

A Preliminary SP

Binns Farms

Being Parcel 52 on Tax Map 74

Hermitage Davidson County, Tennessee

Case No. 2016SP-046-001

Stormwater Notes

- This site is responsible for water quality and water quantity.
- Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
- This project will disturb more than 1 acre, therefore, a NOI will be submitted to TDEC during final SP process.
- This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate stormwater regulations at the time of final application.
- The buffer along any edge of his employees will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.
- Topographic data from Metro G.I.S.
- All slopes to be no greater than 3:1 unless approved by Geotechnical Engineer and Metro Stormwater.

Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cutfill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 10-10-10 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section TCP-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during the preconstruction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.
- The developer's final construction drawings shall comply with the design standards established by the Department of Public Works. Final design may vary based on field conditions.
- All Roads within the development shall be private.

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12W/1000 S.F. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4" minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or constructed in at least 5' from the materials. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within an easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

Water and Sewer Notes

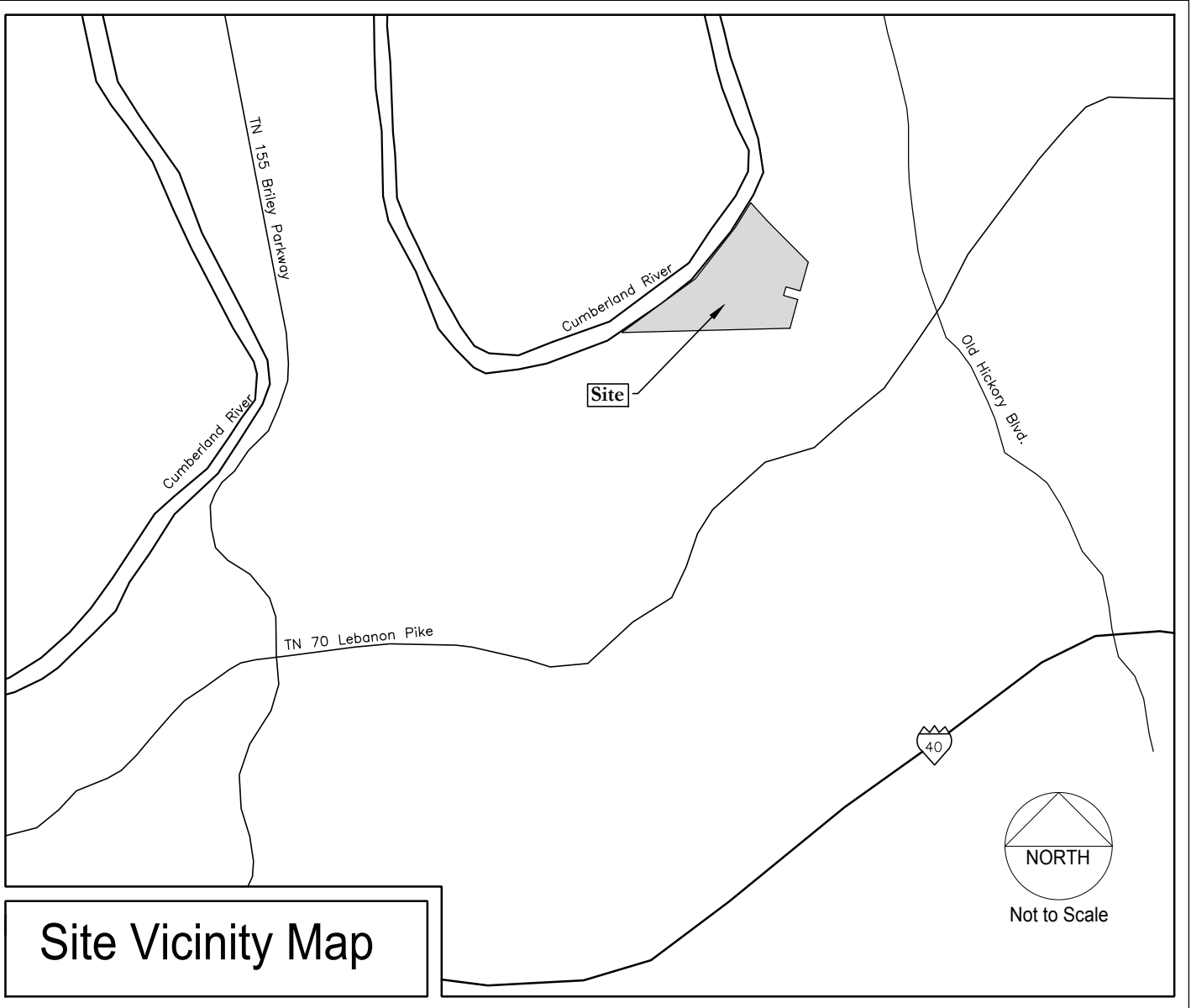
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbd) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction to serve clubhouse and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.
- After completion of the sanitary sewer, the developer is responsible for the televising of the lines prior to final acceptance. The videotaping must be coordinated with the Metro Water Services inspection section. All costs will be borne by the developer.
- Upon completion of construction of water and/or sewer, the engineer shall provide the Metro Water Services department with a complete set of as-built plans on most erasable mylars in reverse and in digital (.dwg) format. Sewer plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include actual field angles between lines, all actual service lines and tee locations, the distance of the end of the service line to property corners and lines and/or station and offset from sewer centerline to end of service line, the depth to the top of the end of the service line, and shall reflect all alignment and grade changes. Water line plans shall be sealed by a licensed professional engineer or a registered land surveyor and shall include offset distance from the roadway centerline, or property line right of way, line depth, locations of hydrants, valves, reducers, tees and pressure reducing devices where applicable, all drawings must be completed and submitted prior to acceptance of the sewers or water mains into the public system and any connections being made.
- All water mains must be located within the paved area including all blow-off assemblies.
- Public water and sewer construction plans must be submitted and approved prior to Final SP approval. These approved construction plans must match the Final Site Plan / SP plans. The required capacity fees must also be paid prior to Final Site Plan / SP approval.

Fire Marshal

Fire-flow shall meet the requirements of the International Fire Code - 2006 edition - B105.1 [2006 IFC B105.1 One- and two-family dwellings].
The minimum fire-flow for one- and two-family dwellings having a fire-flow calculation area which does not exceed 3,600 square feet (344.5 m²) shall be 1,000 gallons per minute (3785.4 L/min) for a duration of 2 hours.]

Standard SP Notes

- The purpose of this plan is to receive preliminary approval for a SP district to permit up to 500 single-family lots.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-640 Approved by the Metropolitan Department of Water Services.
- This property does lie within a flood hazard area as identified by FEMA ON MAP 47037C0234F", Dated: April 20, 2001.
- All public sidewalks are to be constructed in conformance with metro public works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" CMP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be curbside pickup (Metro) or private pickup.
- The development of this project shall comply with the requirements of the Adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures).
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the RM7.5 zoning district as of the date of the applicable request or application.
- Landscaping shall meet the requirements of the subdivision regulations and the metro zoning codes based upon MS7.5 base zoning district.
- All public development within the boundaries of this plan shall meet the requirements of the Americans with Disabilities Act and The Fair Housing Act.
- All street names must be approved by metro public works prior to platting.
- The final site plan shall depict the required public sidewalks, any required grass strip or frontage zone and the location of all existing and proposed vertical obstructions within the required sidewalk and grass strip or frontage zone. Prior to the issuance of use and occupancy permits, existing vertical obstructions shall be relocated outside of the required sidewalk. Vertical obstructions are only permitted within the required grass strip or frontage zone.
- Garage doors shall be recessed at least five feet from the front façade. For measurement purposes, a porch shall not be considered a façade.
- Lots that are less than fifty feet wide at the street shall provide some form of shared access.
- If approved by Metro Metro Public Works and Metro Planning, the extension of Hickory Hill Lane will be constructed as a conventional paved section (no curbs and gutters) with a bike/walk lane. This cross section will be less impactful to the homes at the terminus of the current street and will seamlessly connect to the current roadway section. This roadway will also create and enhance the open space/park space entry and its ultimate connections to the Metro Greenway and the Lytle Park.
- In conjunction with approval of the proposed conventional roadway section, Hickory Hill Lane will be resurfaced from Lebanon Road to the site. Traffic calming will also be added in the form of painted speed limits on the roadway, neighborhood calming signs, and 2 flashing digital radar signs. In addition, existing roadside ditches and driveway culverts will be cleaned.
- Funds will be provided for the installation of stop signs within the community as recommended by the community and approved by Metro Traffic.



