

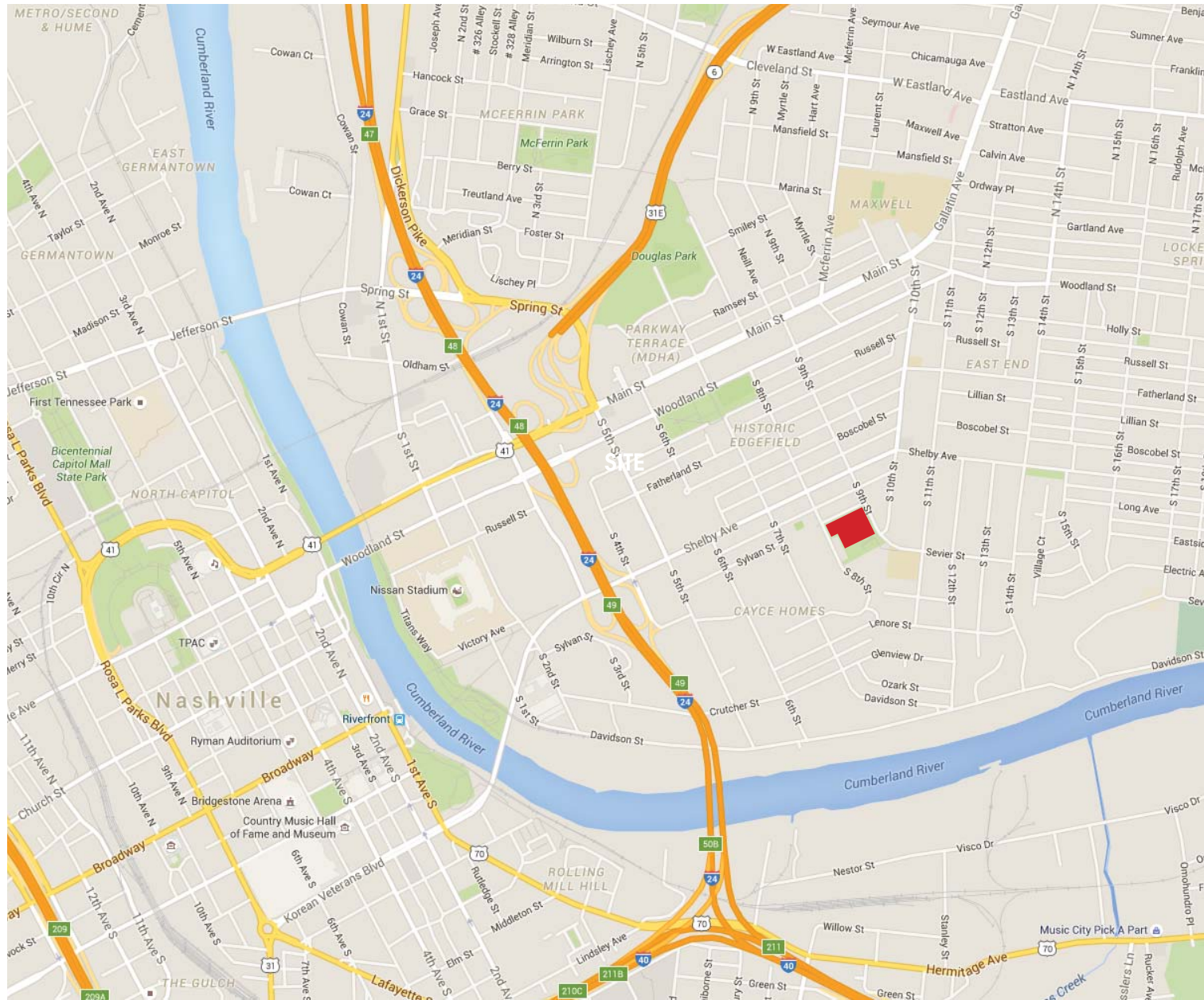
# CAYCE PLACE



KIRKPATRICK PARK RESIDENTIAL  
2016SP-054-001  
PRELIMINARY SP

June 21, 2016

# Site Vicinity Map



## Owners of Record

Metropolitan Government of Nashville  
 Director of Public Property  
 P O BOX 196300, NASHVILLE TN  
 37219

