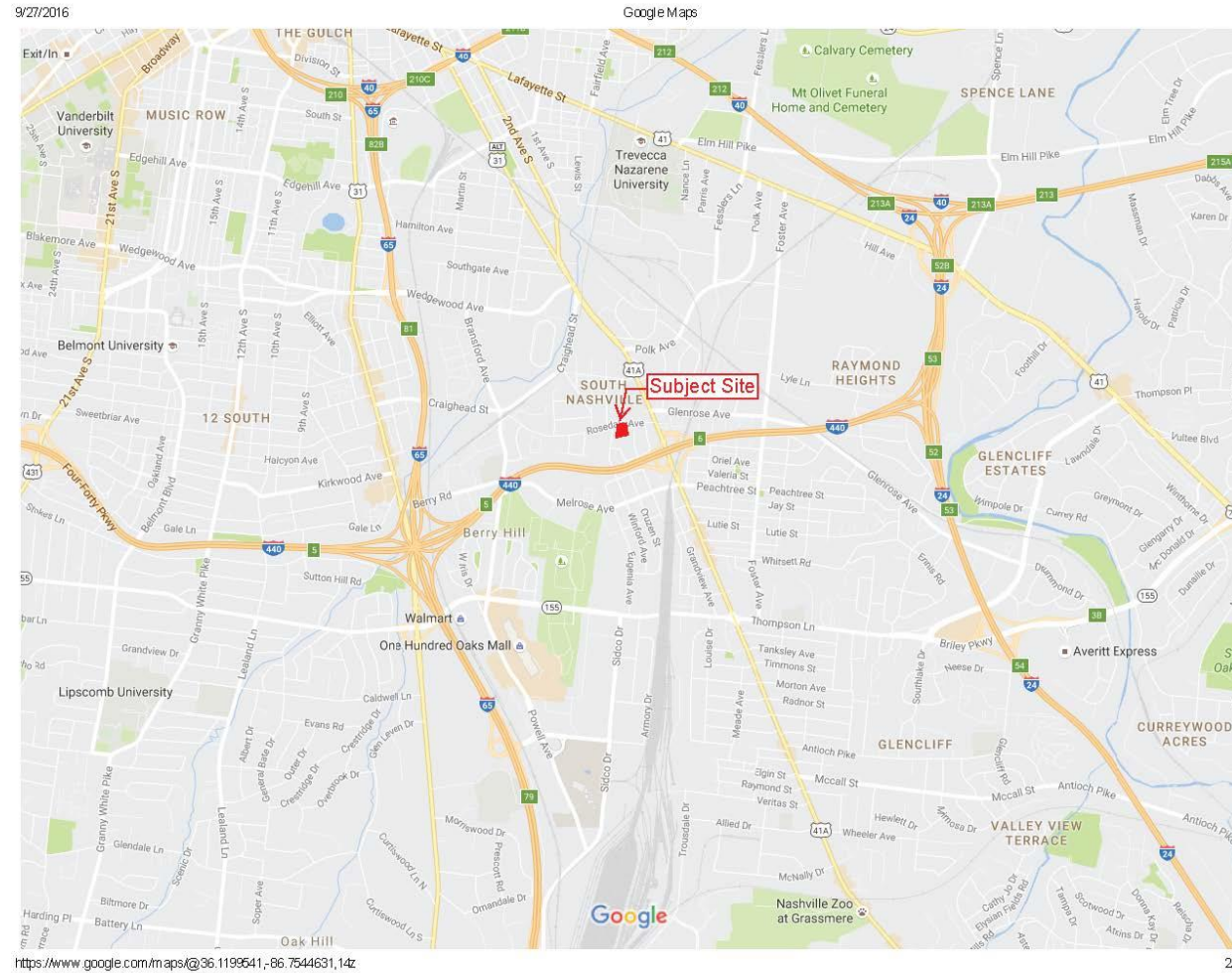
use is Urban Neighborhood Evolving, transect 4 (or T4 NE). The primary goal of T4 NE is to encourage denser housing types that are integrated into the fabric of the existing neighborhood. Neighborhood evolving encourages diverse variety of housing types in interior neighborhood. The development is targeting work force housing demands of Nashville. The diversity of the residents, recreational parks, housing, high capacity transit corridor, geographic location to downtown Nashville, and industrial/commercial businesses makes this area highly sought after for new work force housing.



# CONCEPT PLAN



# Vicinity Map



## Property Ownership of Record:

511 Rosedale Avenue  
Rosedale Properties, LLC  
4317 Sunnybrook Drive  
Nashville, Tennessee 37205

509 Rosedale Avenue  
Sadler Jennings Vaden &  
Candice Fay Summers  
509 Rosedale Avenue  
Nashville, Tennessee 37204

## Civil Engineer:

David Smith  
615-244-2040  
[dbsmith@dbsenqr.com](mailto:dbsmith@dbsenqr.com)  
95 White Bridge Road  
Suite 250  
Nashville, Tennessee 37205

## Architect:

Van Pond, Jr.  
615-499-4387  
[vpond@vanpondarchitect.com](mailto:vpond@vanpondarchitect.com)  
2929 Sidco Drive  
Suite 105  
Nashville, Tennessee 37204







### Erosion Control and Grading Notes:

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6 inch topsoil cover. Areas dressed with topsoil shall receive appropriate amount of fertilizer and seed mixture for the growth season being planted.
- Erosion control barrier is called out on plans is to comply with the Metropolitan Stormwater Management Manual, Volume 4, Section tcp – 14.
- Disturbed areas are to be graded to drain as indicated in the planned sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone ASTM #1 stone, 100 feet long and at least 6 inches thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal lifts of 8 inch thickness or as directed by a geotechnical report. Said fill material is to be free of sod, roots, frozen soils, or any other organic material. Said fill is to be compacted to a minimum of 95% standard proctor, or as specified by the project specifications.
- The contractor shall notify the Metro Davidson County Department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the Architect. The contractor shall check the grades and final dimension on the ground, and report any discrepancies to the Architect immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights as necessary.
- The contractor shall be responsible for any damage done to the premises or adjacent premise or injuries to the public during construction caused by himself, his subcontractors, or the carelessness of any of his employees.
- All work is to be completed within compliance to the rules and regulation set forth by Metro Water

Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portion of work which he is to perform.

- All erosion control measure shall remain in place until the site is stabilized and construction is complete.
- Contractor shall provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13. Location to be coordinated with the NPDES department during the pre-construction meeting.

### Stormwater Notes:

- The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures.
- Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with stormwater management ordinance 78-840 and approved by The Metropolitan Department of Water Services.
- Drawing is for illustration purposes to indicate the basic premise of the development, as it pertains to Stormwater approval/comment only. The final lot count and details of the plan shall be governed by the appropriate stormwater regulation at the time of the final application.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities at the site.

### Landscape Notes:

- The developer of this project shall comply with the requirements of the SP and adopted tree ordinance 2008-328 (Metro Code Chapter 17.24).
- Street trees shall be provided along all street frontages at a minimum spacing average of fifty (50) lineal feet when trees are planted in rows, they shall be uniform in size and shape.
- All landscaping shall be properly irrigated and maintained by a landscape contractor; if drought resistant plant material is used, irrigation shall not be required.
- All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, larvae, and shall have adequate root systems.
- All container grown material shall be healthy, vigorous, well rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a

healthy growing condition. All root bound plants shall be rejected.

- Groups of shrubs shall be placed in a continuous mulch bed with smooth continuous lines. Trees located within four feet of shrub beds shall share same mulch bed.
- Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as to not impede drainage away from buildings. If significant relocations are required, contractor shall contact landscape architect for resolution. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials.
- Trees should remain vertical and upright for the duration of the guarantee period. Guys and strapping shall be removed after one growing season.
- The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

### Water Notes:

- Water and Sewer Service to be provided by Metro Water Services.
- Water and sewer services are schematically shown. Final water and sewer service locations will be provided during the final SP process.
- Metro Water and Sewer Availability has been received from Metro Water Services dated August 15, 2016 which indicated water and sewer capacity is available to meet the 4,200 gallon per day average daily flow.
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services for cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24 inch not to exceed a maximum of 28 inch below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressure exceeds 100 psi.

- Pressure regulating devices will be required on the street side of the meter when pressure exceeds 150 psi.

### Utility Notes:

- Piedmont Gas will be the natural gas provider for this site.
- Existing utility pole obstructions will be relocated to an area outside of the driveway within the vegetation strip.
- Individual Water and/or Sanitary Sewer lines are required for each unit

### Public Works Notes:

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. The requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement markings are to be thermoplastic, if required.
- The Right of Way shall be built out using the existing street crown as the center of the right of way per Metro Public Works.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro Right-of-Way is 15" CMP) with safety headwalls.
- Right of Way design will include: 12'-0" pavement, 2.5' Curb n Gutter, 4' Vegetation, and 8" sidewalk.

### Sidewalk Notes: (continued page 7)

- All public sidewalks are to be constructed in conformance with Metro Public Works Sidewalk Design Standards.
- Sidewalk within the Right of Way shall be constructed to provide a minimum of 5 feet clear access.
- Wheel Chair Accessible Curb Ramps, complying with applicable Metro Public Works Standards shall be constructed at street crossings as applicable.
- Sidewalk, curb and gutter, and road patching construction shall be in accordance with Metro Public Works details.

## ADDITIONAL CIVIL NOTES:



- The final site plan/building permit site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalks and grass strip or frontage zone. Prior to issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.

If a development standard, not including permitted uses, is absent from the SP plan and/or Council Approval, the property shall be subject to the standards, regulations and requirements of the RM20-A zoning district as of the date of the applicable request or application.

Minor modifications to the Preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering, or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increased the permitted density floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection will be met prior to issuance of any building permits.

**Permitted Uses:**

All uses permitted by Residential Multifamily 20 units an Acre (RM20-A) base zoning designation.

**Parking:**

Provided parking shall meet the requirements of the parking standards of the Zoning Code (17.20). Parking shall be provided within parking areas internal within the development.

**Height Standards:**

Maximum building height at the setback to be 35 feet above the top of the foundation wall of each unit.

**Architectural Standards:**

Building Elevations for all street facades shall be provided with the final site plan. The following standards shall be met:

- Building facades fronting a street and/or courtyard shall provide a minimum of one principal entrance (doorway) and a minimum of 25% of the wall surface in glazing.
- Windows shall be vertically oriented at a ratio of 1.75:1, excepting any dormer windows.
- EIFS, Vinyl and Untreated Wood Siding shall be prohibited.
- Finished ground floors and porches shall be elevated a minimum 18" from the abutting average grade elevation of a unit, up to a maximum of 48" from the abutting average grade elevation of a unit. Reductions may be granted by Planning Staff with the Final SP

application for topographical challenged areas and ADA requirements.

- Maximum height
- Porches shall provide for a minimum of 6'-0" in depth.
- Solid waste pickup for all units shall be as contracted by a private service using trash carts to be administered by a Homeowner's Association. Each residential unit shall be responsible for providing a trash cart and maintaining a cart storage area that is fully screened from public view by the combination of fences, or landscaping.

**Fire Marshal's Note:**

A private drive access with a hammer head style turn-around has been incorporated into the development for fire and emergency access to the future residents.

A fire hydrant is located within 500 feet to the furthest residential unit and is accessible by pavement.

The fire hydrant has been tested by Metro Water Services and provides more than adequate water pressure and capacity for fire emergencies. The test data has been provided on the preliminary site plans and included within this submittal.

This plan is consistent with the goals established throughout the policy and is also consistent with several critical planning goals.

**Development Schedule:**

Project is expected to break ground Spring 2017 and take 13 months to complete.

**Traffic Study:**

A meeting was conducted with the Metro Traffic Engineer and Public Works representatives to discuss traffic study along this corridor. There are no unobstructed street views for ±300 lineal feet line of sight in both directions when pulling out of the proposed driveway location. The traffic engineer was concerned with Utopia Avenue, which is located about ±314 feet from the proposed driveway location. Below are photos showing the line of site along Rosedale from the driveway location at 14 feet from the edge of asphalt. Utility pole to be relocated. Site distance plan will be submitted with SP Final.

<b>Development Summary</b>	
<b>Square Feet/ Acreage</b>	<b>33,920 sq. ft./ 0.78 acres</b>
<b>Uses Permitted</b>	<b>12 Units Multifamily Residential</b>
<b>Land Use Area</b>	<b>100% Residential</b>
<b>Maximum Number of Units</b>	<b>12 Units</b>
<b>Number of 2 Bedroom</b>	<b>7 Units</b>
<b>Number of 3 Bedroom</b>	<b>6 Units</b>
<b>Rear Setback</b>	<b>10 feet from property line</b>
<b>Side Setback</b>	<b>5 feet from property line</b>
<b>Front Setback</b>	<b>15 feet from property line</b>
<b>Height Standards</b>	<b>See Architectural Standard This Page</b>
<b>Raised Foundations</b>	<b>18" min/36" max</b>
<b>Floor Area Ratio (FAR)</b>	<b>0.80 exclusive to front covered porches and decks</b>
<b>ISR per base zoning</b>	<b>0.70</b>
<b>ISR Proposed</b>	<b>TBD</b>
<b>Density</b>	<b>20 du/ac</b>
<b>Parking</b>	<b>18 required (1.5 space per unit in Multifamily) 24 provided 1 handicap provided</b>
<b>Access</b>	<b>Private Drive on Rosedale Avenue</b>
<b>Distance to Nearest Driveway (ramp)</b>	<b>±146 feet west and ±114 feet east</b>
<b>Distance to Intersection on same side of Rosedale</b>	<b>±296 feet west to Roshaven Drive; ±485 feet east to Winford Avenue</b>
<b>Distance to Intersection on opposite side of Rosedale</b>	<b>±93 feet west (Gladstone Avenue); and ±314 feet east (Utopia Avenue)</b>
<b>Phasing</b>	<b>One Phase Development</b>
<b>Specific Encroachments</b>	
<b>* Note: Specific encroachments proposed to be permitted by SP (not to encroach Right-of-Way):</b>	
<b>6'-0" Covered Porches</b>	
<b>2'-0" Bay Windows</b>	
<b>6'-0" Stoops and Balconies</b>	



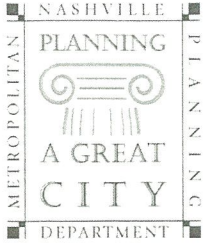
Photo 1. Looking west from driveway access



Photo 2. Looking east from driveway access

A traffic access survey will be completed for the Final SP submittal.

# REGULATIONS



# Metropolitan Nashville Planning Department

Metro Office Building  
 800 Second Avenue South  
 Nashville, TN 37201  
 www.nashville.gov/mpc

Voice: 615.862.7190  
 Fax: 615.862.7130  
 E-mail: [planningstaff@nashville.gov](mailto:planningstaff@nashville.gov)

## Specific Plan Application

SP Project No. \_\_\_\_\_

Date Submitted: September 29, 2016

SP Name 511 Rosedale Cottages

Type of SP Request ?  Preliminary SP     Preliminary & Final SP     Final SP     Amend SP

**Description of the SP:**

The purpose of this SP is to provide 12 residential homes for work force housing within the Rosedale Community.

Associated cases:     PUD     General Plan Amendment     Subdivision     Mandatory Referral

Map	Parcel(s) If portion, use "part of parcel...."	Current Zoning	# of Acres
118-04	141	R6	0.51
118-04	142	R6	0.27

**Community Plan Consistency** (to be completed by applicant):

South Nashville                      T4 Neighborhood Evolving

Community Plan Name                      Land Use Policy (e.g. Neighborhood Maintenance, Neighborhood Evolving, Mixed-Use Corridor, etc.)

Application Fees - New/Amendment/Final		
SP Type	Application Fee	Description
Tier 1	\$2,500	Project is 0-5 residential units and/or less than 10,000 Sq. Ft. of non-residential uses
Tier 2	\$4,500	Project is 6-25 residential units and/or 10,000-25,000 Sq. Ft. of non-residential uses
Tier 3	\$6,195	Project is 26 or more residential units and/or greater than 25,000 Sq. Ft. of non-residential uses



**SP PRE-APPLICATION CONFERENCE.** While not required, a pre-application conference is strongly encouraged with the planning staff. Staff will provide feedback on your SP proposal; advise you on application submittal items, and review a projected review & approval schedule. Call 862-7190 to schedule a meeting.

**Applicant:** All communication by phone, fax, e-mail, or mail will be with the applicant. If you are not the property owner, and the owner(s) have not signed below, you will need to submit a letter, from the property owners(s) indicating you are acting as their agent. The letter needs to include map/parcel, existing zoning, & requested zoning.

- Architect  Engineer  Optionee  Property Owner  Purchaser of property  Lease  
 Other

**Property Owner's**

Name: Rosedale Properties, LLC  
 Company Name: \_\_\_\_\_

Address: 4317 Sunnybrook Dr.

City: Nashville State: TN Zip: 37205

Phone: 615-405-2490  business  home  cell

Phone: \_\_\_\_\_  business  home  cell

Fax: \_\_\_\_\_  business  home

E-mail: Wendell.harmer@gmail.com

**Property Owner's**

Name: Wendell Harmer  
 Company Name: \_\_\_\_\_

Address: Same

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_  business  home

Phone: \_\_\_\_\_  business  home

Fax: \_\_\_\_\_  business  home

E-mail: \_\_\_\_\_

**Property Owner's**

Signature: Rosedale Properties, LLC.