Architectural Standards

- Homes shall be limited to a maximum height of 35 feet.
- No vinyl siding is allowed.
- All driveways will be concrete.
- Building style and architecture will be consistent throughout the development yet provide diversity in colors and texture.

| DEVELOPMENT SUMMARY | |
|--|--|
| Property Information | |
| 2040 Hickory Hill Lane Hermitage, TN 37076 Map 74 Parcel 52 285.03 Acres | |
| Council District 14 (Kevin Rhoten) | |
| Owner of Record | |
| Ole South / Craighead Joint Venture 421 East Iris Dr, Suite 300 Nashville TN 37204 Phone: 615-478-9144 Email: bhstettler@ndilc.com | |
| Developer | |
| Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Roy Dale, PE Phone: 615-297-5166 Email: roy@daleandassociates.net | |
| Civil Engineer | |
| Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Roy Dale, PE Phone: 615-297-5166 Email: roy@daleandassociates.net | |

| SPECIFIC PLAN DEVELOPMENT SUMMARY | | |
|-----------------------------------|--------------------|---|
| Use | Single Family | |
| Property zoning: AR2A | Surrounding Zoning | RS10, RM6 |
| Site Area | | 285.03 Acres |
| Density | | 500 single family lots / 1.75 units/oc |
| Lot Size | | Average lot size 6000 sf (min. 4000 sf) |
| Front Yard Setback | | 20 Ft. |
| Side Street Setback | | 10 Ft. |
| Side Yard Setback | | 5 Ft. |
| Rear Yard Setback | | 20 Ft. |
| Blgd Height standards | | 2 stories max / 35 ft. |
| Lot Coverage | | Max lot coverage = 60% |
| Total area in lots | | 78.6 ac (28%) |
| Open Space | | |
| | Active Open Space | 44.3 ac (16%) |
| | Passive Open Space | 123.1 ac (43%) |
| Area in Right-of-Way | | 27.5 ac (10%) |
| Area Reserved for Stormwater | | 6.5 ac (2%) |
| School dedication | | 5.0 ac (2%) |

GENERAL PLAN CONSISTENCY NOTE

The 285 acre Binns property is located in the Donelson/Hermitage/Old Hickory Community Plan. The property is listed to be within the T2 RM (Rural Neighborhood Maintenance) Policy. The T2 Rural Transect Policy is inappropriately applied to this property as this policy should not be applied to one parcel that is surrounded by a T3 Neighborhood Maintenance Policy in a clearly Suburban part of Davidson County. Furthermore T2 Rural is described in the CCM as secluded natural countryside with sensitive and unique natural characteristics with limited and low intensity commercial uses, none of which describes the Binns and other nearby properties.

The 285 acre site is bordered by small to moderate size single family lots (RS10) and multifamily (RM6) and is also within 2000 feet of intense retail and commercial uses along Lebanon Pike. In addition, the 285 acre property is obviously intended for development as it is served by 6 roadway stubs, including 2- 60 foot wide rights of way, and is also served with public water and sanitary sewer.

Although the property abuts the Cumberland River, the land is situated well above the 100 year floodplain as less than 5% (12 acres) of the property is within the floodplain. Additionally, other than the bluff along the Cumberland River, there are no steep slopes on the property (slopes generally range from 2% to 10%). With this application for a SP Zoning, a request is included to correct/change the current Land Use Policy to T3NM (Transect Three Neighborhood Maintenance).

Although this site is obviously in a Suburban area and has the proper infrastructure that was placed for its residential development, developing at higher densities than the surrounding single family homes would place a burden on the community including a nearby school. The fact the property does touch the Cumberland River and a future greenway corridor and also abuts property purchased by Metro for an Urban Park (Lytle Property and Former Ravenwood Golf Club) does imply that density on the Binns property transition to the lower end of the suburban policy. For these reasons a density of less than 1.75 lots per acre (half of the density of the surrounding property) is being requested. To supplement expansion of the greenway system, in addition to the required 75 foot wide buffer along the Cumberland River, an additional 100 foot wide greenway easement shall be granted not only to insure greater flexibility on the greenway location, but to also insure that no development encroaches the greenway or view shed of the Cumberland River. A 75 foot wide buffer is also proposed along the perimeter of the property. Additionally, the majority of mature trees on the site will be protected as more than 50% of this site will undisturbed.

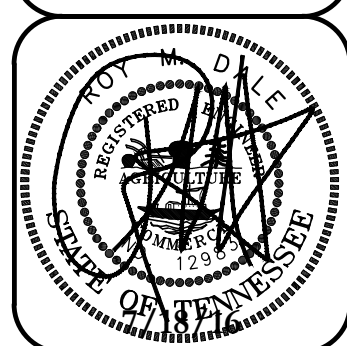
Finally, 5 acres of the property is proposed to be donated to the Elementary School that abuts the site, for any future expansion/renovation.

METRO GREENWAYS

- Extend the greenway easement along the Cumberland to Bonnamere Drive, and construct greenway per Metro Greenway standards from Bonnamere Drive to the Stones River Greenway. Provide trail head with at least five parking spaces at Bonnamere Drive.

Sheet Schedule

- C0.0 Cover Sheet
- C1.0 Existing Conditions
- C2.0 Proposed Overall Layout
- C3.0 Detailed Layout (Sheet 1)
- C3.1 Detailed Layout (Sheet 2)
- C3.2 Detailed Layout (Sheet 3)
- C3.3 Detailed Layout (Sheet 4)
- C3.4 Detailed Layout (Sheet 5)
- C3.5 Detailed Layout (Sheet 6)
- C4.0 Landscape



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2016SP-046-001

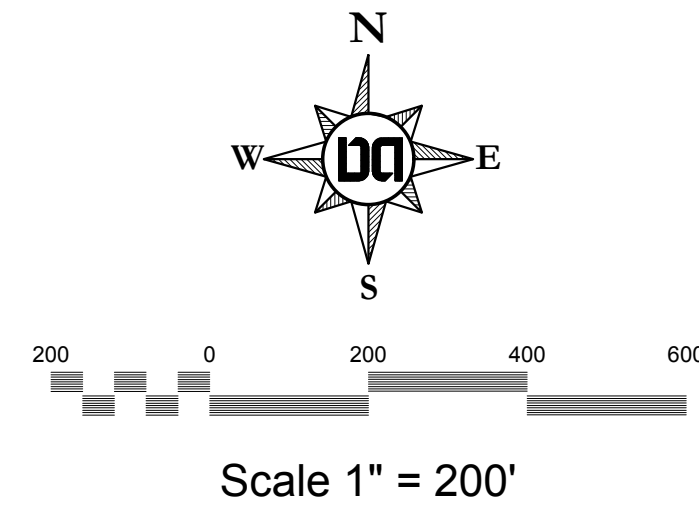


Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

516 Heather Place
Nashville, TN 37204
(615) 297-5166

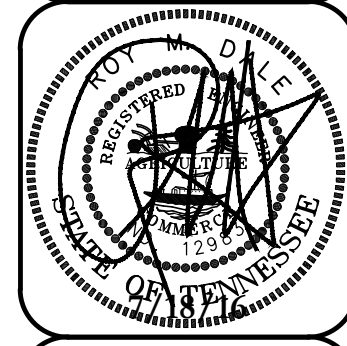
D&A Project #15329
Binns Farm
C0.0
Sheet 1 of 10

Notes & Project Standards



Drawing Date
March 22, 2016
Revisions:
Planning Comments
7/5/2016
Planning Comments
7/12/2016
Council Plan 4/18/17

A Preliminary SP
Binns Farms
Being Parcel 52 on Tax Map 74
Nashville County, Tennessee



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Dale & Associates
DALE & ASSOCIATES, INC.
1111 11th Avenue, Suite 100
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615.259.3444