## Landscape Architect

Gary Hawkins  
 615-255-5218  
 g.hawkins@hawkinspartners.com

## Civil Engineer

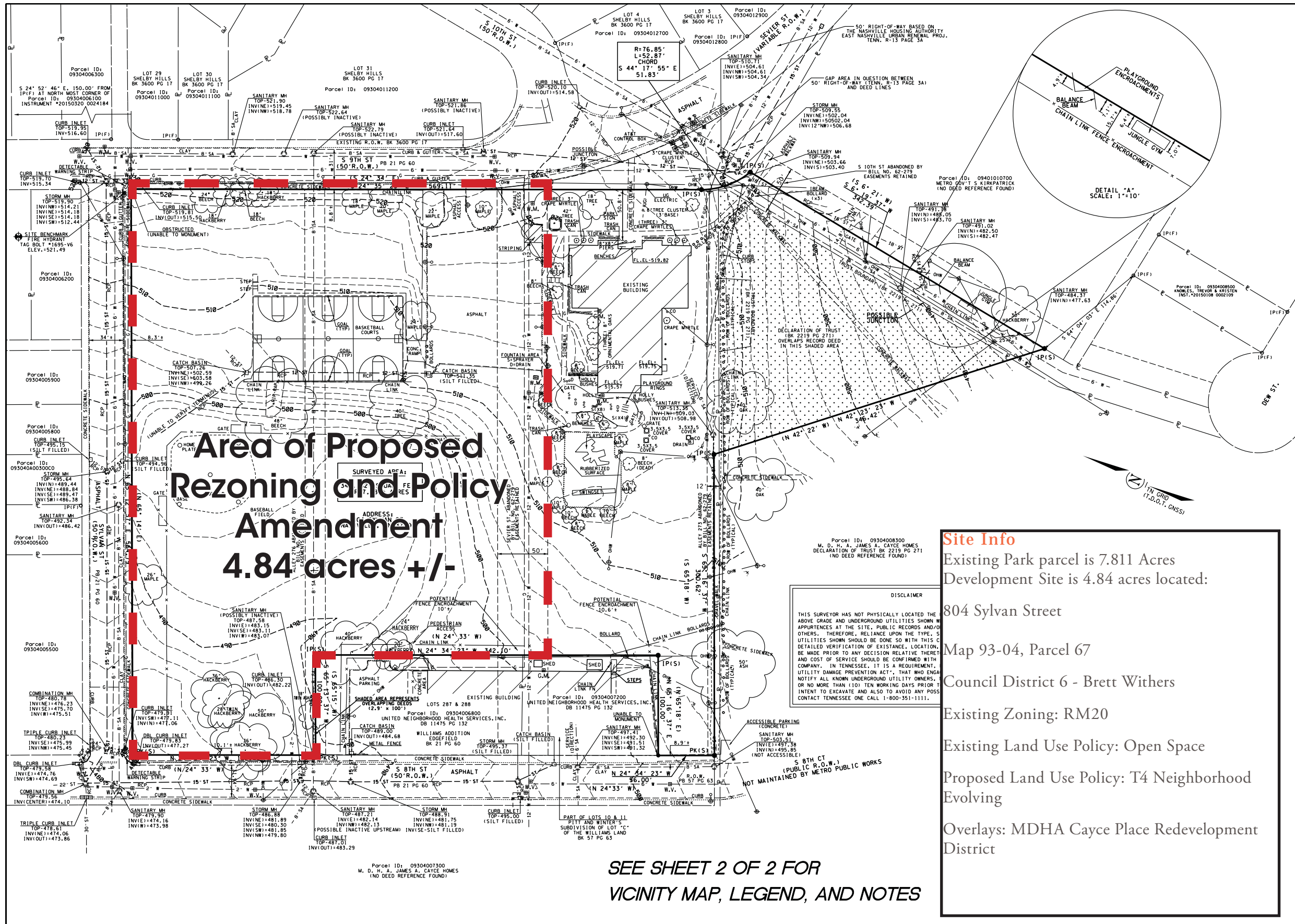
Jeff Hooper  
 615-476-3962  
 jeff@bargecaughen.com

## Land Planner / Architect

Scott Morton  
 615-739-5555  
 smorton@smithgeestudio.com



# Existing Conditions



**Area of Proposed  
Rezoning and Policy  
Amendment  
4.84 acres +/-**

**Site Info**  
 Existing Park parcel is 7.811 Acres  
 Development Site is 4.84 acres located:  
 804 Sylvan Street  
 Map 93-04, Parcel 67  
 Council District 6 - Brett Withers  
 Existing Zoning: RM20  
 Existing Land Use Policy: Open Space  
 Proposed Land Use Policy: T4 Neighborhood Evolving  
 Overlays: MDHA Cayce Place Redevelopment District