**Property Owner's**

Signature(s): Wendell Harmer

**Applicant**

Name: Barry Cleveland

Company Name: DBS & Associates Engineering, Inc.

Address: 95 White Bridge Road, Suite 250

City: Nashville State: TN Zip: 37205

Phone: 615-244-2040  business  home  cell

Phone: \_\_\_\_\_  business  home  cell

Fax: \_\_\_\_\_  business  home

E-mail: bcleveland@dbsengr.com

I have reviewed this application and its associated SUBMITTAL CHECKLIST fully, and believe, I have complied with all the requested submittal items. I acknowledge that plans or documents missing any of the requested information may be deemed incomplete and not accepted for project review. Further, I understand that additional information or clarification may be requested during the review process or prior to application approval.

**Applicant**

Signature: Barry Cleveland

Date: 9/28/2016

# “MUST HAVES” and “MUST Dos”

## Specific Plan: Development Plan (preliminary)

✓, if completed

- X ① **APPLICATION.** A completed application along with items #2 – #9 below.
- X ② **PUBLIC SEWER AND WATER:** Copy of current letter indicating water and sewer availability from Metro Water Services, Harpeth Valley Utility District, or Madison Suburban Utility District (water only). If previously issued letter has expired or is otherwise invalid, obtain new letter. *Contact Metro Water Services at 862-4598; Harpeth Valley Utility District: 352-7076; Madison Suburban Utility District: 868-3201.*
- X ③ **GENERAL PLAN CONSISTENCY.** A written document describing the existing conditions on the property and how the proposed use(s) will be consistent with the principles and objectives of the General Plan, including any detailed neighborhood design plan, historic district, redevelopment district, or urban design overlay district that may exist.
- X ④ **LAND USE TABLE.** Table listing all land uses proposed to be allowed in the SP district.
- X ⑤ **DEVELOPMENT STANDARDS.** Written text with illustrations, tables, and exhibits detailing the site specific development standards related to building/structure types that are proposed in the SP District such as, but not limited to, height, floor area ratio, impervious surface ratio, building coverage, setbacks, permitted setback encroachments, landscaping, and parking. Standards need not be uniform for entire site. Standards may vary by building and use; however, provide map keyed to site plan showing where such standards are proposed. In case any standards are inadvertently omitted, please indicate what zoning district should apply (e.g. CL, CS, MUL).
- X ⑥ **PRELIMINARY DEVELOPMENT PLAN.** Detailed development (site) plan complying with attached submittal checklist. If landscaping is proposed, provide detail either on site plan (if very minor improvements) or on separate landscape plan. Submit 10 copies of the SP Development Plan.
- X ⑦ **DEVELOPMENT & PHASING SCHEDULE:** Detailed development and construction schedule for entire site, including any phases or sections.
- X ⑧ **DIGITAL DATA FILE** (non-write protected) registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83) at time of preliminary SP application submittal, with each plan revision submittal during staff review, and after preliminary SP approval by Council.
- X ⑨ **SUBMITTAL CHECKLIST:** The SP Submittal Checklist lists everything that must be included for all plans and documents required by Metro for your zone change application to SP District. The design professional should use this checklist when preparing project packages for submission. Plans or documents missing any required information will be deemed incomplete and not accepted for project review.

**(NOTE:** The Executive Director may approve the omission of certain items from the application that are inappropriate or unnecessary based on the purpose and intent of the application. If an item is proposed for omission, the applicant shall clearly state what requirement is omitted and why the item was omitted.) Additional information or clarification may be requested during the review process.

 **View “Specific Plan Submittal Checklist” on-line at**  
<http://www.nashville.gov/mpc/applic.htm>



## SP SUBMITTAL CHECKLIST

Any questions, contact staff at 862-7190

511 ROSEDALE AVENUE SP PRELIMINARY SUBMITTAL		Council Development Plan	MPC Final Site Plan
<b>A. DATA (as applicable)</b>			
1.	Development Summary: In a table with bullet points, provide the following information on the first sheet of the plans (if a very large SP, create a Cover Sheet).		
	▪ Council district number and district councilmember name	✓	•
	▪ Owner(s) of Record – Name, address and phone number. (If a corporation, identify contact person and title)	•	•
	▪ SP Name (including any former name)	✓	•
	▪ SP Number (to be assigned by staff after submittal)	✓	•
	▪ Cluster – Lot Residential SP (if applicable)	N/A	•
	▪ Plan preparation date (mm/dd/yy) with each revision date(s) noted too (mm/dd/yy)	✓	•
	▪ Scale of not less than 1"=50' along with bar scale identifying scale used. Smaller scale may be used if pre-approved by staff.	✓	•
	▪ Design professional – Name, company name, title, address, phone number, fax number of one or more professionals certifying preparation of plan – and where applicable, seal, signed and dated on each plan sheet as (mm/dd/yy).	✓	•
	▪ U.S. FEMA FIRM community panel number or map number with map effective date along with flood zone.	✓	•
2.	Names of adjacent recorded subdivisions and corresponding plan book and page numbers. If no recorded subdivision, adjacent owner name(s) and corresponding deed book and page numbers.	✓	•
3.	Notes: The "Purpose Note" shall be the <b>first</b> note on plan describing the SP's purpose. All other notes shall be placed beneath it in numeric order. See "Section H" of this checklist for typical required notes.	✓	•
4.	Development / Site Data Table (some items may not be applicable, please note when not applicable):	•	•
	▪ Acreage: total gross acreage and acreage by land use including any open space (identify if passive or active) and total net acreage if a cluster lot SP. Categorize land uses based on Zoning Code categorization.	✓	•
	▪ Density: total for all phases, total for each phase, and any bonuses requested.	✓	•
	▪ Dwelling units: total for all phases, total for each phase, total by each type overall and per phase	✓	•
	▪ Floor area ratio (FAR): total site area with breakdown for each category of land uses, and each individual building/structure. Land use category should be based on Zoning Code categorization.	✓	•
	▪ Lots: total # of lots along with corresponding square footage and maximum building area per lot. For residential lots, may place lot size on actual dimensioned lot or within a table on the plan, where all lots are consecutively numbered. For non-residential, place information in a table on face of the plan.	✓	•
	▪ Impervious surface ratio (ISR): total site area covered by impervious surfaces with breakdown of ISR devoted to buildings and roads/sidewalks/drives	•	•
	▪ Parking: total # of spaces required by Zoning Code with required ratio identified on plan, total # of spaces being proposed with ratio identified on plan, and breakdown of same for each individual use and phase.	✓	•
	▪ Square footage (gross) of all land uses, each individual use, and each individual building/structure.	•	•
	▪ Uses: Listing of all existing and proposed land uses as categorized by the Zoning Code (e.g. retail, restaurant, office, warehouse, manufacturing, apartments, townhouses, two-family structures, single-family homes).	•	•
5.	Vicinity Map showing relation to other development phases and surrounding area.	•	•
<b>B. DEDICATIONS (as applicable)</b>			
1.	Public park dedication or reservation	N/A	•
2.	Public school dedication or reservation	N/A	•
3.	Public greenway dedication	N/A	•
4.	Street (right-of-way) dedication or reservation.	✓	•
5.	Public dedication or reservation (other): _____	N/A	•
<b>C. DEVELOPMENT PLAN DETAILS (as applicable)</b>			
1.	Boundary of the SP or phase shall be delineated and labeled (accurate in scale and description).	✓	•
2.	Buildings:	•	•
	▪ Existing buildings and other structures on site and within 100 feet of the SP boundary line, including opposite sides of bordering streets. Label those to be removed or demolished.	✓	•
	▪ Proposed building locations, square footages, # of stories, height, setbacks, trash dumpsters, and loading docks (if any).	✓	•



## SP SUBMITTAL CHECKLIST

*Any questions, contact staff at 862-7190*

		Council Development Plan	MPC Final Site Plan
<b>C. DEVELOPMENT PLAN DETAILS (con't.) (as applicable)</b>			
2. (con't.)	▪ Building envelopes for single-family and two-family homes shown by a "typical" illustration for interior, double frontage, and corner lots. <span style="float: right;">N/A</span>	•	•
	▪ Show envelope on a lot <u>only</u> if different from "typical". Setbacks of homes on perimeter lots per base zoning district (see Metro Zoning Code). Internal setbacks may vary.	✓	•
	▪ Historically registered buildings or structures identified within SP boundary. <span style="float: right;">N/A</span>	•	•
3.	Cemetery: acreage, name, dimensions, identify if to remain in present location or to be relocated. <span style="float: right;">N/A</span>	•	•
4.	Common / open space areas: acreage/square feet, label as active or passive open space, dimensions. <span style="float: right;">N/A</span>	✓	•
5.	Critical Lots: Identify with a star (*) symbol on the face of the plan as required by 17.28.030 and 17.28.040 of the Zoning Code and/or Appendix C. of the Metro Subdivision Regulations. <span style="float: right;">N/A</span>	•	•
6.	Drainage: Buffered drainage ways without a floodway established, show the top of bank and the drain buffer area (sized per Stormwater Regulations). <span style="float: right;">N/A</span>	•	•
7.	Drainage: proposed methods for the discharge of on-site stormwater, showing any off-site existing drain pipes and culverts to be used.	•	•
8.	Limits of water quantity quality ponds/devices (existing and proposed) shall be clearly identified and labeled. For development plans, identify water quality concept <u>only</u> .	✓	•
9.	Drainage agreements: Cite the Register of Deeds' instrument number on face of final site plan for stormwater maintenance agreement, if any.	•	•
10.	Fire Hydrants: Show all fire hydrant locations. Any portion of a building shall be no further than 500 feet from a fire hydrant as measured via hard surface road – not a direct line from hydrant to building.	✓	•
11.	Floodplain: 100-year floodplain (existing and proposed), floodway line, buffers, and for each lot within the 100-year floodplain, the minimum first floor elevation applicable to that lot.	✓	•
12.	Landscape Plan:		
	▪ Existing vegetation on-site and within 100-feet of SP boundary. Indicate approximate location of tree masses and mature hedgerows on-site. General description of tree species and range of sizes within tree masses. Identify and note on plan location of trees 6" in caliper or larger which are not within tree masses.	✓	•
	▪ Proposed vegetation on-site with approximate location(s) to satisfy Chapter 17.24 of the Zoning Code. Identify proposed types, sizes at planting and with three years of maturity, and typical spacing, of all plant materials.	✓	•
	▪ Proposed measures to protect existing vegetation to be retained during site development.	✓	•
13.	Lots:		
	▪ Access, residential: Show driveway access points.	✓	•
	▪ Acreage: Identify square footage on each lot or place information in a table.	✓	•
	▪ Combining lots: If reconfiguring existing lots or parcels, show original lot lines as dashed lines and proposed lot lines as solid lines. Label lines as "old lot line" and "new lot line."	✓	•
	▪ Frontage: Lot shall abut a public street (unless otherwise approved through a SP or UDO).	✓	•
▪ Numbering: Lots shall be numbered in consecutive order. <span style="float: right;">N</span>	✓	•	
14.	North arrow and source on all plan sheets.	✓	•
15.	Phasing or section boundaries (proposed). If existing SP, identify any boundary changes. Include a development schedule for phasing or sections. <span style="float: right;">N/A</span>	✓	•
16.	Property map sheet match lines must be delineated and identified on face of plan. <span style="float: right;">N/A</span>	•	•
17.	Property tax map and parcel numbers of parcels within and abutting the SP.	✓	•
18.	Septic or any other kind of private sewerage disposal fields as approved by Metro Health Department. <span style="float: right;">N/A</span>	•	•
19.	Soils: Identify soils from a generalized soil map unless a more specific study has been done. Identify slopes of 15% to 20% and then those 25% or greater.	✓	•
20.	Sidewalk location (approximate).	✓	•
21.	Street Design		
	▪ Clearance for fire truck access: 20 feet of unobstructed area must be maintained along any public or private street, including any alley for fire truck access, unless street is a divided road.	✓	•
	▪ Cross-sections: Dimension any proposed streets or existing streets to be widened.	✓	•
	▪ Cul-de-sacs: Any cul-de-sac longer than 150' must have a turnaround approved by the Fire Marshal for fire truck turnaround, with a landscaped open space in the center (specific dimensions to be determined). Maximum cul-de-sac length is 750', measured from first intersecting street to end of cul-de-sac. Cul-de-sacs longer than 750' may be required to include mid-block traffic calming devices approved by Metro Public Works.	✓	•
	▪ Any required dedication or reservation of land for right-of-way.	✓	•



## SP SUBMITTAL CHECKLIST

*Any questions, contact staff at 862-7190*

		Council Development Plan	MPC Final Site Plan
<b>C. DEVELOPMENT PLAN DETAILS (con't.) (as applicable)</b>			
21. (con't.)	<ul style="list-style-type: none"> <li>▪ Deviations &amp; variations: Any deviations and/or variations from the Engineering Division of Public Works. Details and Specifications will be required to obtain approval from the Director of Engineering or his designated representative.</li> <li>▪ Fire lanes must be provided for any building less than 30 feet in height with a setback of 150 feet or more from a public street and for any building 30 feet or taller with a setback of 50 feet or more from a public street. <span style="float: right;">N/A</span></li> <li>▪ Grades &amp; cross-slopes, vertical design, speed, horizontal radius, tangents between reverse curves – (see Section 2-6.2.1, Sub. Regs.)</li> <li>▪ Intersections existing within 150 feet of the SP boundary.</li> <li>▪ Names, location, and width of all existing and proposed public and private streets and other public ways. Label all streets that are to be private, including any alleys.</li> <li>▪ Pavement: Show pavement width of any existing public or private streets.</li> <li>▪ Right-of-Way: Identify any dedicated or reserved rights-of-way, but which have never been built and/or accepted for public maintenance. Indicate whether through this plan, rights-of-way will be constructed or abandoned.</li> <li>▪ Sight distance must be shown as per current edition of AASHTO Manual.</li> <li>▪ Temporary turnarounds must be shown if street to be extended in future. Turnaround shown to the property line (no spite/reserve strip). If street is proposed for extension and less than 300 feet in length, no turnaround required. <span style="float: right;">N/A</span></li> </ul>	<input checked="" type="checkbox"/> <input type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
22.	Topography: Show existing contours (entire site) and proposed contours (areas to be developed) in five foot intervals or less, labeling contours every 10 feet as well as sinkholes or other natural depressions, and within 100 feet of SP boundary. Both types of contours must be shown on same sheet and easily distinguishable from one another. USGS contours are not acceptable.	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/>
23.	Traffic signals: Existing and proposed within 150 feet of the SP boundary. <span style="float: right;">N/A</span>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
24.	Traffic impact study (TIS): Show all public roadway improvements of any required TIS on plan.	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
25.	Utility lines: Label and dimension all electrical and gas lines (existing and proposed).	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
26.	Water and sewer lines: Location and size of existing and proposed supply lines and fire hydrants.	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
27.	Wetlands: Show the Department of Army approved wetland delineation line and the drain buffer area (sized per Stormwater Regulations). <span style="float: right;">N/A</span>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
<b>D. DOCUMENTS (as applicable)</b>			
1.	<b>Articles of Incorporation and Bylaws:</b> Provide plans for improvement and maintenance of common areas, and copies of articles of incorporation and by-laws of the legal entity responsible for all common areas, if final SP and no future final plat will be recorded.	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
2.	<b>Development standards</b> for entire site (e.g. height, size, setbacks, landscaping, parking, etc.)	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
3.	<b>Digital output file</b> (non-write protected) registered to the TN State Plane Coordinate System, North American Datum 1983 (NAD83) at time of preliminary and final SP application submittal, with each plan revision submittal during staff review, after preliminary SP approval by Council, and after final SP approval by MPC.	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
4.	<b>General Plan Consistency.</b> Written letter describing the existing conditions on the property and how the proposed use(s) will be consistent with the principles and objectives of the General Plan, including any detailed neighborhood design plan, historic district, redevelopment district, or urban design overlay district that may exist.	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
5.	<b>Land Uses:</b> Table identifying all land uses to be allowed in the SP District and whether they will be permitted, permitted with conditions or special exception uses.	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
6.	<b>Metro Water Services - Active Water &amp; Sewer Services <u>Availability Letter</u></b> (must be less than 60 days from date letter issued).	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
7.	<b>Metro Water Services - Active Water &amp; Sewer Services <u>Capacity Letter</u></b> (must be less than 1 year from date letter issued and fee paid).	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
8.	<b>Metro Water Services - Plan Review Fee Worksheet</b>	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
9.	<b>Metro Water Services – Stormwater Drainage Calculations:</b> Submit stormwater drainage calculations and construction plans with final SP application.	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
10.	<b>Signatures or Notification of Current SP Owners:</b> An application to amend or cancel all or a portion of a SP must either contain the signatures of all property owners within the SP, or an affidavit from the applicant that all property owners within the SP have been notified about the proposed change. <i>Metro Planning Commission Rules and Procedures, VIII. C. 2.</i>	<input checked="" type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>