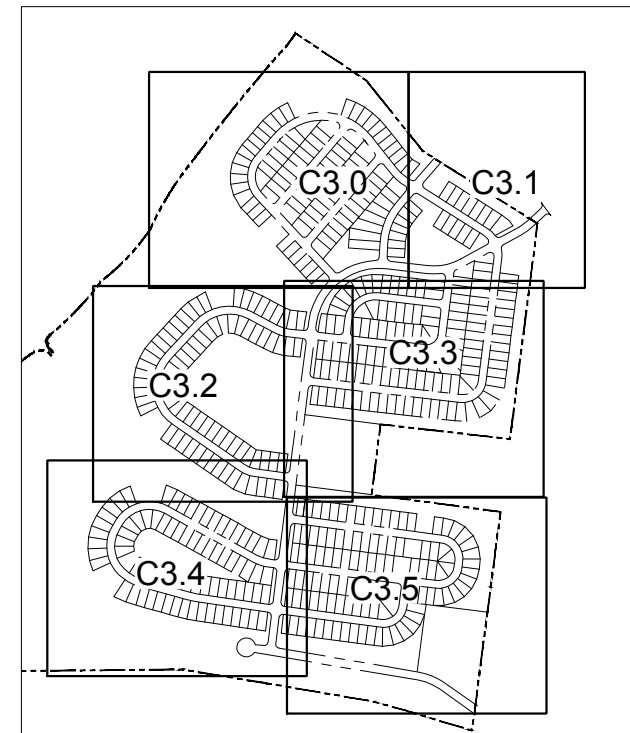
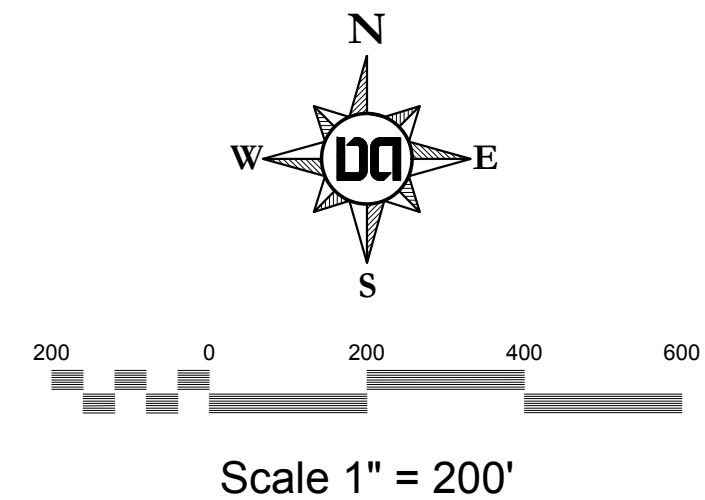
Engineering
Surveying
Land Planning & Zoning

D&A Project #15329
Binns Farm
C1.0
Sheet 2 of 10

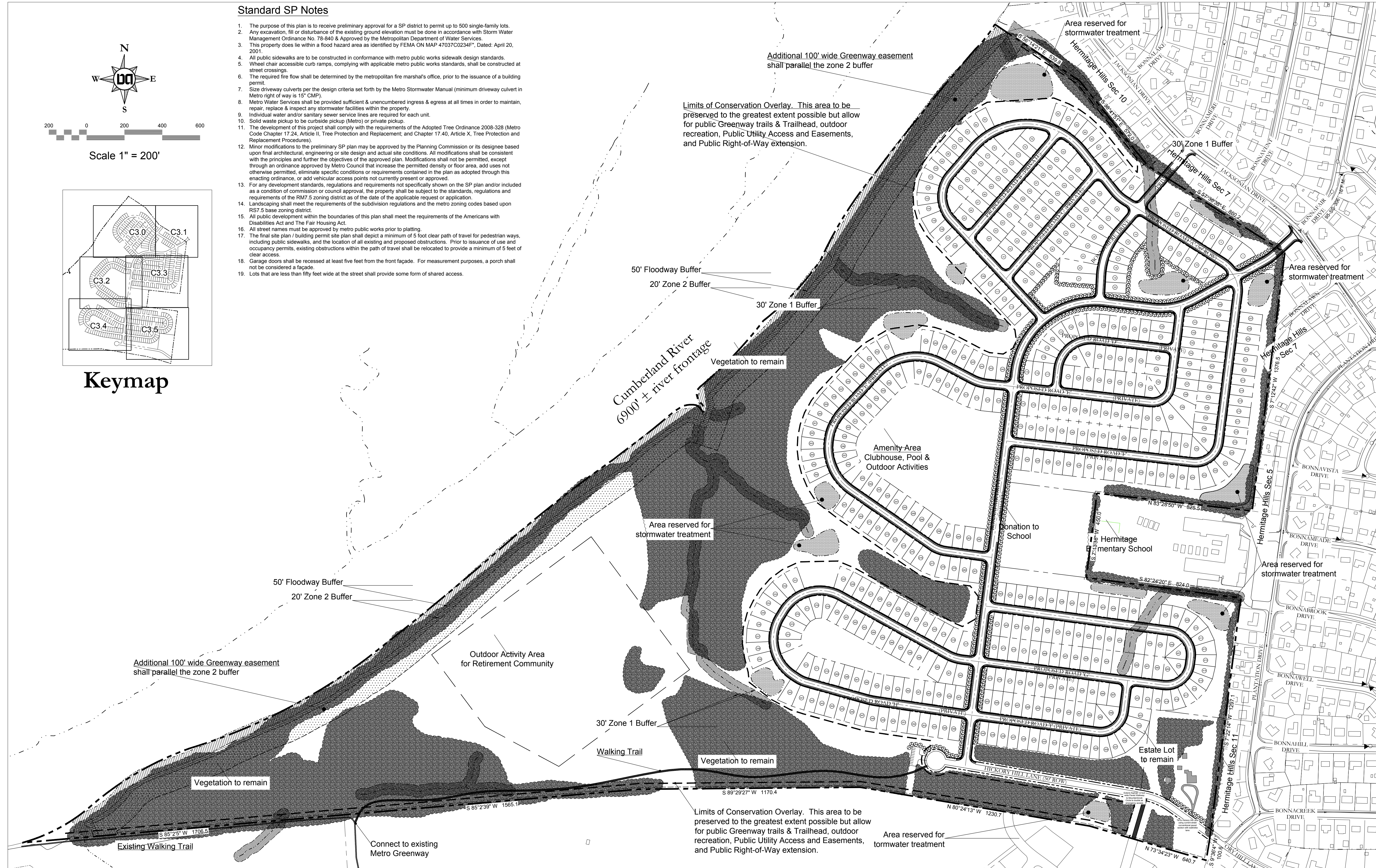
Existing Conditions

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- This property does lie within a flood hazard area as identified by FEMA ON MAP 47037C0234F, Dated: April 20, 2001.
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- Wheel chair accessible curb ramps, complying with applicable metro public works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the metropolitan fire marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" CMP).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required for each unit.
- Solid waste pickup to be curbside pickup (Metro) or private pickup.
- The development of this project shall comply with the requirements of the Adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, Article X, Tree Protection and Replacement Procedures).
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- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the RM7.5 zoning district as of the date of the applicable request or application.
- Landscaping shall meet the requirements of the subdivision regulations and the metro zoning codes based upon RS7.5 base zoning district.
- All public development within the boundaries of this plan shall meet the requirements of the Americans with Disabilities Act and The Fair Housing Act.
- All street names must be approved by metro public works prior to platting.
- The final site plan / building permit site plan shall depict a minimum of 5 foot clear path of travel for pedestrian ways, including public sidewalks, and the location of all existing and proposed obstructions. Prior to issuance of use and occupancy permits, existing obstructions within the path of travel shall be relocated to provide a minimum of 5 feet of clear access.
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- Lots that are less than fifty feet wide at the street shall provide some form of shared access.

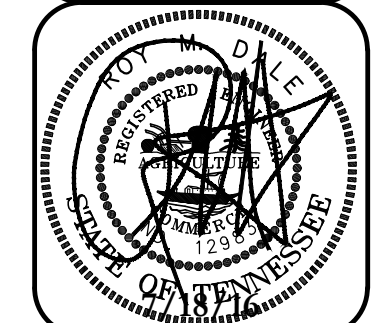


Keymap

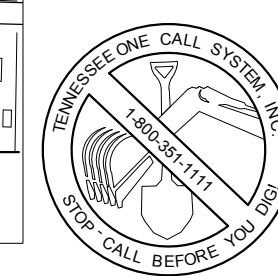


Drawing Date
March 22, 2016
Revisions:
Planning Comments
7/5/2016
Planning Comments
7/12/2016
Council Plan 4/18/17

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- Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
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Water and Sewer Notes (cont.)