## SP SUBMITTAL CHECKLIST

*Any questions, contact staff at 862-7190*

		Council Development Plan	MPC Final Site Plan
<b>D. DOCUMENTS (con't.) (as applicable)</b>			
11. <b>Traffic Study:</b> Submit four copies of any required Traffic Impact Study to Planning Department. If previously submitted to Metro Public Works, then only two copies are required to be submitted to Planning Department with the SP application.  <p style="text-align: right;">Submittal Date: _____</p>	•		
<b>E. EASEMENTS (as applicable)</b>			
1. Cross-access and joint-access easements identified by drawing or note.	N/A	•	•
2. <b>Greenway easements</b> must be shown in accordance with the Subdivision Regulations.	N/A	•	•
3. Public access easement(s) proposed and existing (permanent / temporary).	N/A	•	•
4. <b>Public infrastructure easements:</b> Identify existing utility or drainage easements, including any to be abandoned, or relocated. Any easements to be abandoned or relocated must be labeled as "old existing easement" and "relocated easement". <u>If Metro Council approval is required for abandonment or relocation of easement, that approval must be obtained prior to final plat approval, or if there will be no final plat, then prior to approval of the final SP Plan.</u> If a formal request to abandon the easement has previously been filed with a Metro agency, identify date application was submitted to that agency and attach a copy of the application. Where applicable, label any easement abandoned with the council ordinance number that abandoned the easement. <p style="text-align: right;">Agency: _____ Submittal Date: _____</p>	N/A	•	•
5. <b>Scenic Landscape Easement</b> identified for any Scenic Roads designated by the Major Street Plan.	N/A	•	•
<b>F. RELATED APPLICATIONS (as applicable)</b>			
1. <b>Easement or Right-of-Way Abandonment or Relocation (if applicable):</b> <ul style="list-style-type: none"> <li>▪ Street and alley closures – submit application and required fee to Metro Public Works;</li> <li>▪ Easement abandonment's or encroachments (water, sewer or drainage) – submit application and required fee to Metro Water Services;</li> <li>▪ Easement abandonment's or encroachments (all others), including encroachments into Metro right -of-way – submit application and required fee to Metro Public Works.</li> </ul>	N/A	•	•
2. <b>Bond Application</b> submittal for any public infrastructure improvements where no final plat is required.			•
3. <b>Metro Water Services:</b> Payment of \$500 for Water & Sewer Availability Request. Identify below the receipt number and date paid. Receipt # <u>484601</u> Date Paid: <u>August 11, 2016</u>		•	
4. <b>Metro Water Services:</b> Payment of applicable construction plan review fees.			•
5. <b>Metro Water Services:</b> Payment of 30% of Sewer Capacity Fee prior to submittal of any final SP plan, where no future final plat will be recorded. Attach copy of receipt to SP application as proof of payment.			•
6. <b>Stormwater Management Committee (SMC) (if applicable):</b> Submittal of application and \$50 fee for any variance to the Stormwater Regulations with Metro Water Services. SMC must act to approve/disapprove variance request prior to the Metro Planning Commission acting to approve/disapprove final SP.			•
<b>G. PLANS (as applicable)</b> (NOTE: All plans noted below should be submitted directly to reviewing agency)			
1. <b>Metro Public Works:</b> Submit 2 sets of roadway & sidewalk construction plans, including summary of lengths to be bonded, grading plans, and profiles. Identify below the date plans were submitted to Public Works for review/approval (Sidewalks (C25), grades and cross-slopes (C26), road construction (C26)). <b>Submittal Date:</b> _____			•
2. <b>Metro Water Services (Stormwater):</b> Submit 3 sets of grading and drainage plans with 1 set of worksheet calculations. Refer to Appendix A of the Stormwater Management Manual for specific submittal requirements; nashville.gov/stormwater/grading_permit_related.htm. Identify below the date plans and calculations were submitted to Stormwater for review/approval. (Drainage (C7, C8, C9, C10, C13), public infrastructure easements (E4)). <b>Submittal Date:</b> _____			•
3. <b>Metro Water Services (Water &amp; Sewer):</b> Submit 2 sets of water & sewer construction plans. Refer to Residential and Commercial Handbooks for specific submittal requirements; including applicable construction plan review fees; nashville.gov/water/permits_handbooks.htm Identify below the date plans were submitted for review/approval. (Utility lines (C29), water and sewer lines (C30), public infrastructure easements (E4)). <b>Submittal Date:</b> _____			•



**SP SUBMITTAL CHECKLIST**  
*Any questions, contact staff at 862-7190*

		Council Development Plan	MPC Final Site Plan
<b>H. NOTES</b>			
11.	<b>Federal Compliance:</b> All development within the boundaries of this plan meets the requirements of the Americans with Disabilities Act and the Fair Housing Act. ADA: <a href="http://www.ada.gov/">http://www.ada.gov/</a> U.S. Justice Dept.: <a href="http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm">http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm</a>	✓	•

MEGAN BARRY  
MAYOR



## METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY

August 15, 2016

DEPARTMENT OF WATER AND SEWERAGE SERVICES

Development Services  
800 Second Avenue South  
P.O. Box 196300  
Nashville, Tennessee 37219-6300

Barry Cleveland  
Rosedale Properties, LLC  
4317 Sunnybrook Drive  
Nashville, TN 37205

Re: Sewer/Water Capacity Requirements, Rosedale Cottages, Proposed 13 Single Family Units, 511 Rosedale Avenue, Map 118-4, Parcel 141, (0.51 Acres)

Dear Mr. Cleveland:

Water and sanitary sewer service will be available as requested on August 10, 2016, upon payment of capacity charges based on the projected 4,200 gallons per day average daily flow. A public water and public sewer line extension will be required to serve the proposed site. Easement acquisitions are the developer's responsibility and at developer expense. Pressure regulating devices will be required when pressures exceed 100 psi. The engineer must contact the Fire Marshal's Office regarding adequate fire protection.

Service can be made available by payment of the charges as follows:

<u>Commitment</u>	<u>Water Capacity Charge</u>	<u>Sewer Capacity Charge</u>	<u>Total Capacity Charge</u>
1 Year	\$1,000.00 (30%)	\$3,000.00 (30%)	\$4,000.00 (30%)
2 Years	\$1,750.00 (55%)	\$5,250.00 (55%)	\$7,000.00 (55%)
Perpetuity	\$3,000.00 (100%)	\$9,000.00 (100%)	\$12,000.00 (100%)

These non-refundable charges must be paid within 90 days of this letter to Metro Water Services, Permits Office, Metro Office Building, P.O. Box 196300, Nashville, TN 37219-6300. Upon receipt of these fees, we will issue the formal availability letter. Our Department must receive the entire capacity fee prior to issuing water/sewer connection permits. To acquire approval of final plats, final site plans, or public construction plans, you must pay the initial fee commitments.

If you have any questions, please contact Mr. David Brewington by phone at (615) 862-4268 or by email at [david.brewington@nashville.gov](mailto:david.brewington@nashville.gov).

Sincerely,

Handwritten signature of Charissa Mishu in blue ink.

Charissa Mishu, P.E.  
Engineer 2

cc: Ms. Shanna C. Whitelaw, P.E., Engineer 3  
Mr. Colby Sledge, Council District 17  
Mr. Joseph Woodson, Mayor's Office – Metro Council Liaison



If you need assistance or an accommodation, please contact Metro Water Services, at 615-862-4862, 1600 Second Avenue North, Nashville, Tennessee 37208.



NOTES

# RECEIPT

DATE August 11, 2006 484601

RECEIVED FROM Rosedale The perties

ADDRESS 4317 Sunnysbrook Ln.

Nashville TN 37205

\$500.00

FOR Water & Sewer Renewal Fee

ACCOUNT		HOW PAID	
AMT. OF ACCOUNT		CASH	
AMT. PAID		CHECK	<u>\$106.5000</u>
BALANCE DUE		MONEY ORDER	

BY Charm Bude

©2005 REEFORM. ® 8L810

**Rosedale Partners, LLC  
509 and 511 Rosedale Avenue  
Nashville, Tennessee 37211**

September 28, 2016

**Metro Planning Department  
800 2<sup>nd</sup> Avenue South  
Nashville, Tennessee 37210**

To whom it may concern:

This correspondence is to inform you that Rosedale Properties, LLC has hired David B. Smith with DBS & Associates Engineering, Inc. to be the applicant/agent throughout the SP Zoning process for the property at 509 Rosedale Avenue and 511 Rosedale Avenue, Nashville, Tennessee.

Very truly yours,

2nd and Hart Partners, LLC



Wendell Harmer



**Sadler and Candice Vaden**  
509 Rosedale Avenue  
Nashville, Tennessee 37211

September 28, 2016

**Metro Planning Department**  
800 2<sup>nd</sup> Avenue South  
Nashville, Tennessee 37210

To whom it may concern:

This correspondence is to inform you that Rosedale Properties, LLC will be acting as the agent/ applicant throughout the SP zoning process at the property located at 509 Rosedale Avenue, Nashville, Tennessee on behalf of Mr. and Mrs. Vaden.

Very truly yours,

Authentisign  
*Sadler Vaden*  
9/29/2016 10:47:35 AM CDT

Sadler Vaden

Authentisign  
*Candice Vaden*  
9/29/2016 8:18:00 AM CDT

Candice Vaden

## HYDRANT FLOW TEST CUSTOMER INFORMATION AND BILLING SUMMARY FORM



<b>REQUEST DATE :</b>	8/11/2016
<b>WORK ORDER # :</b>	2921233
<b>LOCATION OF TEST :</b>	511 ROSEDALE AVENUE
<b>CROSS STREET :</b>	ROSEHAVEN
<b>DATE OF TEST :</b>	8/16/2016
<b>TIME OF TEST :</b>	8:35
<b>FLOW HYDRANT ID :</b>	05103
<b>MONITOR HYDRANT ID :</b>	04181
<b>MAIN SIZE AT FLOW HYD:</b>	6"

### CUSTOMER BILLING INFORMATION

<b>CONTACT PERSON :</b>	BARRY CLEVELAND
<b>EMAIL :</b>	<a href="mailto:bcleveland@dbsengr.com">bcleveland@dbsengr.com</a>
<b>COMPANY NAME :</b>	JAHCO, LLC
<b>STREET ADDRESS :</b>	4317 SUNNYBROOK DRIVE
<b>CITY :</b>	NASHVILLE
<b>STATE :</b>	TENNESSEE
<b>ZIP :</b>	37205
<b>PHONE :</b>	615-244-2040
<b>FAX :</b>	

### COMMENTS

<b>REQUEST TO BE ON SITE</b>	YES		NO	X
<b>IF YES, DATE?</b>				
<b>APPT. TIME OF TEST ?</b>				
<b>RESULTS (Select ) :</b>	EMAIL	X	FAX	PICKUP
<b>PERMIT # :</b>	WSFH2016-041439			
<b>FIRE MARSHAL REQ</b>	UNKNOWN	GPM		
<b>NOTES:</b>				

<b>CHARGES :</b>	\$100.00
<b>HOURS :</b>	
<b>RATE:</b>	
<b>TOTAL :</b>	\$ 100.00





**Two Hydrant Test Results Summary**  
**System Services Division (SSD)**

Business Unit: 65556810 Work Order # **2921233**

Date of Test	8/16/16	Request Date: 8/11/2016
Job Location	511 ROSEDALE AVENUE	
Cross Street:	ROSEHAVEN	

**Hydrant # 1 - Flowing Hydrant**

MWS ID	05103		
Static Pressure	70	psi	Time ON 8:35 AM
Flow Pressure (Pitot)	55	psi	Time OFF 8:50 AM

Hydrant Outlet Coefficient **0.9**  
 Hydrant Outlet Diameter **2.5** inches  
 This corresponds to a flowrate of **1,245** gpm Using the Orifice Eqtn. (4.7.3 of NFPA 291)

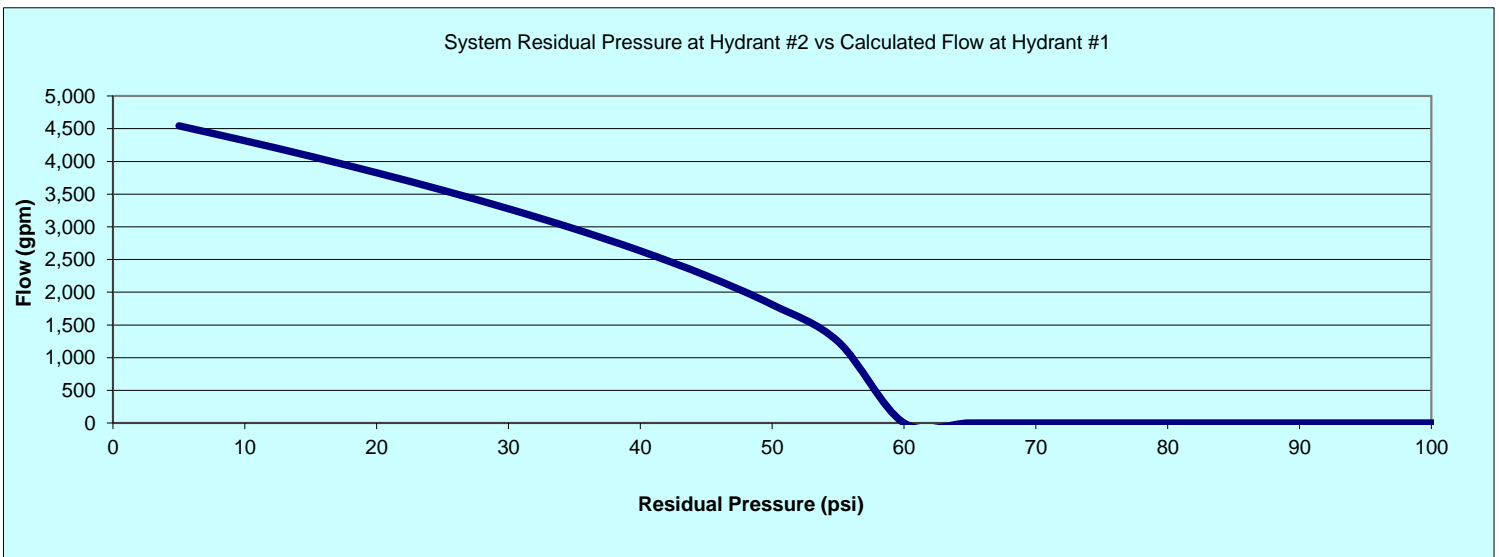
**Hydrant #2 - Monitoring Hydrant**

MWS ID	04181		
Static Pressure	60	psi	Time ON
Residual Pressure	55	psi	Time OFF

**Calculation of available fire flow at 20 psi as required by Table H.5.1 of the NFPA 1 Uniform Fire Code 2006 Edition (Using the pressure relational equation - 4.10.1.2 of NFPA 291)**

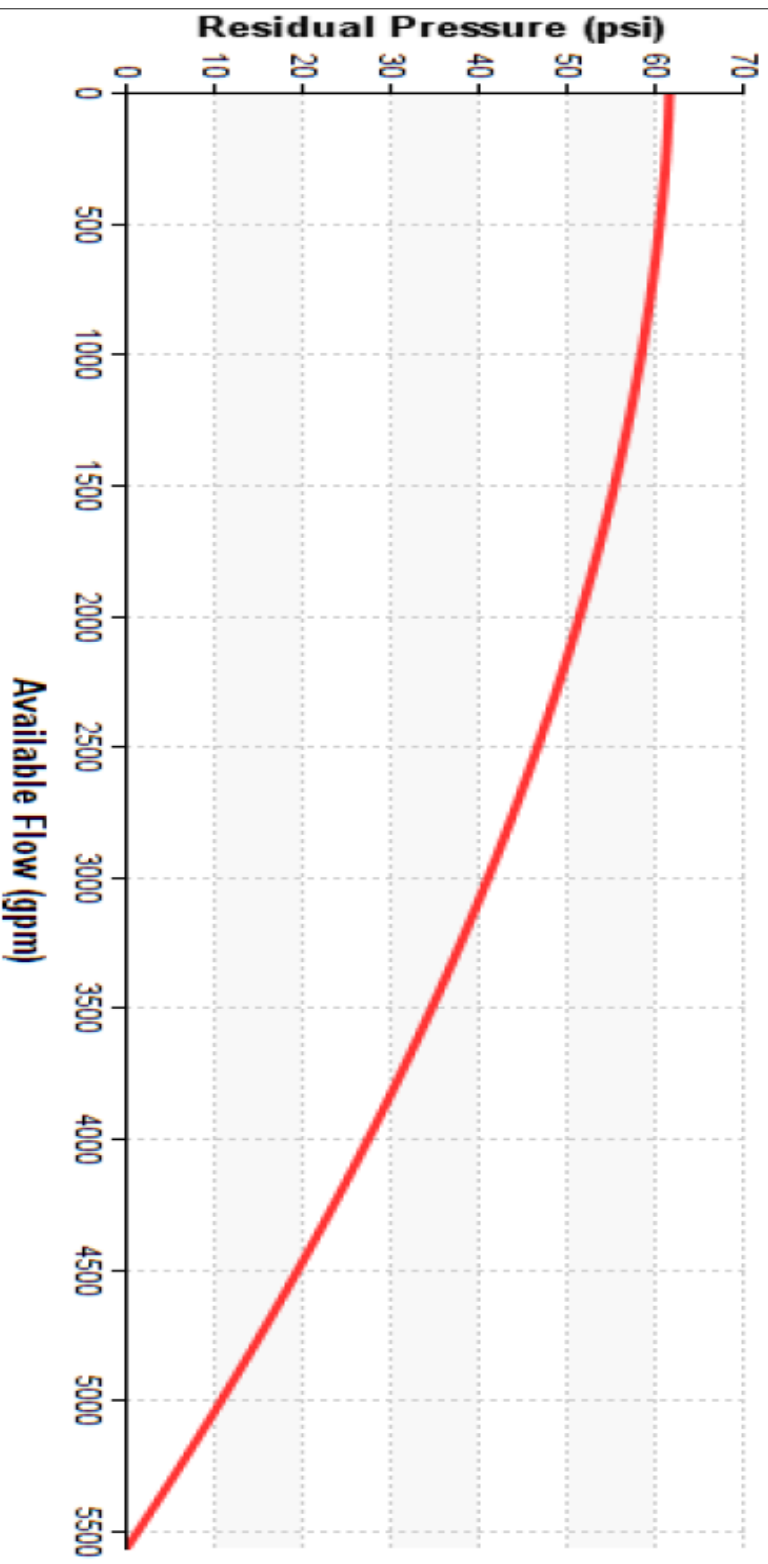
With a 20 psi residual pressure at Hydrant #2, the available flow in the main at Hydrant #2 is: **Review** gpm