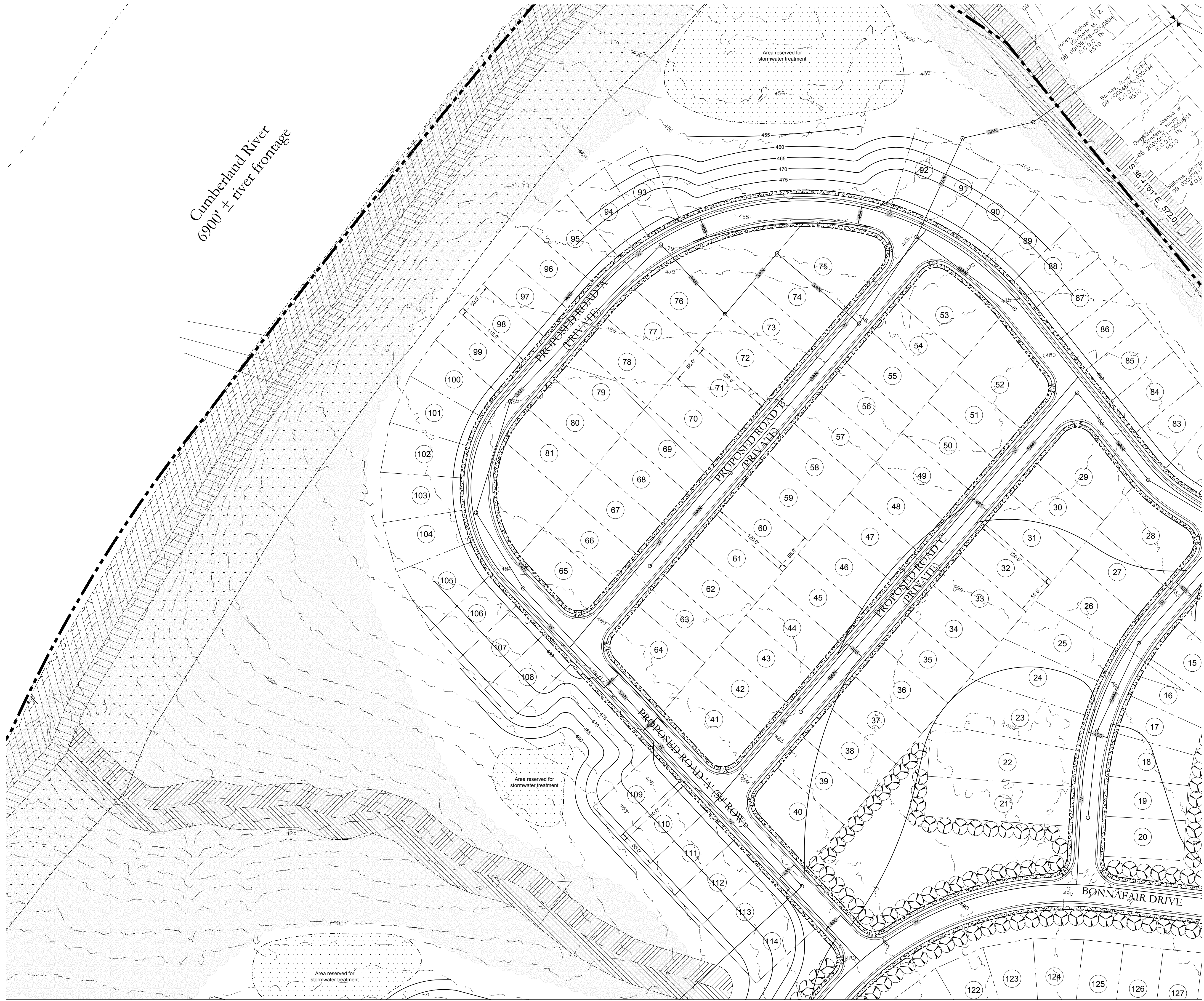
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| SPECIFIC PLAN DEVELOPMENT SUMMARY | | |
|-----------------------------------|---|---------------|
| Use | Surrounding Zoning | Single Family |
| Property zoning: AR2A | RS10, RM6 | |
| Site Area | 285.03 Acres | |
| Density | 500 single family lots / 1.75 units/ac | |
| Lot Size | Average lot size 6000 sf (min. 4000 sf) | |
| Front Yard Setback | 20 Ft. | |
| Side Street Setback | 10 Ft. | |
| Side Yard Setback | 5 Ft. | |
| Rear Yard Setback | 20 Ft. | |
| Bldg Height standards | 2 stories max / 35 ft. | |
| Lot Coverage | Max lot coverage = 60% | |
| Total area in lots | 78.6 ac (28%) | |
| Open Space | | |
| Active Open Space | 44.3 ac (16%) | |
| Passive Open Space | 123.1 ac (43%) | |
| Area in Right-of-Way | 27.9 ac (10%) | |
| Area Reserved for Stormwater | 4.5 ac (2%) | |
| School dedication | 5.0 ac (2%) | |

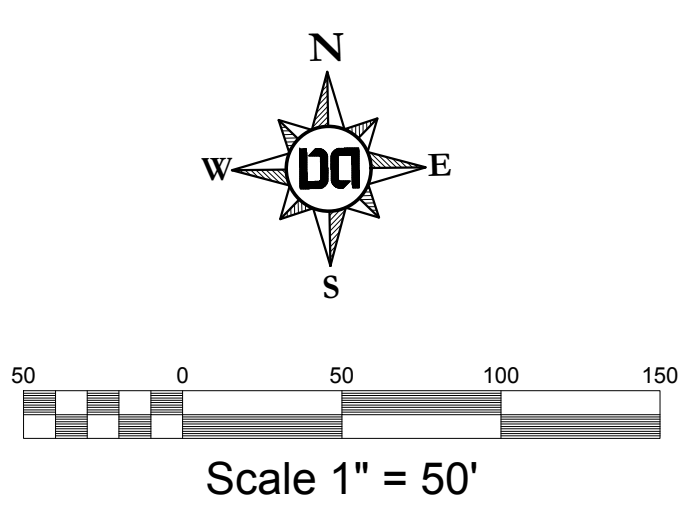
Proposed Overall Layout

Dale & Associates
510 Hickory Hill Lane
Nashville, Tennessee 37204
(615) 255-5555
Civil Engineering
Land Planning & Zoning

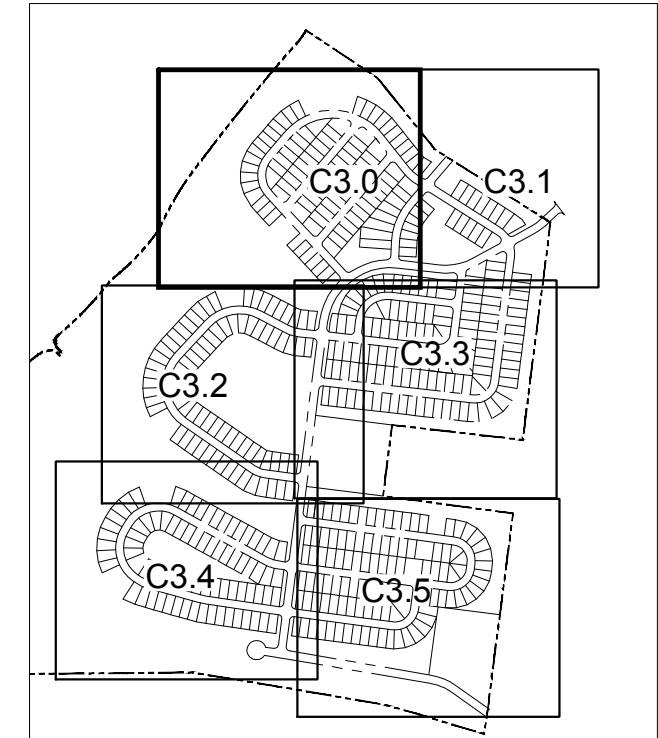
D&A Project #15329
Binns Farm
C2.0
Sheet 3 of 10



Cumberland River
6900' ± river frontage



| DEVELOPMENT SUMMARY | |
|---|--|
| Property Information | |
| 2040 Hickory Hill Lane Hermitage, TN 37076 Map 74 Parcel 52 285.03 Acres | |
| Council District 14 (Kevin Rhoten) | |
| Owner of Record | |
| Dispayne, Linda B. & Binns, Mary K. & Binns, Tom D. Trust 2511 Miami Ave Nashville, TN 37214 Email: Phone: | |
| Developer | |
| Ole South / Craighead Joint Venture 421 East Iris Dr. Suite 300 Nashville TN 37204 Phone: 615-478-9144 Email: bhostetter@ndilc.com | |
| Civil Engineer | |
| Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Adam Seger, PE Phone: 615-297-5168 Email: adam@daleandassociates.net | |



Keymap

Stormwater Notes

1. This site is responsible for water quality and water quantity.
2. Storm sewer system on this plan is shown schematically. Final design will be provided during the final SP process and will meet the requirements of the stormwater management manual.
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6. Topographic data from Metro G.I.S.
7. All slopes to be no greater than 3:1 unless approved by Geotechnical Engineer and Metro Stormwater.