**MWS is providing these instantaneous readings for informational purposes only and cannot ensure that it represents actual hydrant flow conditions over any period of time.**



20 PSI  
4,500 GPM

### Hydrant Curve for Junction 116-088 at 20:00 hrs





## **APPENDIX B**





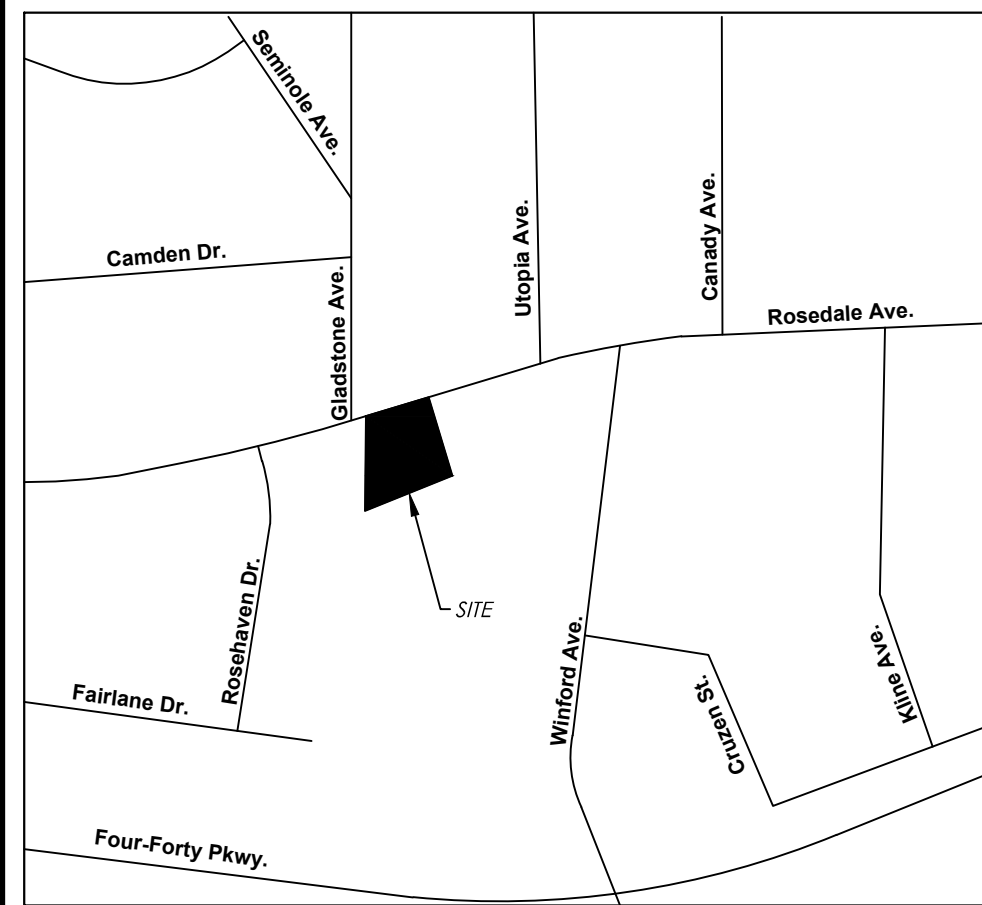


## **APPENDIX C**

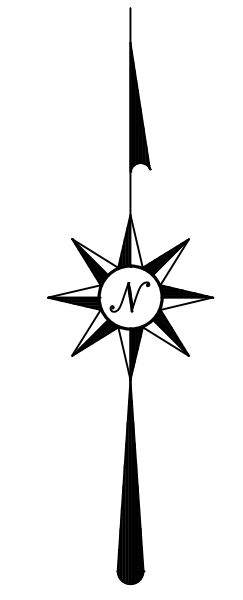


# BOUNDARY & TOPOGRAPHIC SURVEY

OF THE  
**ROSEDALE DEVELOPMENT**  
 AS RECORDED IN OFFICIAL RECORD DB-20160420 0038388 & DB-20150203 0009972  
 REGISTER'S OFFICE OF DAVIDSON COUNTY, TENNESSEE  
 TAX MAP 118-04-0, PARCEL 141.00 & 142.00  
 1ST CIVIL DISTRICT OF DAVIDSON COUNTY, TENNESSEE  
 AREA = 33,920 SQUARE FEET OR 0.78 ACRES, MORE OR LESS  
 ZONE:R6 DATE: 8-23-2016



VICINITY MAP  
(NOT TO SCALE)



NORTH BASED ON  
 TENNESSEE STATE PLAN COORDINATES  
 N.A.D. 83  
 GRID NORTH  
 VERTICAL DATUM: N.A.V.D. 88



**AREA:**  
 TOTAL - 33,920 SQUARE FEET OR 0.78 ACRES  
 LOT 1 - 21,643 SQUARE FEET OR 0.50 ACRES  
 LOT 2 - 12,277 SQUARE FEET OR 0.28 ACRES

**SURVEYOR'S NOTES**

A TITLE COMMITMENT/ SEARCH WAS NOT FURNISHED AT TIME OF SURVEY, THEREFORE THIS SURVEY IS SUBJECT TO AN ACCURATE TITLE COMMITMENT/ SEARCH.

SETBACKS ARE AS PER ZONING, PROPERTY IS ZONED AS "R-6"

PROPERTY IS SUBJECT TO COVENANTS, EASEMENTS, RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND NOT OF RECORD.

THE SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER, AND DOES NOT EXTEND TO ANY UNNAMED PERSONS OR ENTITIES WITHOUT AN EXPRESS RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS HEREON.

THIS SURVEY DOES NOT ADDRESS THE EXISTENCE OR NON-EXISTENCE OF WETLANDS AREAS.

TOPOGRAPHIC FEATURES WERE DERIVED FROM FIELD MEASUREMENTS USING RANDOM SHOTS; CONTOUR INTERVAL = 2

The perimeter shown here is per a Survey made on the ground, there are no encroachments other than those shown, and the survey is correct to the best of my knowledge, belief and professional opinion.

This tract does not lay within a Special Flood Hazard Area of the Federal Emergency Management Agency according to the Flood Insurance Rate Map (47037 C 0332 F Zone X) of the City of Nashville, Davidson County, Tennessee, Dated: April 20, 2001, unless otherwise noted on survey.

I hereby certify that this is a Category-I survey, and that the Closure of the Unadjusted Traverse is better than 1:10,000

Bearing and distance shown take precedence over scale.

ADAM MARRIS TN RLS # 2955  
 DBS & ASSOCIATES ENGINEERING

**SITE LEGEND**

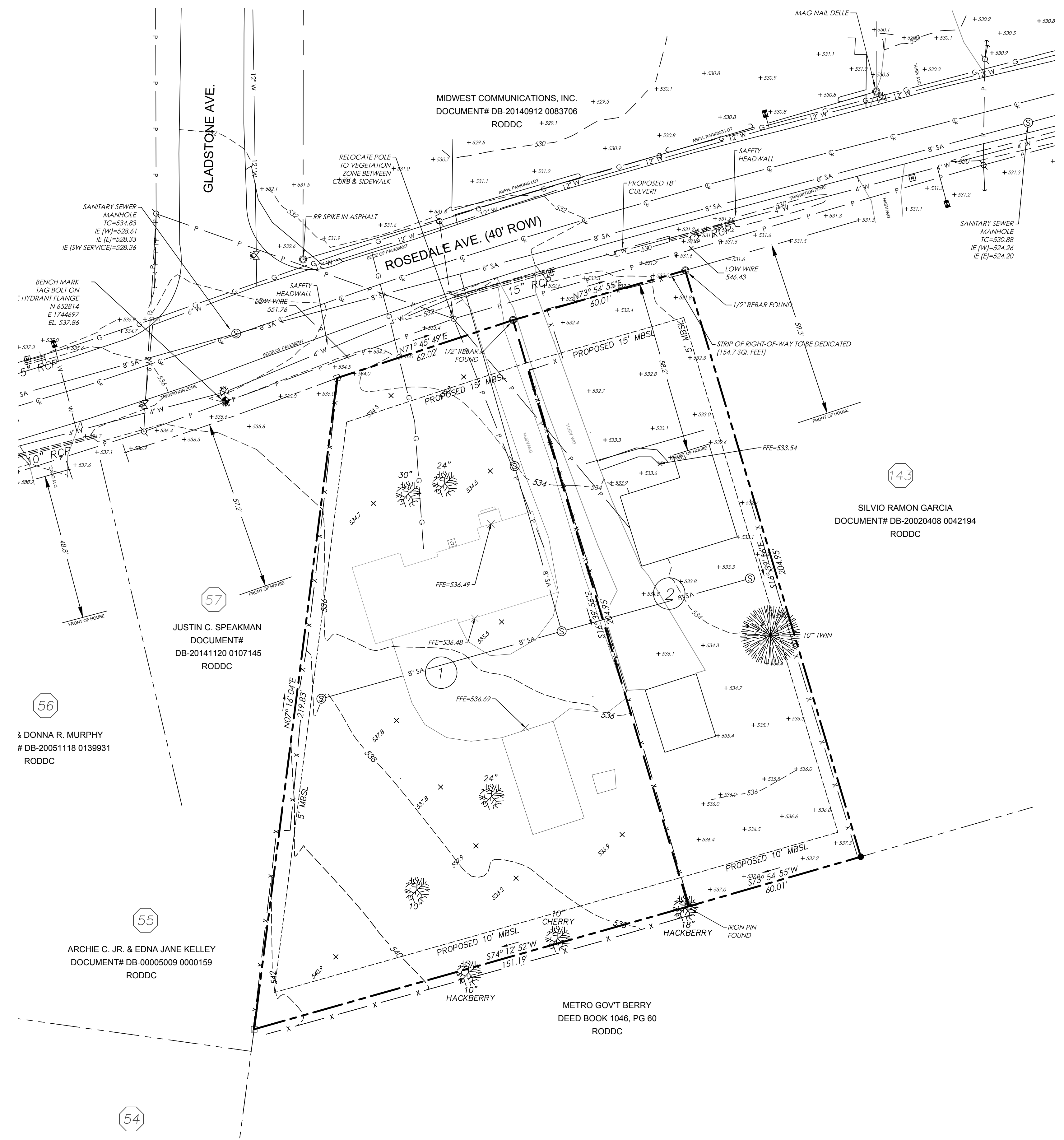
---	BOUNDARY LINE
---	ADJOINING BOUNDARY LINE
---	DISSOLVED BOUNDARY LINE
X-X	FENCE
---	WATER LINE (SIZE VARIES)
P	OVERHEAD UTILITY LINE
---	CONTOUR LINE
---	MINIMUM BUILDING SETBACK LINE
---	SANITARY SEWER LINE
---	ROADWAY CENTER LINE
---	NATURAL GAS LINE

- ⊙ SANITARY SEWER MANHOLE
- ⊙ FIRE HYDRANT
- ⊙ UTILITY POLE
- ⊙ UTILITY POLE WITH LIGHT
- ⊙ GUY WIRE
- ⊙ UTILITY PULL BOX
- ⊙ MAIL BOX
- ⊙ GAS VALVE
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ CURB INLET
- ⊙ AREA DRAIN
- ⊙ BENCHMARK
- ⊙ MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
- ⊙ CONCRETE MONUMENT FOUND
- MONUMENT SET (1/2" REBAR CAPPED "DBS & ASSOC.")

N.A.D = NORTH AMERICAN DATUM  
 N.A.V.D = NORTH AMERICAN VERTICAL DATUM  
 F.F.E. = FINISHED FLOOR ELEVATION  
 MBSL = MINIMUM BUILDING SETBACK LINE  
 ROW = RIGHT OF WAY  
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**DISCLAIMER**

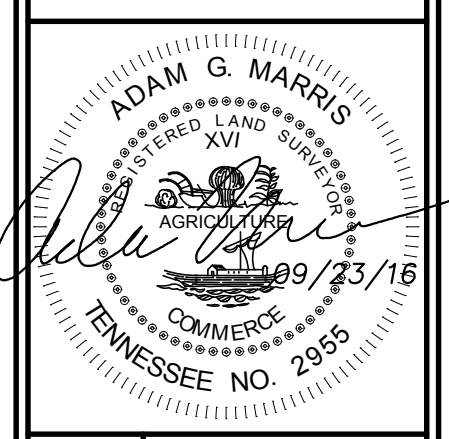
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**BOUNDARY & TOPOGRAPHIC SURVEY**

OF THE  
**ROSEDALE DEVELOPMENT**  
 511 ROSEDALE AVENUE  
 NASHVILLE, TN 37203  
 9/27/2016

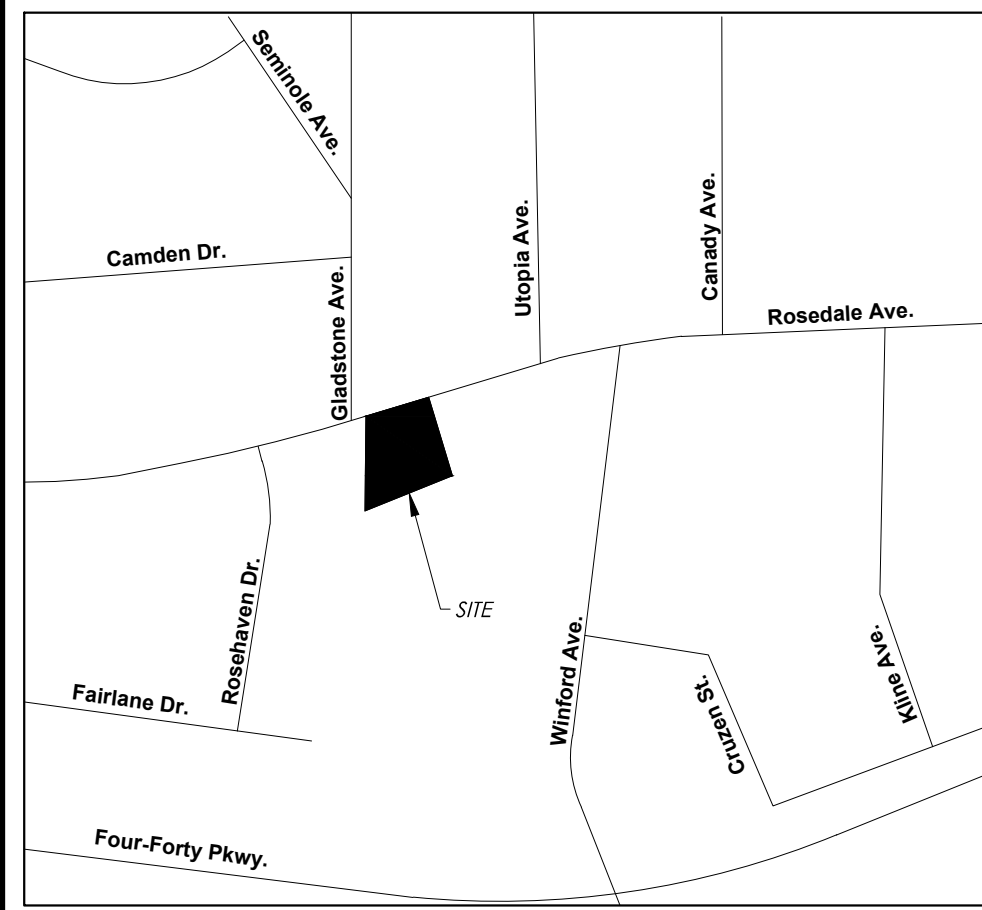
REVISIONS

DRAWN BY: A. MARRIS
CHECKED BY:
SHEET 1 OF 1

**BOUNDARY & TOPOGRAPHIC SURVEY**

MICRO PLOT: 03/16/16 08:43:11 ROSEDALE - SP ZONING AND CONCEPT PLAN 111 ROSEDALE ROAD, PLAN 18-B-110D  
 PLOTTED: 02/26/2016 09:47 AM





VICINITY MAP  
(NOT TO SCALE)

**SITE LEGEND**

- BOUNDARY LINE
- - - ADJOINING BOUNDARY LINE
- - - DISSOLVED BOUNDARY LINE
- X X FENCE
- WATER LINE (SIZE VARIES)
- OVERHEAD UTILITY LINE
- 515 CONTOUR LINE
- MINIMUM BUILDING SETBACK LINE
- SANITARY SEWER LINE
- ROADWAY CENTER LINE
- NATURAL GAS LINE