Drawing Date
March 22, 2016

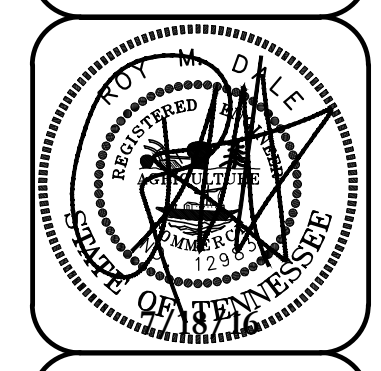
Revisions:
Planning Comments
7/5/2016
Planning Comments
7/12/2016

Council Plan 4/18/17

A Preliminary SP

Binns Farms

Being Parcel 52 on Tax Map 74
Nashville County, Tennessee



PERMITS:
Case No.
2016SP-046-001

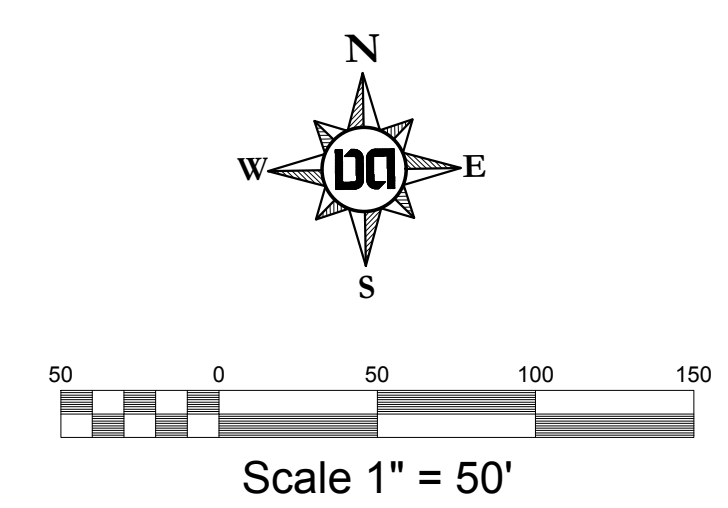


Dale & Associates
Civil Engineering
Planning & Zoning

516 Heather Place
Nashville, Tennessee 37204
(615) 297-5168

D&A Project #15329
Binns Farm
C3.0
Sheet 4 of 10

Detailed Layout (Sheet 1)



DEVELOPMENT SUMMARY

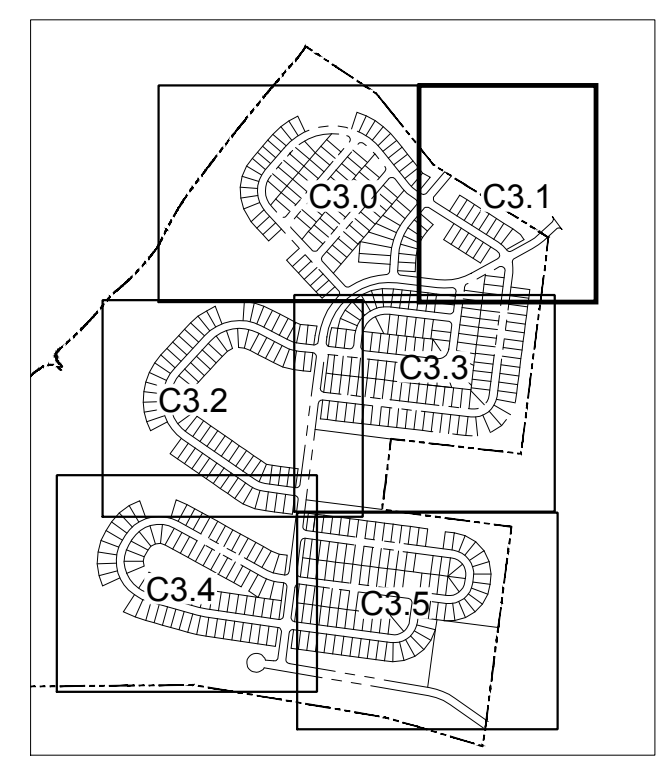
Property Information
 2040 Hickory Hill Lane
 Hermitage, TN 37076
 Map 74 Parcel 52
 285.03 Acres

Council District 14 (Kevin Rhoten)

Owner of Record
 Dispayne, Linda B. &
 Binns, Mary K. & Binns, Tom D. Trust
 2511 Miami Ave
 Nashville, TN 37214
 Email:
 Phone:

Developer
 Ole South / Craighead Joint Venture
 421 East Iris Dr. Suite 300
 Nashville, TN 37204
 Phone: 615-479-9144
 Email: bhostetler@hndlc.com

Civil Engineer
 Dale and Associates
 516 Heather Place
 Nashville, Tennessee 37204
 Contact: Adam Seger, PE
 Phone: 615-297-5166
 Email: adam@daleandassociates.net



Keymap

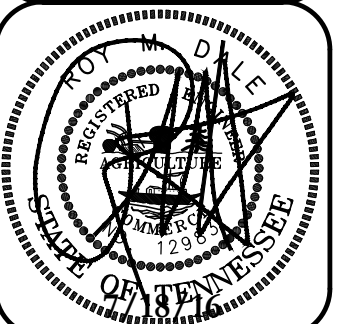
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Drawing Date
 March 22, 2016

Revisions:
 Planning Comments
 7/5/2016
 Planning Comments
 7/12/2016

Council Plan 4/18/17

A Preliminary SP
Binns Farms
 Being Parcel 52 on Tax Map 74
 Nashville County, Tennessee

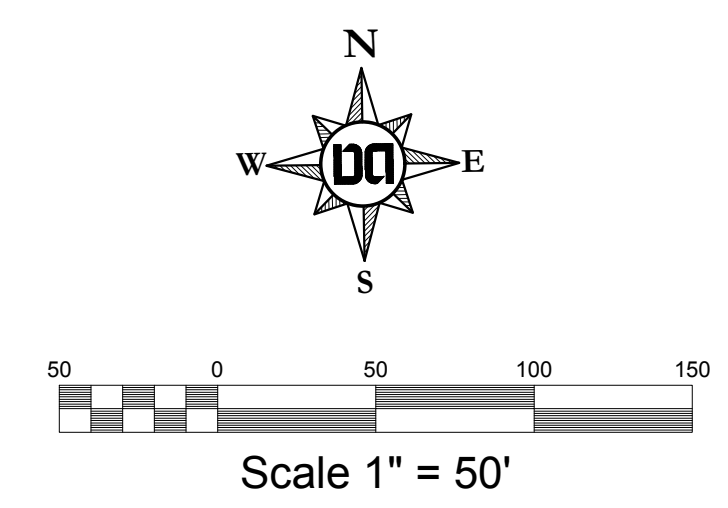


PERMITS:
 Case No.
 2016SP-046-001

Dale & Associates
 Consulting Civil Engineering
 Land Planning, Zoning
 516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166

Detailed Layout (Sheet 2)

D&A Project #15329
 Binns Farm
C3.1
 Sheet 5 of 10



DEVELOPMENT SUMMARY

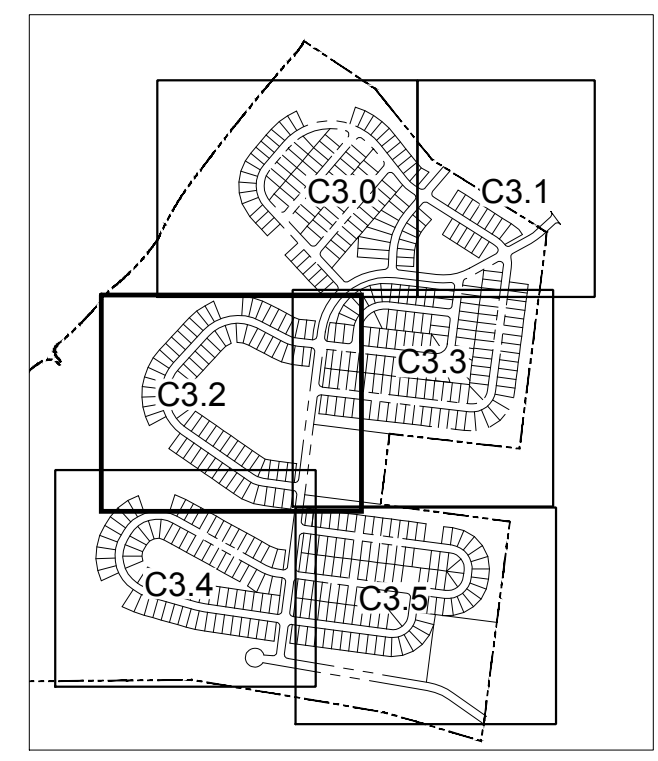
Property Information
 2040 Hickory Hill Lane
 Hermitage, TN 37076
 Map 74 Parcel 52
 285.03 Acres

Council District 14 (Kevin Rhoten)

Owner of Record
 Disspayne, Linda B. &
 Binns, Mary K. & Binns, Tom D. Trust
 2511 Miami Ave
 Nashville, TN 37214
 Email:
 Phone:

Developer
 Ole South / Craighead Joint Venture
 421 East Iris Dr. Suite 300
 Nashville, TN 37204
 Phone: 615-478-9144
 Email: bhostetter@hndllc.com

Civil Engineer
 Dale and Associates
 516 Heather Place
 Nashville, Tennessee 37204
 Contact: Adam Seger, PE
 Phone: 615-297-5166
 Email: adam@daleandassociates.net



Keymap

Stormwater Notes

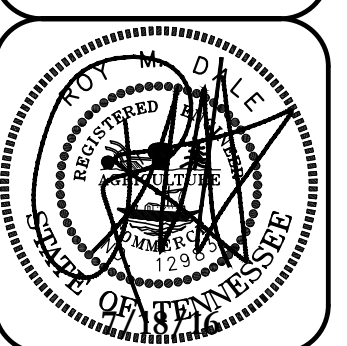
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Drawing Date
 March 22, 2016

Revisions:
 Planning Comments
 7/5/2016
 Planning Comments
 7/12/2016

Council Plan 4/18/17

A Preliminary SP
Binns Farms
 Being Parcel 52 on Tax Map 74
 Nashville County, Tennessee



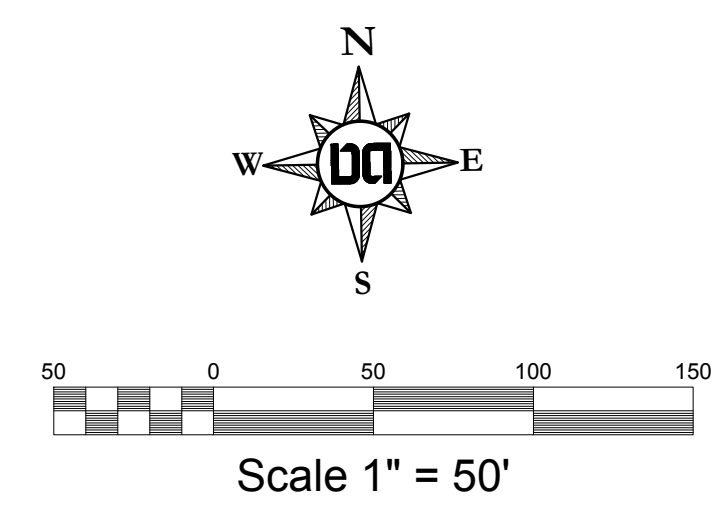
PERMITS:
 Case No.
 2016SP-046-001

Dale & Associates
 Consulting Civil Engineering
 and Planning Firm

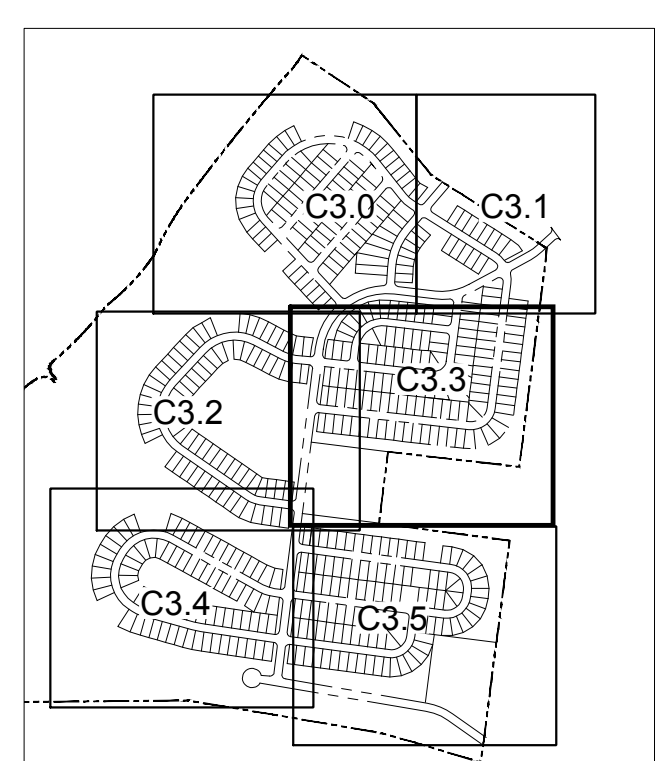
516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166

Detailed Layout (Sheet 3)

D&A Project #15329
 Binns Farm
C3.2
 Sheet 6 of 10



| DEVELOPMENT SUMMARY | |
|---|--|
| Property Information | |
| 2040 Hickory Hill Lane Hermitage, TN 37076 Map 74 Parcel 52 285.03 Acres | |
| Council District 14 (Kevin Rhoten) | |
| Owner of Record | |
| Dissapayne, Linda B. & Binns, Mary K. & Binns, Tom D. Trust 2511 Miami Ave Nashville, TN 37214 Email: Phone: | |
| Developer | |
| Ole South / Craighead Joint Venture 421 East Iris Dr. Suite 300 Nashville TN, 37204 Phone: 615-478-9144 Email: bhoestetter@hndllc.com | |
| Civil Engineer | |
| Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Adam Seger, PE Phone: 615-297-5166 Email: adam@daleandassociates.net | |



Keymap

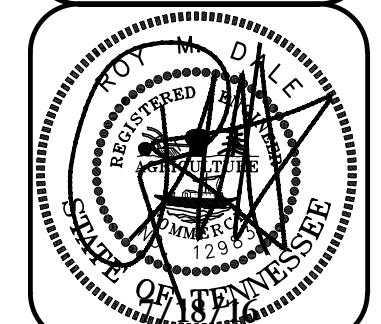
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Drawing Date
March 22, 2016
Revisions:
Planning Comments
7/5/2016
Planning Comments
7/12/2016
Council Plan 4/18/17

Binns Farms

A Preliminary SP
Being Parcel 52 on Tax Map 74
Nashville County, Tennessee

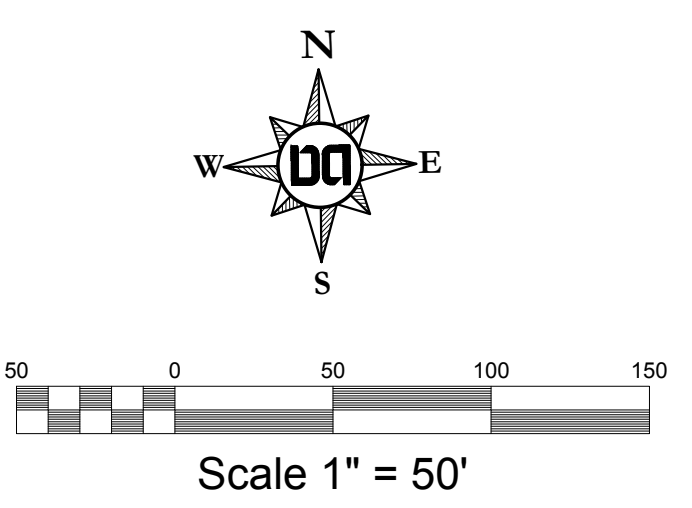


PERMITS:
Case No:
2016SP-046-001

Dale & Associates
Civil Engineering
Land Planning & Zoning
516 Heather Place
Nashville, Tennessee 37204
(615) 297-5166