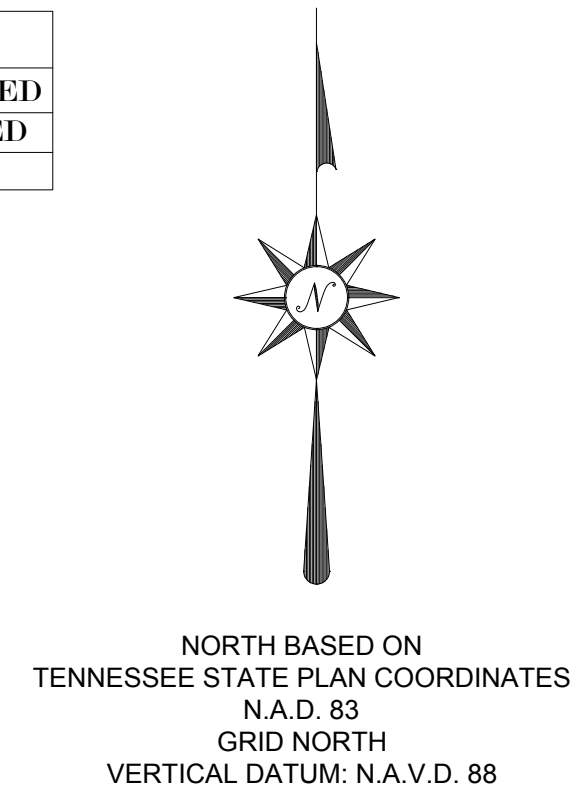
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 RODDC = REGISTER OF DEEDS DAVIDSON COUNTY, TENNESSEE

**PURPOSE:**  
 THE PURPOSE OF THIS SP APPLICATION IS TO PROVIDE 12 RESIDENTIAL UNITS FOR WORK FORCE HOUSING THAT BLENDS INTO THE SOUTH NASHVILLE COMMUNITY

**AREA:**  
 TOTAL - 33,930 SQUARE FEET OR 0.78 ACRES  
 LOT 1 - 21,643 SQUARE FEET OR 0.50 ACRES  
 LOT 2 - 12,277 SQUARE FEET OR 0.28 ACRES

PARKING	
OVERALL	21 SPACES PROVIDED
HANDICAP REQUIRED	2 SPACES PROVIDED
	18 SPACES



**PUBLIC WORKS NOTES:**

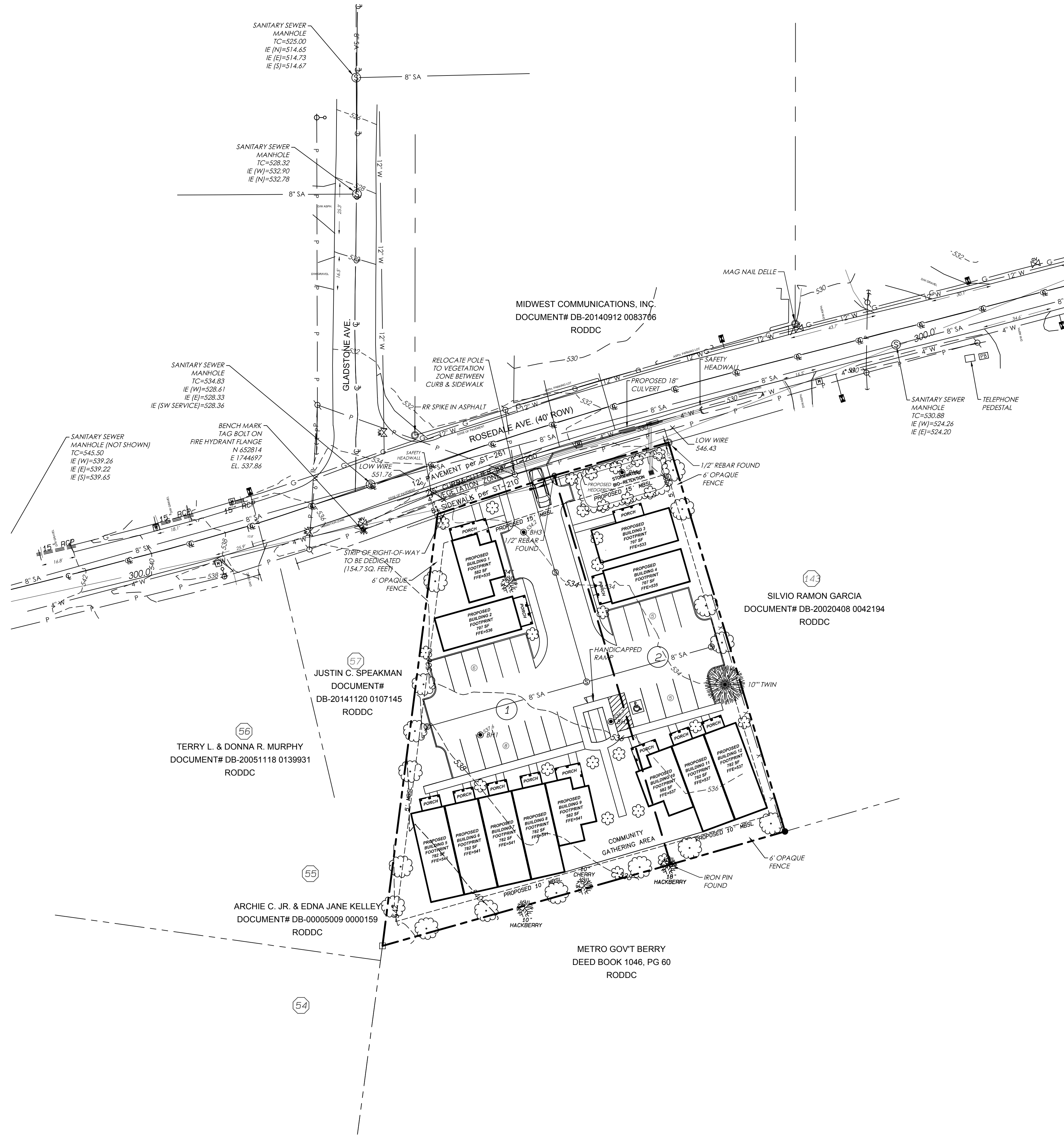
- FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS, IN EFFECT AT THE TIME OF THE APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN OR FINAL DEVELOPMENT OR BUILDING PERMIT, AS APPLICABLE. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ROW AND EASEMENT DEDICATIONS ARE TO BE RECORDED PRIOR TO METRO PUBLIC WORKS SIGN-OFF ON THE BUILDING PERMIT.
- ALL CONSTRUCTION WITHIN THE ROW SHALL BE CONSTRUCTED IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- SOLID WASTE AND RECYCLING FOR THE DEVELOPMENT WILL BE IN COMPLIANCE WITH PUBLIC WORKS VIA CURBSIDE PICK-UP WITHIN DEVELOPMENT. PRIVATE CURB-SIDE PICK-UP WILL BE PROVIDED BY THE DEVELOPMENT'S HOMEOWNER'S ASSOCIATION.
- STREET PARKING ON PUBLIC STREETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH METRO PUBLIC WORKS STANDARDS AND SPECIFICATIONS.
- THE CITY SHALL ONLY TAKE OWNERSHIP OR MAINTENANCE RESPONSIBILITIES FOR THE "FUTURE PUBLIC STREET" ONCE THE TEMPORARY HEAD-IN PARKING FOR THE COMMUNITY CENTER IS APPROVED.
- ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS. PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- ALL PAVEMENT MARKINGS ARE TO BE THERMOPLASTIC.

**METRO PLANNING NOTES:**

- THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5 FEET OF CLEAR ACCESS.
- IF A DEVELOPMENT STANDARD, NOT INCLUDING PERMITTED USES, IS ABSENT FROM THE SP PLANE AND/OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE RM20-A ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSIONER ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- THE FINAL SITE PLAN / BUILDING PERMIT SITE PLAN SHALL DEPICT THE REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.

**FEDERAL COMPLIANCE NOTE:**

ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: <https://www.ada.gov/>  
 U.S. JUSTICE DEPT: <https://www.justice.gov/crt/fair-housing-act-2>



Davidson County, Tennessee (TN037)			
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
McB	Maury-Urban land complex, 2 to 7 percent slopes	0.9	100.0%
<b>Totals for Area of Interest</b>		<b>0.9</b>	<b>100.0%</b>



**TAX MAP 118-04-0**  
**PARCEL 141.00, & 142.00**  
**ZONED R6**

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**Case No. 2016SP-084-001**  
**DEVELOPMENT PLAN**

**OWNER**  
 511 ROSEDALE AVENUE  
 NASHVILLE, TN 37211

**ARCHITECT**  
 VAN POND ARCHITECT, PLLC  
 2929 SHILOH DRIVE SUITE #105  
 NASHVILLE, TN 37204

**SURVEYOR & ENGINEER**  
 DBS & ASSOCIATES ENGINEERING  
 95 WHITE BRIDGE ROAD SUITE #250  
 NASHVILLE, TN 37205

95 White Bridge Road  
 Suite #250  
 Nashville, TN 37205  
 Phone (615) 244-2040  
 Fax (615) 244-2040  
[www.dbsengr.com](http://www.dbsengr.com)  
**DBS & Associates Engineering**  
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**DEVELOPMENT PLAN**  
 OF THE  
 ROSEDALE DEVELOPMENT  
 511 ROSEDALE AVENUE  
 NASHVILLE, TN 37203  
 1/16/2017

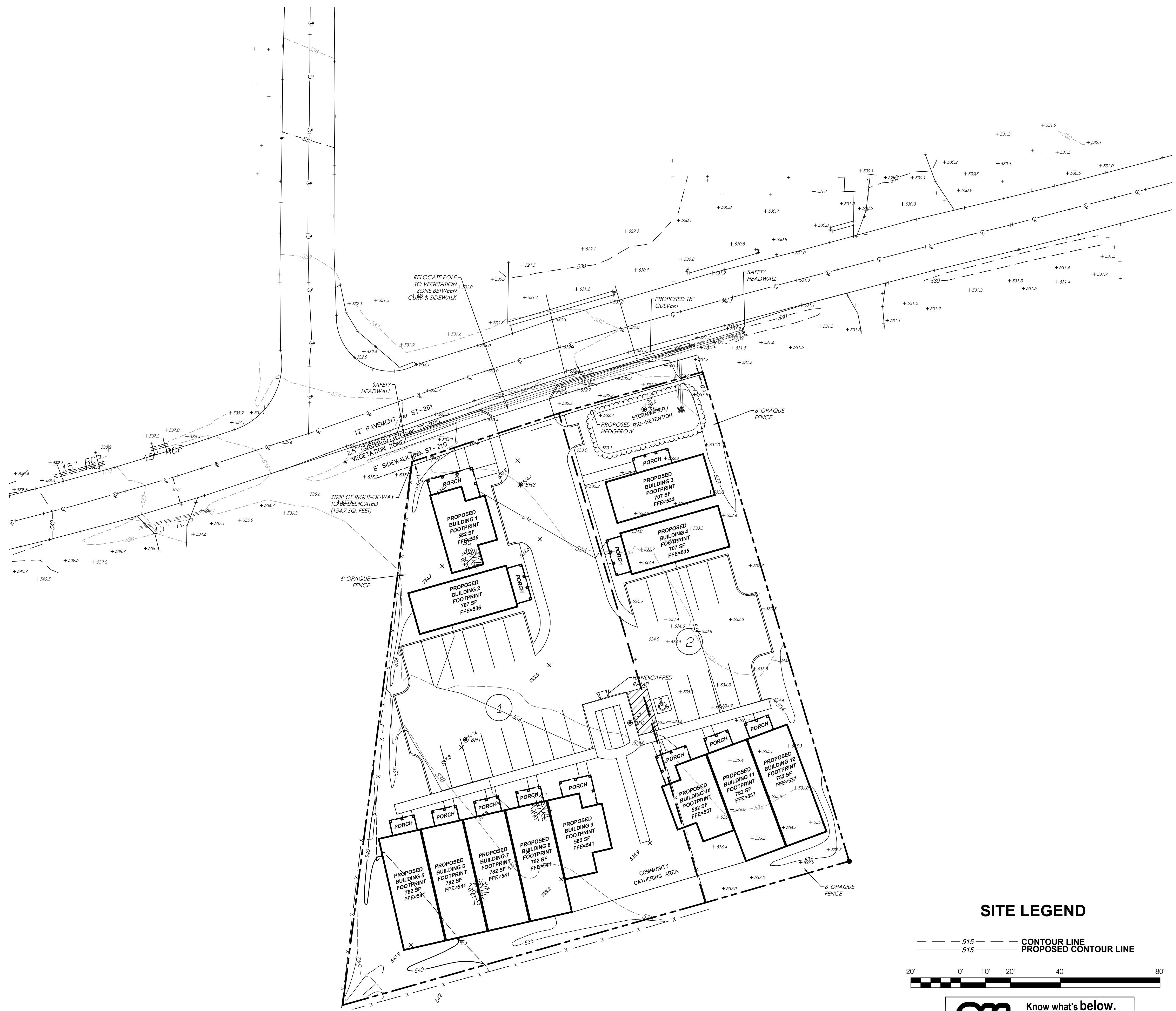
REVISIONS

DRAWN BY: A. MARRIS  
 CHECKED BY:  
**SHEET**  
**2 OF 6**

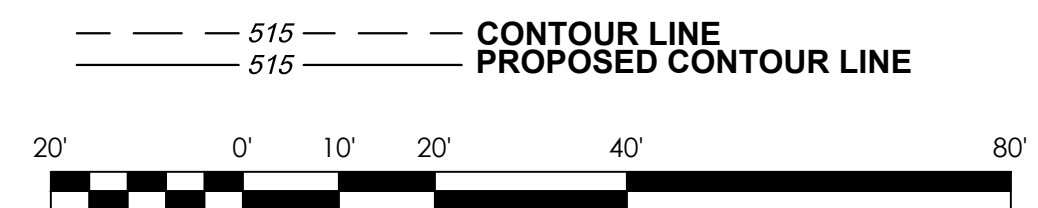
UNREGISTERED AS AN EIT ROSEDALE - SP ZONING AND CONCEPT PLAN FOR ROSEDALE ROAD PLAN FINAL SP.DWG  
 PLOTTED: 1/16/2017 9:16 AM



PROJECT NO. 2016SP-084-001, 511 ROSEDALE AVENUE, NASHVILLE, TN 37203  
 DATE: 11/16/2017 9:15 AM  
 PLOTTED: 11/16/2017 9:15 AM



**SITE LEGEND**




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**EROSION CONTROL AND GRADING NOTES:**

1. EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
2. ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12 POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHERWISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70% - 80% COVERAGE (APPROXIMATELY 135 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
3. EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME 4, SECTION TCP-14.
4. DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
6. ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK. THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
8. THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION THREE DAYS PRIOR TO BEGINNING WORK.
9. THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ARCHITECT. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY FOR A DECISION.
10. SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
11. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
13. ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
14. ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
15. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

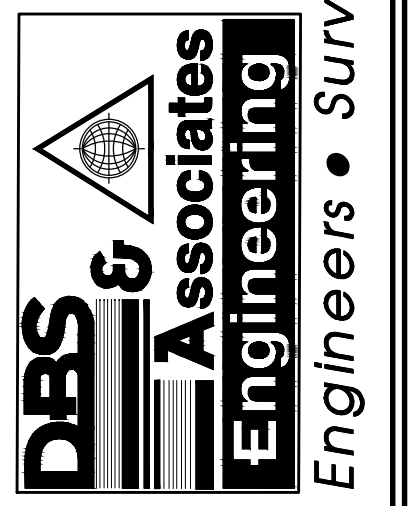
**STORMWATER NOTES:**

1. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE NO. 78840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF THE FINAL APPLICATION.
3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
4. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 1 REGULATIONS.
5. DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL / COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
6. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).