Detailed Layout (Sheet 4)

D&A Project #15329
Binns Farm
C3.3
Sheet 7 of 10



DEVELOPMENT SUMMARY

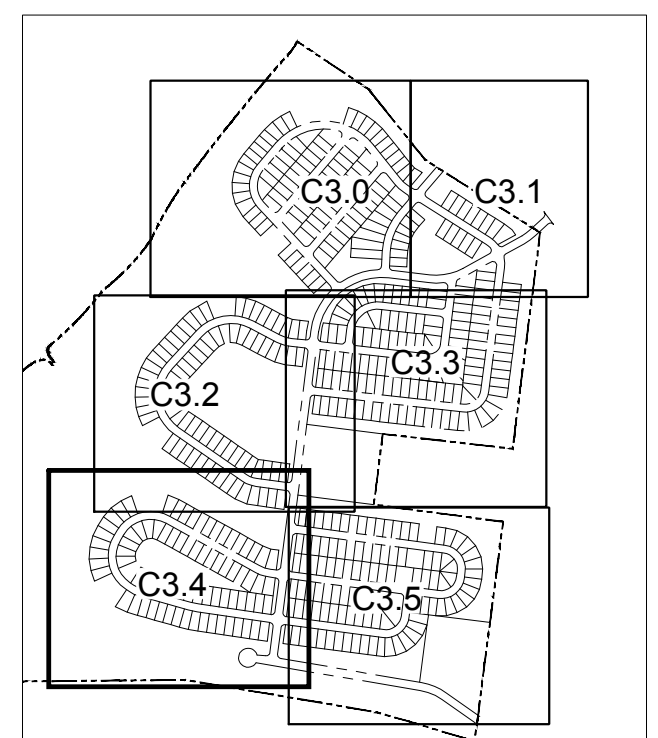
Property Information
 2040 Hickory Hill Lane
 Hermitage, TN 37076
 Map 74 Parcel 52
 285.03 Acres

Council District 14 (Kevin Rhoten)

Owner of Record
 Disspayne, Linda B. &
 Binns, Mary K. & Binns, Tom D. Trust
 2511 Miami Ave
 Nashville, TN 37214
 Email:
 Phone:

Developer
 Ole South / Craighead Joint Venture
 421 East Iris Dr., Suite 300
 Nashville TN, 37204
 Phone: 615-478-9144
 Email: bhosstetter@indlic.com

Civil Engineer
 Dale and Associates
 516 Heather Place
 Nashville, Tennessee 37204
 Contact: Adam Seger, PE
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Keymap

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Drawing Date
 08/22/2016

Revisions:
 Planning Comments
 7/5/2016
 Planning Comments
 7/12/2016

Council Plan 4/18/17

A Preliminary SP

Binns Farms

Being Parcel 52 on Tax Map 74
 Nashville County, Tennessee



PERMITS:
 Case No.
 2016SP-046-001



Dale & Associates

Civil Engineering
 Land Planning & Surveying

516 Heather Place
 Nashville, Tennessee 37204
 615-297-5166

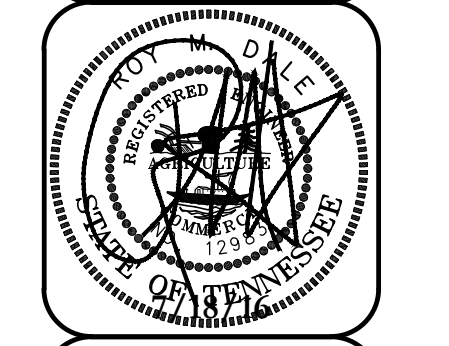
Detailed Layout (Sheet 5)

D&A Project #15329
 Binns Farm
C3.4
 Sheet 8 of 10

Metro Gov't
 DB 2017/01/01
 S 89°29'27" W 1170.4
 RS10

Ravenwood Country Club
 DB 2008/03/05-09/10/50
 R.O.D.C. TN
 RM6

A Preliminary SP
Binns Farms
Being Parcel 52 on Tax Map 74
Nashville County, Tennessee



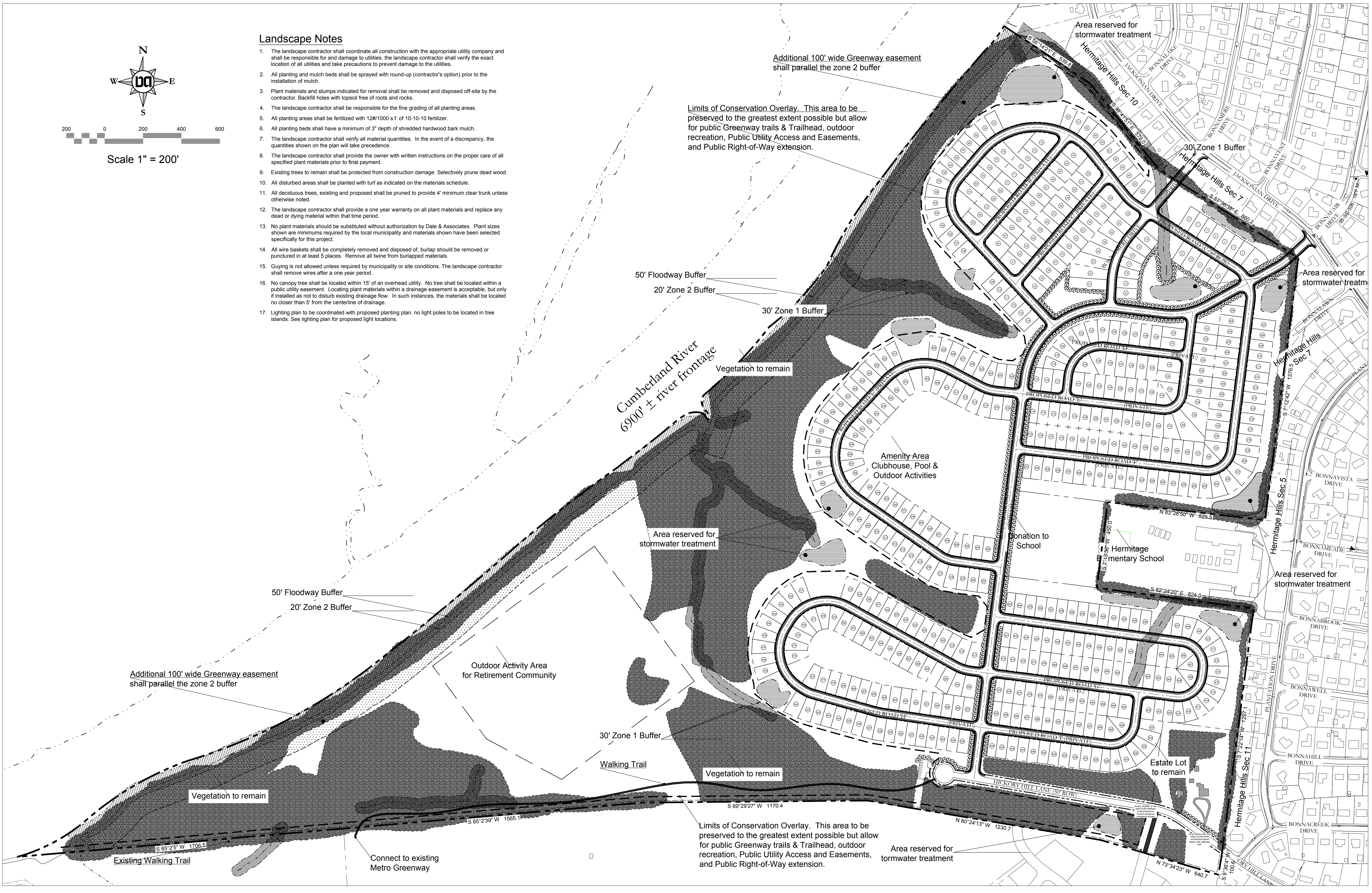
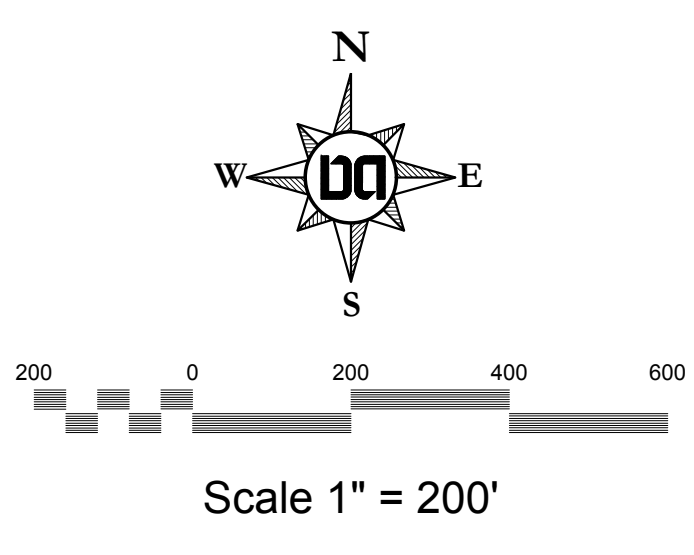
PERMITS:
Case No.
2016SP-046-001