**GRADING NOTE:**

BUILDING AREA DOES NOT INCLUDE ANY SLOPE EXCEEDING A 15% GRADE

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**STORMWATER & GRADING PLAN**

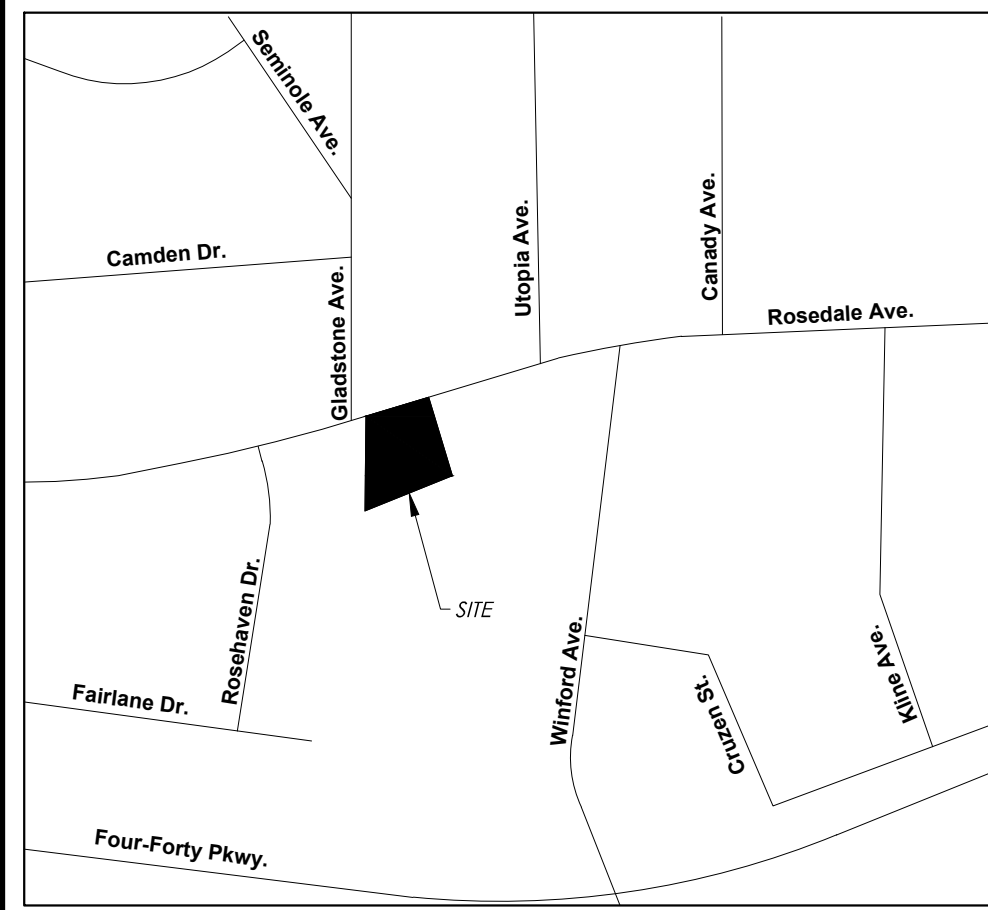
OF THE  
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 NASHVILLE, TN 37203  
 1/16/2017

REVISIONS

DRAWN BY: A. MARRIS  
CHECKED BY:

**SHEET**  
**3 OF 6**

**Case No. 2016SP-084-001**  
**STORMWATER & GRADING PLAN**



VICINITY MAP  
(NOT TO SCALE)

**SITE LEGEND**

- BOUNDARY LINE
- - - ADJOINING BOUNDARY LINE
- DISSOLVED BOUNDARY LINE
- FENCE
- WATER LINE (SIZE VARIES)
- OVERHEAD UTILITY LINE
- CONTOUR LINE
- MINIMUM BUILDING SETBACK LINE
- SANITARY SEWER LINE
- ROADWAY CENTER LINE
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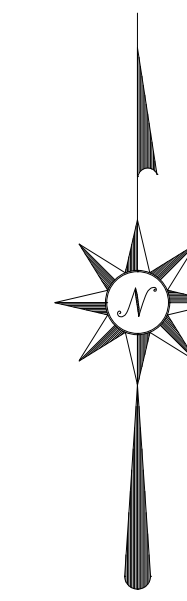
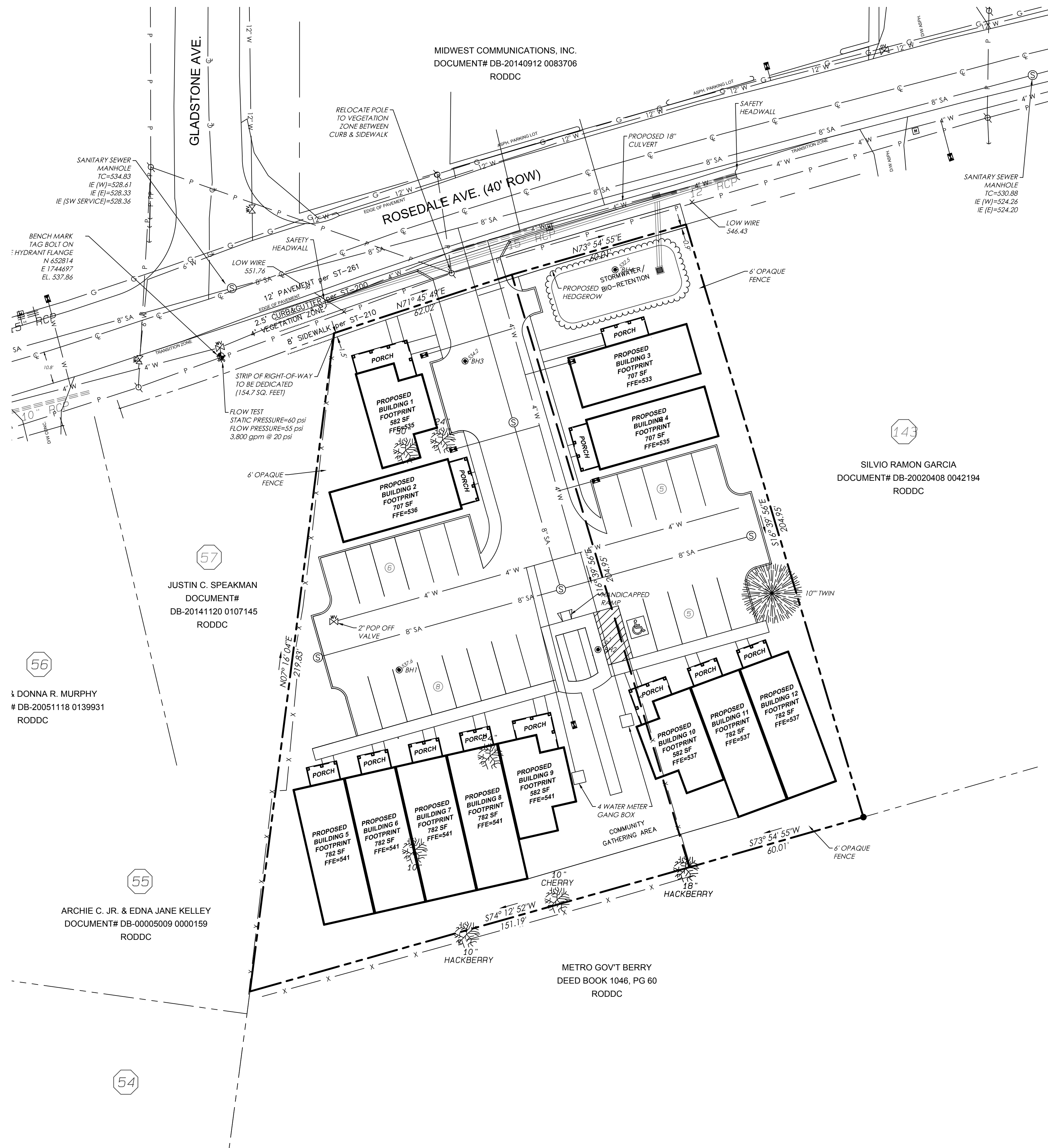
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**UTILITY NOTES:**

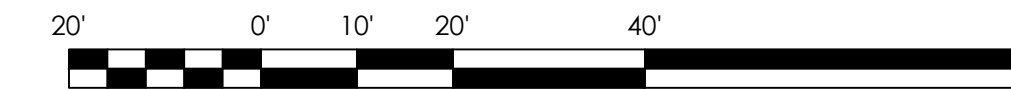
1. WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
2. WATER AND SEWER SERVICES ON THIS PLAN ARE SHOWN SCHEMATICALLY. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING THE FINAL SP PROCESS.
3. SEWER SERVICE SHALL BE PROVIDED BY AN 8" PUBLIC SEWER EXTENSION. INDIVIDUAL SERVICES TO BE PROVIDED FOR EACH UNIT.
4. METRO WATER AND SEWER AVAILABILITY LETTER HAS RESERVED 20,450 GALLONS OF AVERAGE DAILY FLOW.
5. PRESSURE REGULATING DEVICES WILL BE REQUIRED WHEN PRESSURES EXCEED 100 PSI.

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NORTH BASED ON  
 TENNESSEE STATE PLAN COORDINATES  
 N.A.D. 83  
 GRID NORTH  
 VERTICAL DATUM: N.A.V.D. 88



**METRO WATER SERVICE NOTE:**

METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES ON THIS SITE.

**STORMWATER NOTES:**

1. THE SOIL TYPE FOR THIS SITE IS SVD (MAURY - URBAN LAND COMPLEX) WHICH FALLS WITHIN THE "A" HYDROLOGICAL SOIL GROUP.
2. THIS SITE IS RESPONSIBLE FOR STORMWATER TO MEET METRO STANDARDS.
3. STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.
4. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
5. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
6. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR STORMWATER ON THIS SITE.
7. THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47087C0392 F DATED APRIL 30, 2001.
8. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
9. THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
10. THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
11. ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
12. REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
13. ALL WATER METERS SHALL BE A MINIMUM OF 2" NOT TO EXCEED A MAXIMUM OF 2" BELOW FINISHED GRADE.
14. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
15. PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURE EXCEEDED 150 PSI.

**NASHVILLE ELECTRIC SERVICE NOTES:**

1. NES MUST MEET WITH THE DEVELOPER/ENGINEER UPON REQUEST TO DETERMINE ELECTRICAL SERVICE OPTIONS.
2. DEVELOPER DRAWING SHALL SHOW ANY EXISTING UTILITY EASEMENTS ON THE PROPERTY, THE UTILITY POLES ON THE PROPERTY AND THE POLES ALONG THE RIGHT-OF-WAY.
3. NES SHALL BE PLACED IN "PUF" INSIDE DEVELOPMENT FOR CONDUIT RUNS AND METER CENTERS.
4. ANY ADDITIONAL EASEMENT REQUIRED THAT IS NOT PART OF THE PARCEL MUST BE OBTAINED BY THE DEVELOPER OR THE ENGINEER FOR THE DEVELOPER.
5. A POSTAL PLAN IS REQUIRED BEFORE NES'S FINAL CONSTRUCTION DRAWINGS CAN BE APPROVED.
6. NES FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27 NAD NESC SECTION 15-152.A.2 FOR COMPLETE RULES (SEE NES CONSTRUCTION GUIDELINES UNDER "BUILDERS AND CONTRACTORS" TAB @ WWW.NESPOWER.COM).
7. DEVELOPER'S VEGETATION MANAGEMENT REQUIREMENTS CLEARANCES PER METRO STORMWATER REGULATIONS.
8. NES RISER POLE SHOULD BE INSTALLED ON DEVELOPMENT POLE.
9. THE TYPE OF METER SYSTEM THE DEVELOPMENT CHOOSES TO USE WILL AFFECT THE OWNERSHIP OF THE CABLE TO THE METER CENTER. REFER TO PAGE 74 OF THE NES GUIDELINES BOOK.
10. NES SHALL BE PROVIDED LOAD INFORMATION FOR DEVELOPMENT.

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Case No. 2016SP-084-001  
**PROPOSED & EXISTING UTILITY PLAN**

95 White Bridge Road  
 Suite #250  
 Nashville, TN 37205  
 Phone (615) 244-2040  
 Fax (615) 244-2040  
 www.dbsengr.com

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**PROPOSED & EXISTING UTILITY PLAN**

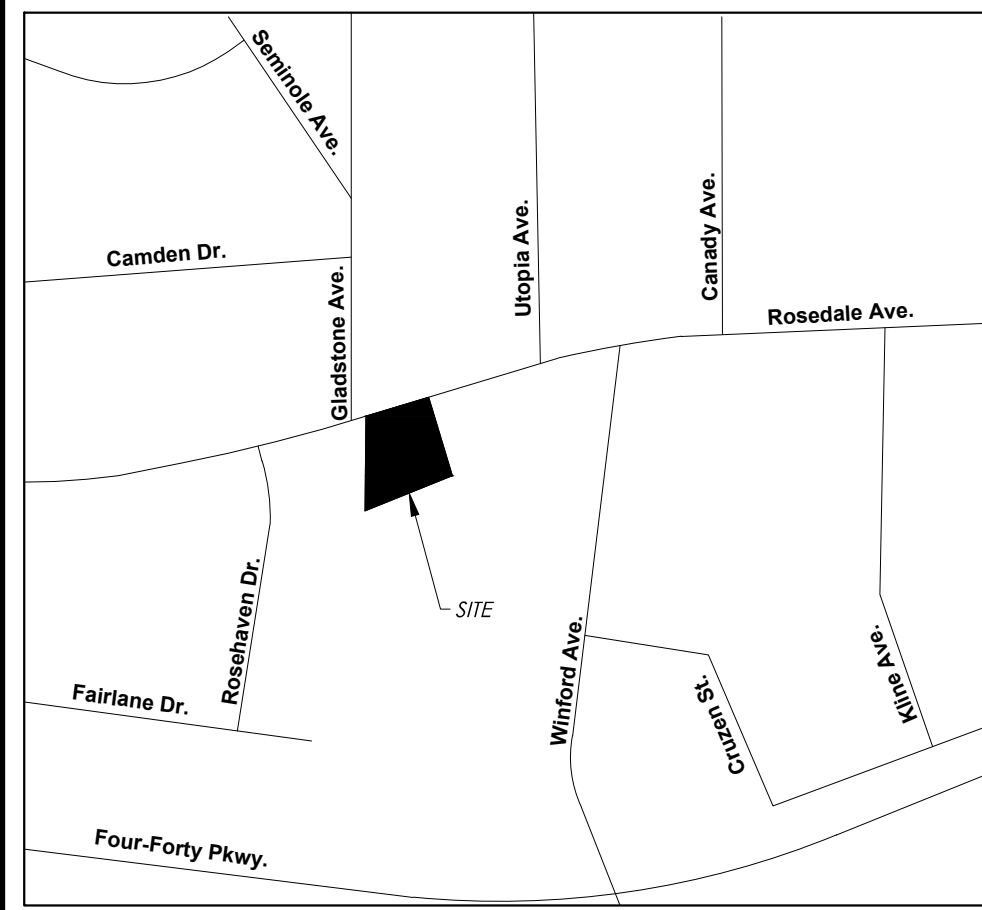
OF THE DEVELOPMENT  
 ROSEDALE DEVELOPMENT  
 511 ROSEDALE AVENUE  
 NASHVILLE, TN 37203  
 1/16/2017

REVISIONS

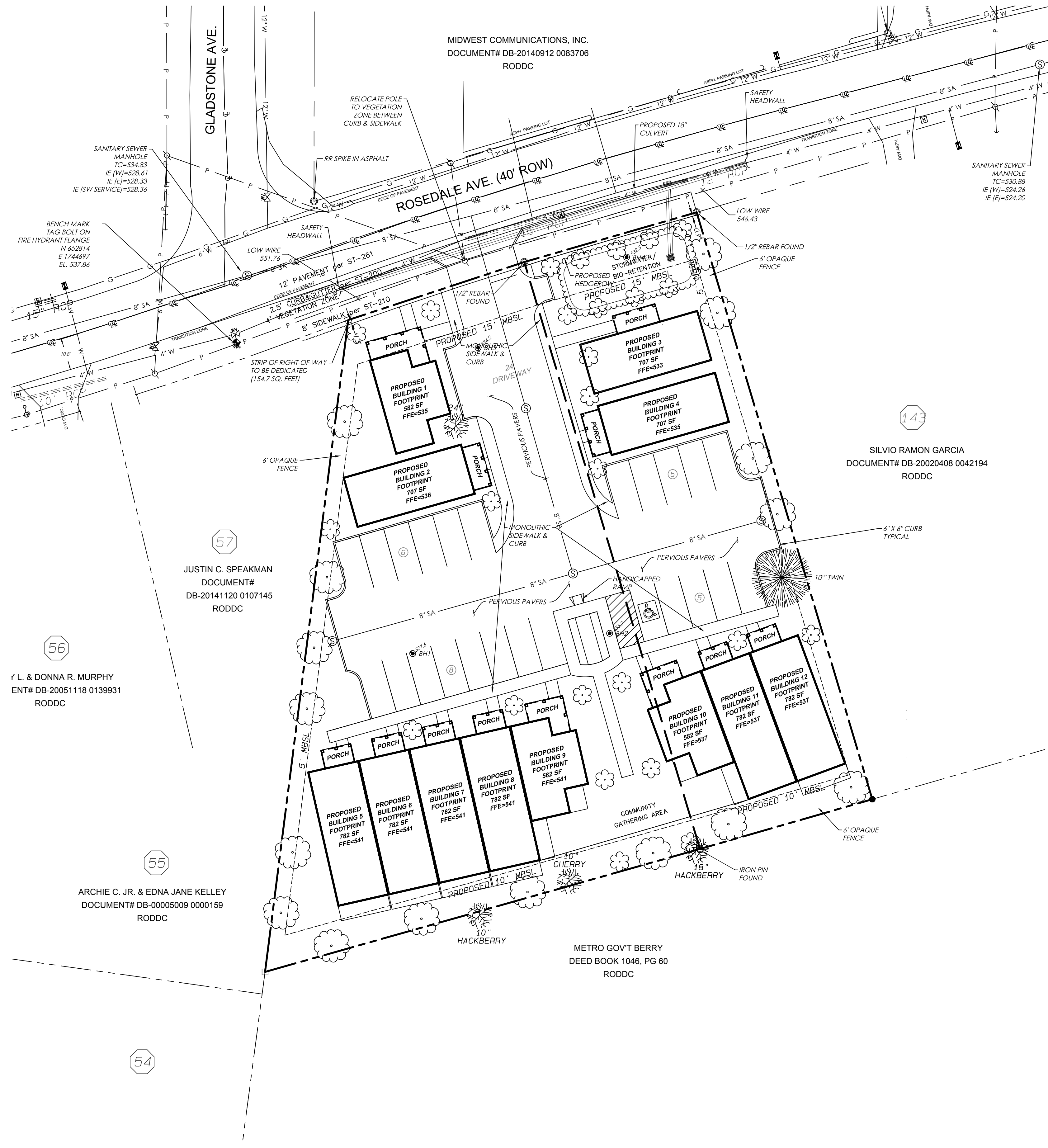
DRAWN BY: A. MARRIS  
 CHECKED BY:

**SHEET**  
 4 OF 6





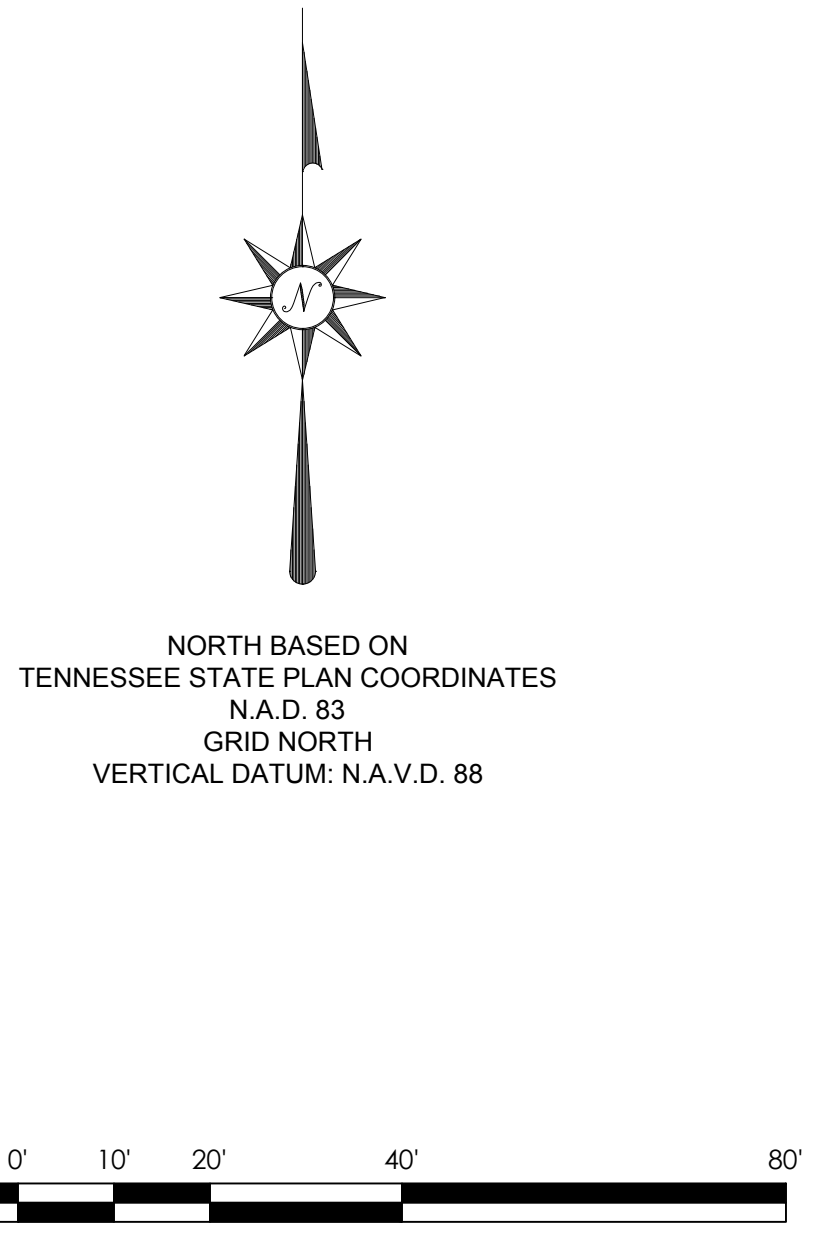
VICINITY MAP  
(NOT TO SCALE)



- SITE LEGEND**
- BOUNDARY LINE
  - - - ADJOINING BOUNDARY LINE
  - DISSOLVED BOUNDARY LINE
  - - - FENCE
  - - - WATER LINE (SIZE VARIES)
  - - - OVERHEAD UTILITY LINE
  - - - CONTOUR LINE
  - - - MINIMUM BUILDING SETBACK LINE
  - - - SANITARY SEWER LINE
  - - - ROADWAY CENTER LINE
  - - - NATURAL GAS LINE
- ⊙ SANITARY SEWER MANHOLE
  - ⊕ FIRE HYDRANT
  - ⊙ UTILITY POLE
  - ⊕ UTILITY POLE WITH LIGHT
  - ⊕ GUY WIRE
  - ⊕ UTILITY PULL BOX
  - ⊕ MAILBOX
  - ⊕ GAS VALVE
  - ⊕ WATER VALVE
  - ⊕ WATER METER
  - ⊕ CURB INLET
  - ⊕ AREA DRAIN
  - ⊕ BENCHMARK
  - MONUMENT FOUND (SIZE AND MATERIAL AS NOTED)
  - CONCRETE MONUMENT FOUND
  - MONUMENT SET (1/2" REBAR CAPPED "DBS & ASSOC.")
- N.A.D.= NORTH AMERICAN DATUM  
 N.A.V.D.=NORTH AMERICAN VERTICAL DATUM  
 F.F.E.= FINISHED FLOOR ELEVATION  
 MBSL= MINIMUM BUILDING SETBACK LINE  
 ROW= RIGHT OF WAY  
 TC= TOP OF CASTING  
 IE= INVERT ELEVATION  
 RODDC= REGISTER OF DEEDS DAVIDSON COUNTY, TENNESSEE

**AREA:**  
 TOTAL - 33,930 SQUARE FEET OR 0.78 ACRES  
 LOT 1 - 21,643 SQUARE FEET OR 0.50 ACRES  
 LOT 2 - 12,277 SQUARE FEET OR 0.28 ACRES

**AREA:**  
 TOTAL - 33,930 SQUARE FEET OR 0.78 ACRES  
 STRUCTURE - 10,630 SQUARE FEET OR 0.24 ACRES  
 OPEN SPACE / COMMON AREA - 23,300 SQUARE FEET OR 0.54 ACRES



- LANDSCAPE NOTES:**
- METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS.
  - EXISTING TREES WILL BE EVALUATED TO REMAIN ONSITE.
  - TREE DENSITY UNITS WILL BE DETERMINED BASED ON METRO'S LANDSCAPE ORDINANCE REGULATION REQUIREMENTS.
  - DUMPSTER RECEIPTABLE AREA WILL BE SCREENED WITH OPAQUE FENCE AND SHRUBS TO MEET THE METRO REQUIREMENTS.
  - NO LANDSCAPE BUFFERS SHALL BE REQUIRED ALONG PUBLIC STREETS.
  - LANDSCAPE "A" BUFFER STANDARDS TO BE UTILIZED AT PERIMETER PROPERTY BOUNDARY. EVALUATION OF EXISTING TREES TO BE CONDUCTED TO PRESERVE AS MANY TREES ALONG THIS PROPERTY BOUNDARY.
  - A DETAILED LANDSCAPE PLAN WILL BE PREPARED BY A LANDSCAPE ARCHITECT FOR FINAL SP TO MEET METRO ORDINANCE REQUIREMENTS.
  - THE DEVELOPER OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SP AND ADOPTED TREE ORDINANCE 2008-338 (METRO CODE CHAPTER 17.34).
  - STREET TREES SHALL BE PROVIDED ALONG ALL STREET FRONTAGES AT A MINIMUM SPACING AVERAGE OF FIFTY (50) LINEAR FEET. WHEN TREES ARE PLANTED IN ROWS, THEY SHALL BE UNIFORM IN SIZE AND SHAPE.
  - ALL LANDSCAPING SHALL BE PROPERLY IRRIGATED AND MAINTAINED BY A LANDSCAPE CONTRACTOR. IF DROUGHT RESISTANT PLANT MATERIAL IS USED, IRRIGATION SHALL NOT BE REQUIRED.
  - ALL PLANTS SHALL BE FRESHLY DUG, SOUND, HEALTHY, VIGOROUS, WELL BRANCHED, FREE OF DISEASE, INSECT EGGS, LARVAE, AND SHALL HAVE ADEQUATE ROOT SYSTEMS.
  - ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION. ALL ROOT BOUND PLANTS SHALL BE REJECTED.
  - GROUPS OF SHRUBS SHALL BE PLACED IN A CONTINUOUS MULCH BED WITH SMOOTH CONTINUOUS LINES. TREES LOCATED WITHIN FOUR FEET OF SHRUB BEDS SHALL SHARE SAME MULCH BED.
  - ADD BUFFER TO LANDSCAPE PLAN.
  - PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS TO NOT IMPEDE DRAINAGE AWAY FROM BUILDINGS. IF SIGNIFICANT RELOCATIONS ARE REQUIRED, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH RELOCATIONS KNOWN TO THE OWNER OR LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR'S LIABILITY OF PLANT MATERIALS.
  - TREES SHALL REMAIN VERTICAL AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD. GUYS AND STRAPPING SHALL BE REMOVED AFTER ONE GROWING SEASON.
  - THE ROOT CROWN TO BE AT FINISHED GRADE OR NO GREATER THAN A MAXIMUM OF ONE INCH HIGHER (AFTER SETTLING) THAN FINISHED GRADE.

- LANDSCAPE NOTES:**
- SEE LANDSCAPE ARCHITECT SHEET FOR LANDSCAPE DESIGN DETAILS.
  - A REVISED LANDSCAPE ARCHITECT PLAN WILL BE ISSUED FOR FINAL SUBMITTAL INDICATING BUILDING 3 REVISED LOCATION.

95 White Bridge Road  
 Suite #250  
 Nashville, TN 37205  
 Phone (615) 244-2040  
 Fax (931) 647-7135  
 www.dbsengr.com

**DBS & Associates Engineering**  
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**LANDSCAPE & LAYOUT PLAN**

OF THE  
 ROSEDALE DEVELOPMENT  
 511 ROSEDALE AVENUE  
 NASHVILLE, TN 37203  
 9/27/2016

REVISIONS

DRAWN BY: A. MARRIS  
 CHECKED BY:

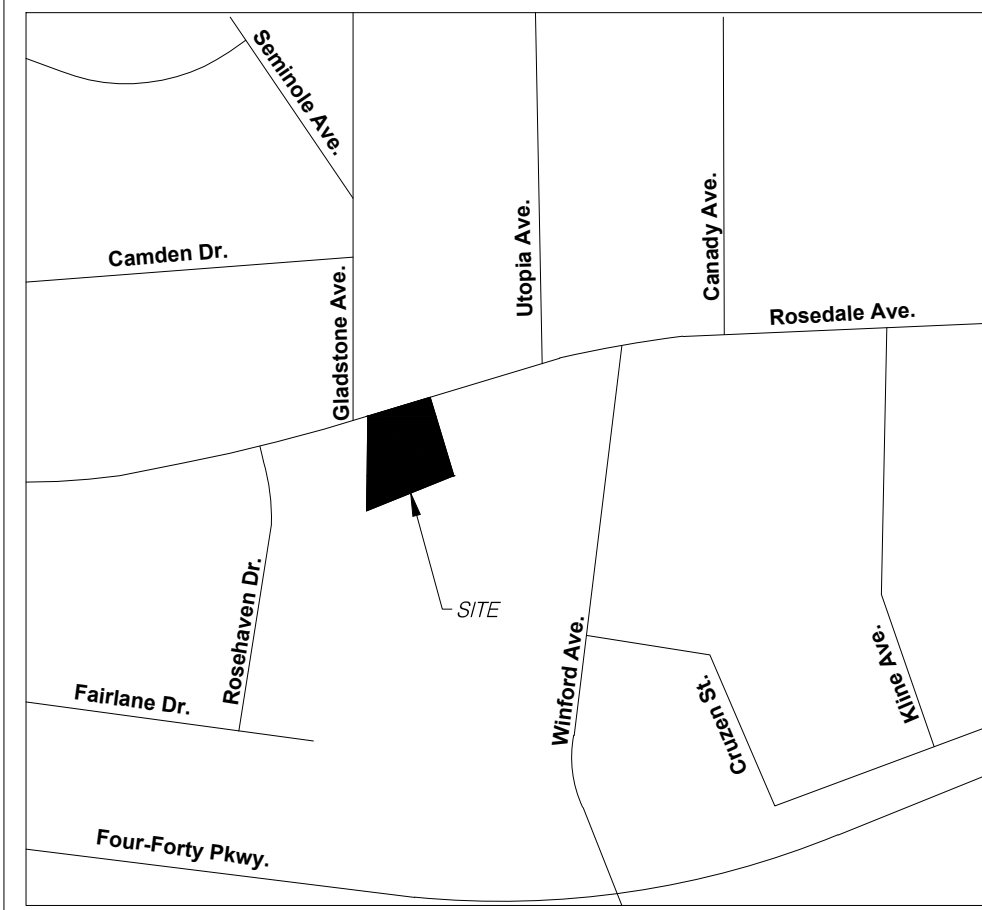
Case No. 2016SP-084-001  
**LANDSCAPE & LAYOUT PLAN**

**SHEET**  
 5 OF 6



PROJECT: 161017-001-001 - SP ZONING AND CONCEPT PLAN FOR ROSEDALE ROAD FINAL SP AND LAYOUT PLAN  
 DATE: 11/06/2017 9:58 AM





VICINITY MAP  
(NOT TO SCALE)



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LANDSCAPE NOTES:

Before the landscape project is started, the chosen landscape contractor will contact the Landscape Architect for a detailed explanation of the landscape plan. All plant material provided shall be nursery grown and shall comply with the American Standard For Nursery Stock: ANSI Z60.1-1998, for size and quality. No substitutions as to type, size, or spacing of plant materials specified on this plan may be made without written approval of owner and Landscape Architect. The quantities indicated on the plant list and plan are provided for the benefit of the contractor, but should not be assumed to always be correct. The landscape contractor assumes all responsibility for his or her own quantity calculations and the liability which pertains to those quantities and to any related contract documents and/or price quotations. The contractor is to verify the exact locations of all existing utilities. Take care to protect utilities that are to remain. Repair any damage according to local standards and codes, and at landscape contractor's expense. Coordinate all construction with appropriate utility company.

BED PREPARATION NOTES:

The objective of the bed preparation and planting notes herein is to develop and preserve landscape material according to our landscape plan. Included in that goal is a standard of achieving optimum health, including growth and appearance of all ornamental landscape plants, while recognizing the unique growing environment presented by each planting location. The chosen landscape contractor must perform percolation tests in areas of planting, especially in areas where plants are to be installed that do not tolerate wet conditions. If it is observed that soils to not percolate well, the landscape architect and owner are to be notified immediately and prior to any planting.

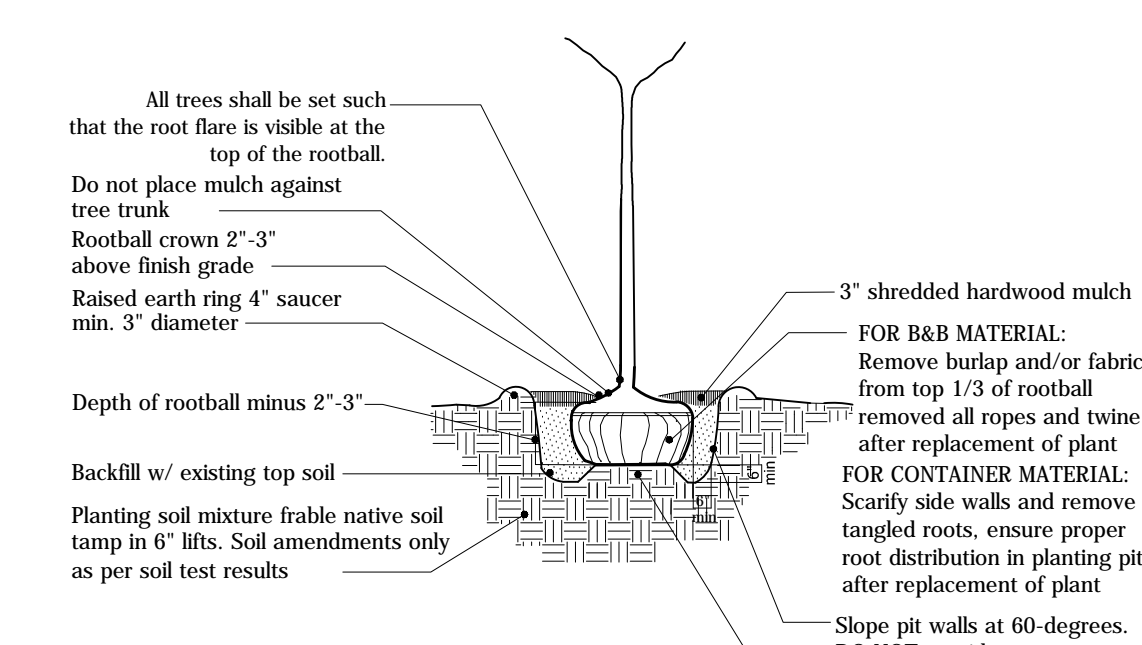
PLANT INSTALLATION:

Soil amendments shall be incorporated in the following manner: the soil surface shall be loosened by rototilling to a minimum depth of 18" (only when outside the drip line of existing trees). All materials over 1" in diameter shall be removed. The manure and organic compost mixture shall be evenly spread over the area at a rate of 12 cubic yards per thousand square feet, and shall be mixed thoroughly into the soil surface to a depth of 6 inches by means of a rototiller, soil mixer or similar apparatus. Adjusting agents (e.g. lime and sulfur) may be applied in conjunction at this time based on the soil tests. When incorporating topsoil, it should be spread over the area to a minimum 4" compacted depth, and mixed lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus. Topsoil shall be taken from the top 18"24" of a well-drained site, and free from clay subsoil, stones, lumps, plants or their roots, sticks, stonks, and seeds, high salt content, and other materials harmful to plant life. Mix soil mixture lightly into the subsoil by means of a rototiller, soil mixer or similar apparatus. Fertilize all plant beds and planters with a complete slow release fertilizer which has a 2-1-2 NPK ratio to stimulate root growth. Fertilize planting beds at a rate that will supply 2-3 lbs. of actual nitrogen per 1000 square feet in the planting bed. Prior to seeding or sodding, fertilizer with a 10-10-10 NPK ratio shall be spread evenly over the surface at the rate of five pounds per thousand square feet. Never shall fertilizers be added to the soil of a new planting bed or lawn area with NPK ratios higher than 10-10-10. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball for all trees and large shrubs. Trees and large shrubs shall be planted so 1/8 of the root ball is above final grade (at least 2" of root ball). All plants are to be installed with mycorrhizae, following manufacturer's directions. The top soil material should taper out around plant crowns, particularly with perennials. Thoroughly water the ground bed cover after installation. Contractor shall mulch planting beds to a depth of 3", not allowing mulch depth over 1" against any tree trunk. Leave some organic matter on the surface.

All disturbed areas outside of planters and planting beds to be seeded unless otherwise noted on landscape plan. Seed type to be approved by Landscape Architect. Turf areas shall be fine graded by contractor and free from stones, lumps, plants or their roots, sticks, stonks, and seeds, high salt content, and other materials harmful to plant life. Seed type to be approved by Landscape Architect. Sod areas shall be rolled smooth and sand added as needed. City Landscape Notes

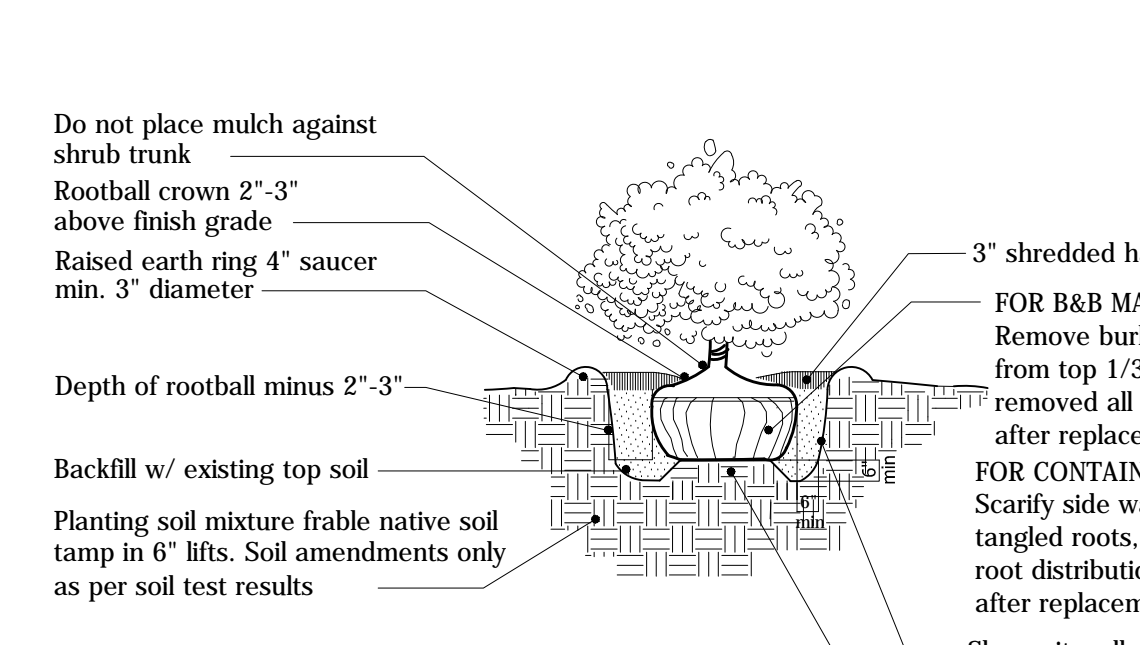
- The Owner shall submit a Certificate of Landscape Compliance to the Building and Codes Department upon completion of the landscape installation.
- Upon submittal of a Certificate of Landscape Compliance contact Building and Codes to schedule a Landscape Inspection.
- No Certificate of Occupancy shall be issued until all landscape materials are in place in substantial compliance with the approved landscape plan.
- All trees and shrubs shall be tagged according to species. Tags shall not be removed until after the Site Inspection for the issuance of a Certificate of Occupancy.
- Any plant material that dies, turns brown or defoliates shall be replaced within one year or by the next growing season, whichever comes first. Other defective landscape material shall be replaced within three months.
- All trees shall be straight trunked, full headed and meet all requirements specified. All trees and shrubs must be container grown or balled and burlapped with sizes indicated on the plant schedule on the approved plans. All plants shall be healthy, vigorous material, free of pest and disease. All rootballs, containers and height to width ratios shall conform to the size standards set forth in the American Standards for Nursery Stock, current edition.
- All required deciduous trees shall be a minimum of 2" (two inches) in caliper at planting.
- All required evergreen trees shall be a minimum of 6" (six feet) in height at planting.
- All required shrubs shall be a minimum of 18" in height at planting.
- Any site or landscape changes (including but not limited to a change in design, a reduction in size or number of plant material, or the relocation of overhead or underground utilities) will require a revised landscape plan to be submitted and approved prior to the landscape installation.
- The Owner acknowledges that landscaping in a dedicated easement does not waive or modify the City rights as the easement holder. The Owner understands that the City, its authorized contractor or applicable private utility may at any time and for any reason perform work within the dedicated easement. The City, its authorized contractor or applicable private utility shall have no liability to the Owner for any damage to the landscaping in the easement when said damage is due to work within the easement. The Owner may be held responsible for the removal of the landscaping to enable work to be done. The Owner shall be solely responsible for any costs incurred in repairing and/or replacing the required landscaping.
- ATTENTION OWNER/INSTALLER: This landscape plan has been designed to meet the minimum requirements of the City Zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; Thus problems may arise with releasing the performance/ maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert+Ball, Land Design and then obtaining approval from either the planning commission or the planning department.

This landscape plan has been designed to meet the minimum requirements of the City Zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; Thus problems may arise with releasing the performance/ maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert+Ball, Land Design and then obtaining approval from either the planning commission or the planning department.



- NOTES:
- REMOVE ALL STRING &/OR WIRE WRAPPED AROUND TRUNK.
  - REMOVE ALL STRAPS, ROPES, WIRE, &/OR STRINGS USED TO LIFT THE ROOTBALL.
  - DELETE EARTH RING FOR INDIVIDUAL PLANTS IN BED AREAS

1 TREE PLANTING



- NOTES:
- DELETE EARTH RING FOR INDIVIDUAL PLANTS IN BED AREAS

2 SHRUB PLANTING DETAIL

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball, Land Design immediately for coordination and field adjustment.

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 2/3 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- NO flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

PLANT SCHEDULE

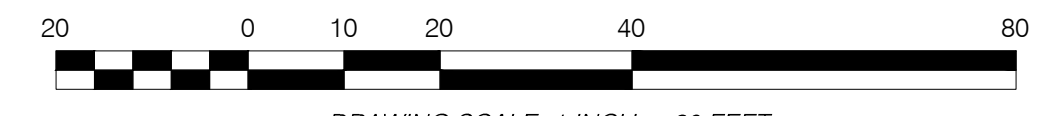
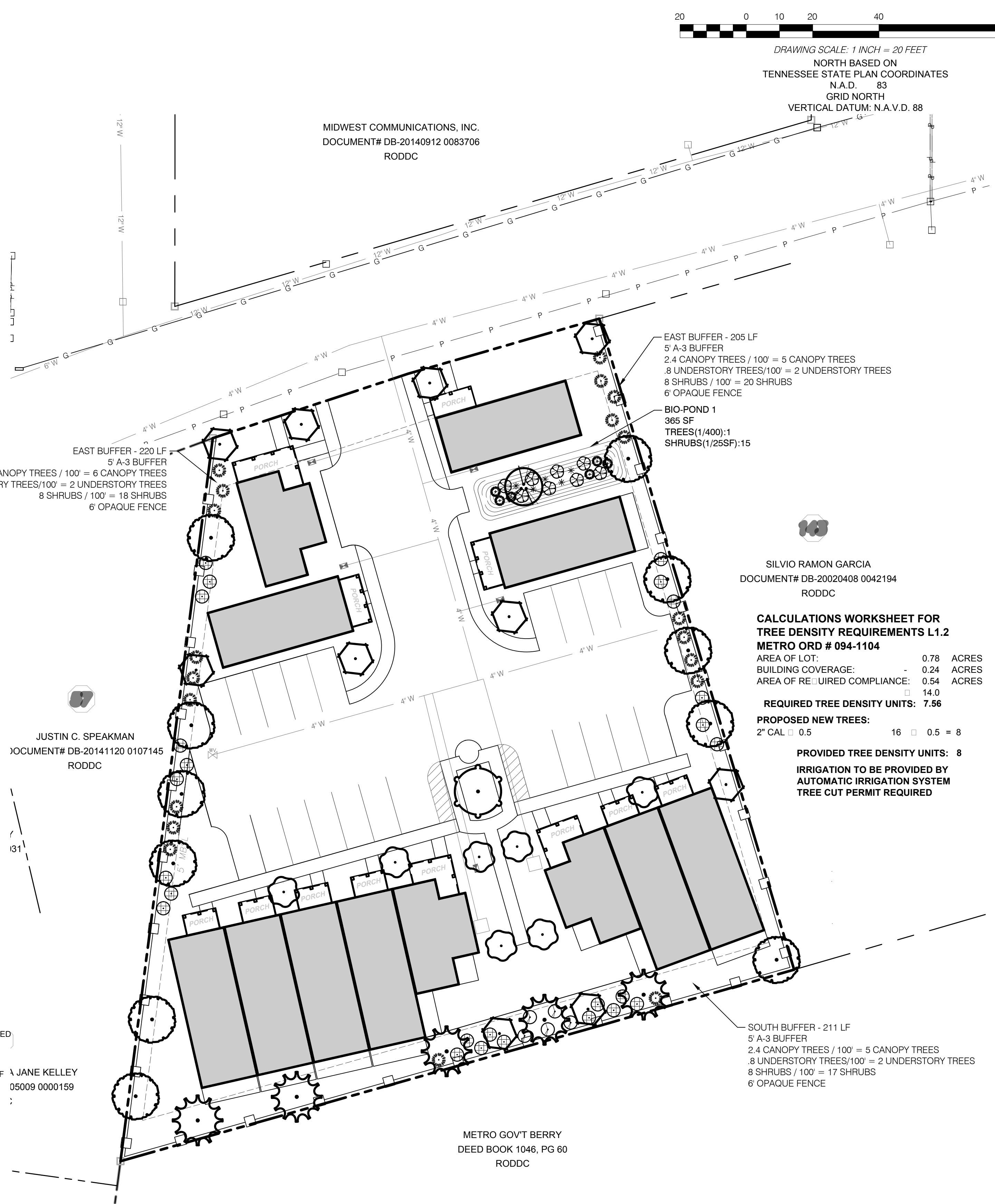
TREES	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	5	Summer Red Red Maple / <i>Acer rubrum</i> 'Summer Red'	B & B	2'Cal	10'-12' HT
	1	'Autumn Brilliance' Serviceberry / <i>Amelanchier x grandiflora</i> 'Autumn Brilliance'	B & B		8'-10' HT
	10	Avondale Redbud / <i>Cercis canadensis</i> 'Avondale'	B & B	2'Cal	8'-10' HT
	7	White Flowering Dogwood / <i>Cornus florida</i> 'White'	B & B	1.5'Cal	10'-12' HT
	1	'Autumn Gold' Ginkgo (Male) / <i>Ginkgo biloba</i> 'Autumn Gold' TM	B & B	2'Cal	12'-14' HT
	11	Tulip Poplar / <i>Liriodendron tulipifera</i>	B & B	2'Cal	12'-14' HT
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	5	Ruby Spice Clethra / <i>Clethra alnifolia</i> 'Ruby Spice'	18" HT		
	20	Lynwood Gold Forsythia / <i>Forsythia x intermedia</i> 'Lynwood Gold'	18" HT		
	8	Henry's Garnet Sweetspire / <i>Itea virginica</i> 'Henry's Garnet'	#3 Container		
	5	Black-eyed Susan / <i>Rutbeckia fulgida</i> sultiviana 'Goldsturm'	#1 Container		
	6	Prairie Dropseed / <i>Sporobolus heterolepis</i>	#1 Container		
	25	Mohawk Viburnum / <i>Viburnum x burkwoodii</i> 'Mohawk'	18" HT		

PLAN NOTES:

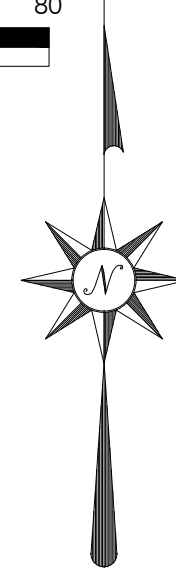
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SEED OR SOD. ANY AREA OF DISTURBANCE DENOTED WITH THE SOD HATCH, SHALL BE REPAIRED WITH SEED.
- A HOSE BIB IS LOCATED WITHIN 200 FEET OF ALL LANDSCAPE MATERIALS OR AUTOMATIC IRRIGATION TO BE PROVIDED.

PLANTING SCHEDULE NOTES

- SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.



DRAWING SCALE: 1 INCH = 20 FEET  
NORTH BASED ON  
TENNESSEE STATE PLAN COORDINATES  
N.A.D. 83  
GRID NORTH  
VERTICAL DATUM: N.A.V.D. 88



MIDWEST COMMUNICATIONS, INC.  
DOCUMENT# DB-20140912 0083706  
RODDC

JUSTIN C. SPEAKMAN  
DOCUMENT# DB-20141120 0107145  
RODDC

METRO GOV'T BERRY  
DEED BOOK 1046, PG 60  
RODDC

SILVIO RAMON GARCIA  
DOCUMENT# DB-20020408 0042194  
RODDC

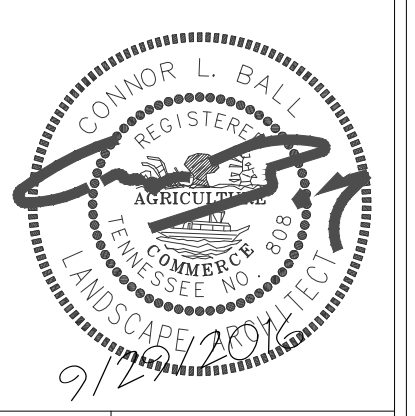
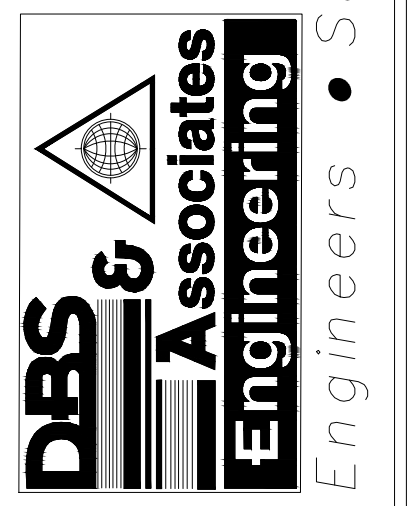
CALCULATIONS WORKSHEET FOR  
TREE DENSITY REQUIREMENTS L1.2  
METRO ORD # 094-1104

AREA OF LOT:	0.78	ACRES
BUILDING COVERAGE:	0.24	ACRES
AREA OF REQUIRED COMPLIANCE:	0.54	ACRES
	14.0	
REQUIRED TREE DENSITY UNITS:	7.56	

PROPOSED NEW TREES:  
2" Cal 0.5 16 0.5 = 8

PROVIDED TREE DENSITY UNITS: 8  
IRRIGATION TO BE PROVIDED BY  
AUTOMATIC IRRIGATION SYSTEM  
TREE CUT PERMIT REQUIRED

95 White Bridge Road  
Suite #250  
Nashville, TN 37205  
Phone (615) 244-2040  
www.dbsengr.com



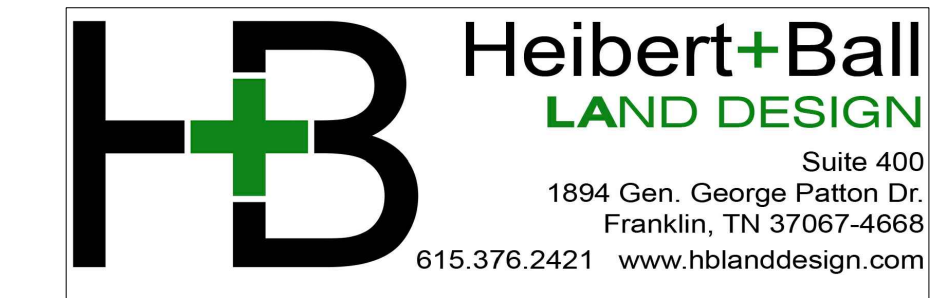
LANDSCAPE LAOIT PLAN

OF THE  
ROSEDALE DEVELOPMENT  
511 ROSEDALE AVENUE  
NASHVILLE, TN 37203  
9/14/2016

REVISIONS

DRAWN BY: A. MARRIS  
CHECKED BY:

SHEET  
1 OF 1



Suite 400  
1894 Gen. George Patton Dr.  
Franklin, TN 37067-4668  
615.376.2421 www.hblanddesign.com