Dale & Associates
Civil Engineering
Landscape Architecture
Site Planning & Design
521 Hickory Hill
Nashville, Tennessee 37204
(615) 297-5300

Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of. Burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.



Amenity and Landscape Plan

| | |
|---|--|
| <p align="center"><u>RECORDING INFORMATION</u></p> | <p>STATE OF _____) COUNTY OF _____)</p> <p>The actual consideration for this transfer or value of property transferred (whichever is greater) is \$7,250,000.00.</p> <p>_____) Affiant</p> <p>Sworn to and subscribed before me this ____ day of _____, 2017.</p> <p>_____) Notary Public</p> <p>My Commission Expires: _____</p> |
| <p><u>PREPARED BY AND RETURN TO:</u> Webb Sanders PLLC 3037A Highway 31W White House, TN 37188</p> | <p align="right">(SEAL)</p> |

SPECIAL WARRANTY DEED

| Address New Owner(s): | Send Tax Bills To: | Map/Parcel Number(s): |
|--|---------------------------|------------------------------|
| Binns Farm Land Company 421 East Iris Drive, Suite 300 Nashville, TN 37204 | New owner | Map 074, Parcel 052.00 |

This Indenture is made on the ____ day of _____, 2017, by and between LINDA BINNS DISSPAYNE, an individual (“LBD”) as to a one-third (1/3) undivided interest, TOM DOUGLASS BINNS, TRUSTEE FOR THE TOM DOUGLAS BINNS TRUST DATED JUNE 12, 2014 (“TDB”) as to a one-third (1/3) undivided interest, and MARY KATHLEEN BINNS, an individual (“MKB”) as to a one-third (1/3) undivided interest (LBD, TDB, and MKB are hereinafter referred to herein individually and collectively as “*Grantor*”), and BINNS FARM LAND COMPANY, a Tennessee general partnership (“*Grantee*”).

Grantor, for and in consideration of Ten Dollars (\$10.00) and other good and valuable consideration in hand paid, bargains, sells and conveys to Grantee the following described real estate, situated in the County of Davidson, State of Tennessee (the "Property"):

[Include survey description]

Land in the 4th Civil District of Davidson County, Tennessee, the same known as Clifton on the south bank of Cumberland River lying between the lands of Morgan Hurt and Joe Dodson, and described as follows:

Beginning at a white oak at entrance of land; thence North 193 poles along the line of said Dodson Land to three horn beams; thence North 62° West 57 poles to white oak on a branch; thence with said branch to red oak of Cumberland River; thence in a southwesterly direction with Cumberland River to a corner of Joe Dodson’s land, mulberry and sycamore pointers; thence with Dodson’s land, North 79½° East 174¼ poles to a stake, 1 pole south of an elm corner; thence North 83° East 81.32 poles to an ash on southeastern corner of original Clifton Tract; thence South 87° East 110 poles to the beginning, containing 293½ acres.

Being the same property conveyed to Linda Binns Disspayne as to one-third (1/3) undivided interest; Tom Douglas Binns, as to one-third (1/3) undivided interest; and Mary Kathleen Binns, as to one-third (1/3) undivided interest by Trustee’s Quitclaim Deed of record in Instrument No. 20120502-0037822 and further conveys Tom Douglas Binns interest to Tom Douglas Binns, Trustee for the Tom Douglas Binns Trust dated June 12, 2014, as to one-third (1/3) undivided

interest in Quitclaim Deed of record in Instrument No. 20141017-0096096, in the Register's Office of Davidson County, Tennessee.

This is improved property known as 2040 Hickory Hill Lane, Hermitage, Tennessee 37076.

This conveyance is being made subject to the following reservations (the "Reservations"):

1. Grantee, or its successor(s) in title, shall record a plat encumbering the Property entitled _____ (the "Plat") which shall create certain building lots, setback lines, streets and easements to include a conservation easement (the "Easement") outside the boundaries of the platted building lots abutting the Cumberland River and extending to Hickory Hill Lane on the east and Bonnamere Drive on the west and containing 140 acres, more or less. The Easement shall preserve the open space yet provide a blanket easement for the benefit of The Metropolitan Government of Nashville and Davidson County, Tennessee ("Metro") for the purpose of the construction and maintenance of public greenways, trails, trailheads and other elements to support a greenway system or parks. Upon recording of the Plat in the Register's Office for Davidson County, Tennessee (the "RODC"), this reservation shall be deemed to have merged into the Plat.
2. Grantee, or its successor(s) in title, shall record a document entitled _____ (the "CCR") whereby ownership of the building lots shown on the Plat will be restricted to persons fifty-five (55) years of age or older subject to reasonable exceptions and rules necessary to comply with applicable laws. Upon recording the CCR in the RODC, this reservation shall be deemed to have merged into the CCR.

Until merger as provided herein, Metro shall have the authority to enforce the Reservations.

This conveyance is being made subject to the following:

1. Agreement for Dedication of Easement for Water Mains and Appurtenances of record in Instrument No. 20030516-0067076, in the Register's Office for Davidson County, Tennessee.
2. Application for Greenbelt Assessment—Agricultural of record in Instrument No. 20150303-0018625, in the Register's Office for Davidson County, Tennessee.
3. Davidson County taxes for the year 2017 and thereafter, not yet due and payable.

TO HAVE AND TO HOLD the Property, together with the appurtenances, hereditaments, estate, title and interest thereto belonging, to Grantee.

Grantor covenants and binds themselves and their respective heirs, successors and assigns, subject to the matters set forth above, to warrant and defend to Grantee forever the title to the Property against the lawful claims of all claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, the undersigned Grantor has executed this instrument or has caused same to be executed as of the ____ day of _____, 2017.

GRANTOR:

Linda Binns Disspayne

Tom Douglas Binns, Trustee for the Tom Douglas Binns Trust dated June 12, 2014

Mary Kathleen Binns

STATE OF _____)
COUNTY OF _____)

Personally appeared before me, the undersigned, Notary Public for the aforesaid State and County, Linda Binns Disspayne, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Witness my hand, at office, this __ day of _____, 2017.

Notary Public

My Commission Expires: _____

STATE OF _____)
COUNTY OF _____)

Personally appeared before me, the undersigned, Notary Public for the aforesaid State and County, Tom Douglas Binns, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that he executed the within instrument for the purposes therein contained, and who further acknowledged the he is the Trustee for the Tom Douglas Binns Trust dated June 12, 2014, and is authorized by the trust to execute this instrument on behalf of the trust.

Witness my hand, at office, this __ day of _____, 2017.

Notary Public

My Commission Expires: _____

STATE OF _____)
COUNTY OF _____)

Personally appeared before me, the undersigned, Notary Public for the aforesaid State and County, Mary Kathleen Binns with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence), and who acknowledged that such person(s) executed the within instrument for the purposes therein contained.

Witness my hand, at office, this ___ day of _____, 2017.

Notary Public

My Commission Expires: _____