**DISCLAIMER**  
 THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN IN APPURTENANCES AT THE SITE. PUBLIC RECORDS AND/OR OTHERS. THEREFORE, RELIANCE UPON THE TYPE, SIZE, UTILITIES SHOWN SHOULD BE DONE SO WITH THIS C DETAILED VERIFICATION OF EXISTENCE, LOCATION, BE MADE PRIOR TO ANY DECISION RELATIVE THEREOF AND COST OF SERVICE SHOULD BE CONFIRMED WITH COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, UTILITY DAMAGE PREVENTION ACT, THAT WHO ENGAGE NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, OR NO MORE THAN (10) TEN WORKING DAYS PRIOR TO INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSS CONTACT TENNESSEE ONE CALL 1-800-351-1111.

**SEE SHEET 2 OF 2 FOR  
VICINITY MAP, LEGEND, AND NOTES**

PREPARED BY:  
**CIVIC**  
 EXPERIENCE | TECHNOLOGY | PROGRESS  
 25 LINDSLEY AVENUE, NASHVILLE, TN 37210  
 (615) 425-2000

**ALTA/ACSM LAND TITLE SURVEY**

CITY OF NASHVILLE - KIRKPATRICK PARK  
 NASHVILLE - DAVIDSON COUNTY, TENNESSEE  
 REQUESTED BY: / PREPARED FOR:  
 ZACHARY DUFOUR, P.E. KIMLEY-HORN  
 209 TENTH AVENUE SOUTH, SUITE 501  
 NASHVILLE, TN 37203

DWN. BY: T.M.F. CKD. BY: C.O.

SCALE 1"=40'  
 GRAPHIC SCALE

DATE:	REVISION	CHANGE
11-18-15		

JOB NO. 150139  
 SHEET 1 OF 2

# Land Use

## Current Land Use Policy

The property is located within the East Nashville Community Plan. The current land use policy for the entire property is Open Space (OS) and is currently home to Kirkpatrick Park and the Kirkpatrick Community Center.

## Proposed Land Use Policy

A portion of the property is proposed to change to T4NE (4.84 acres of the total 7.811 acre parcel). The enclosed SP application provides a plan that meets the vision of the community and is consistent with the T4 Neighborhood Evolving policies.

## East Nashville Community Plan

The proposed land use policy amendment for the property will enhance the character of the neighborhood by providing additional housing choices not yet offered in the area and by concentrating housing near existing transit service and near a planned neighborhood commercial center within the Cayce Community.

The plan accomplishes the following critical goals identified in the East Nashville Community Plan:

1. Providing Diversity of Housing Choices
2. Allocation of Open Space within the development and the foundation for a green space network
3. Provides context sensitive infill development and connectivity to adjacent communities.

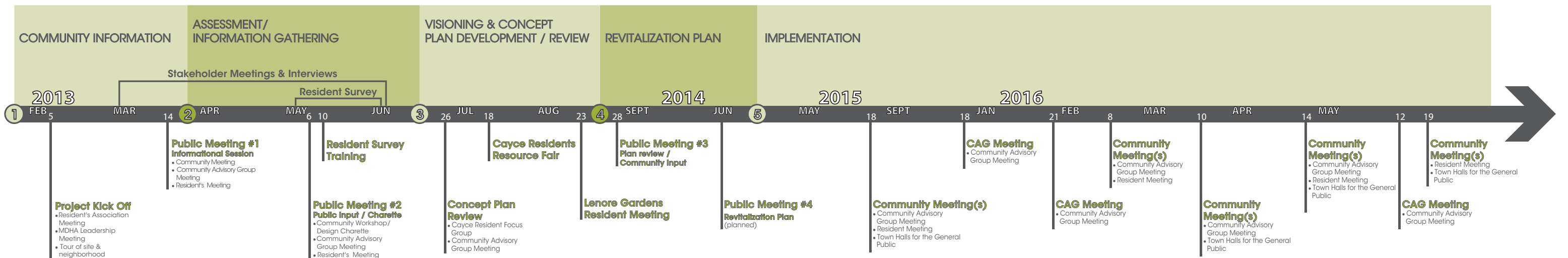
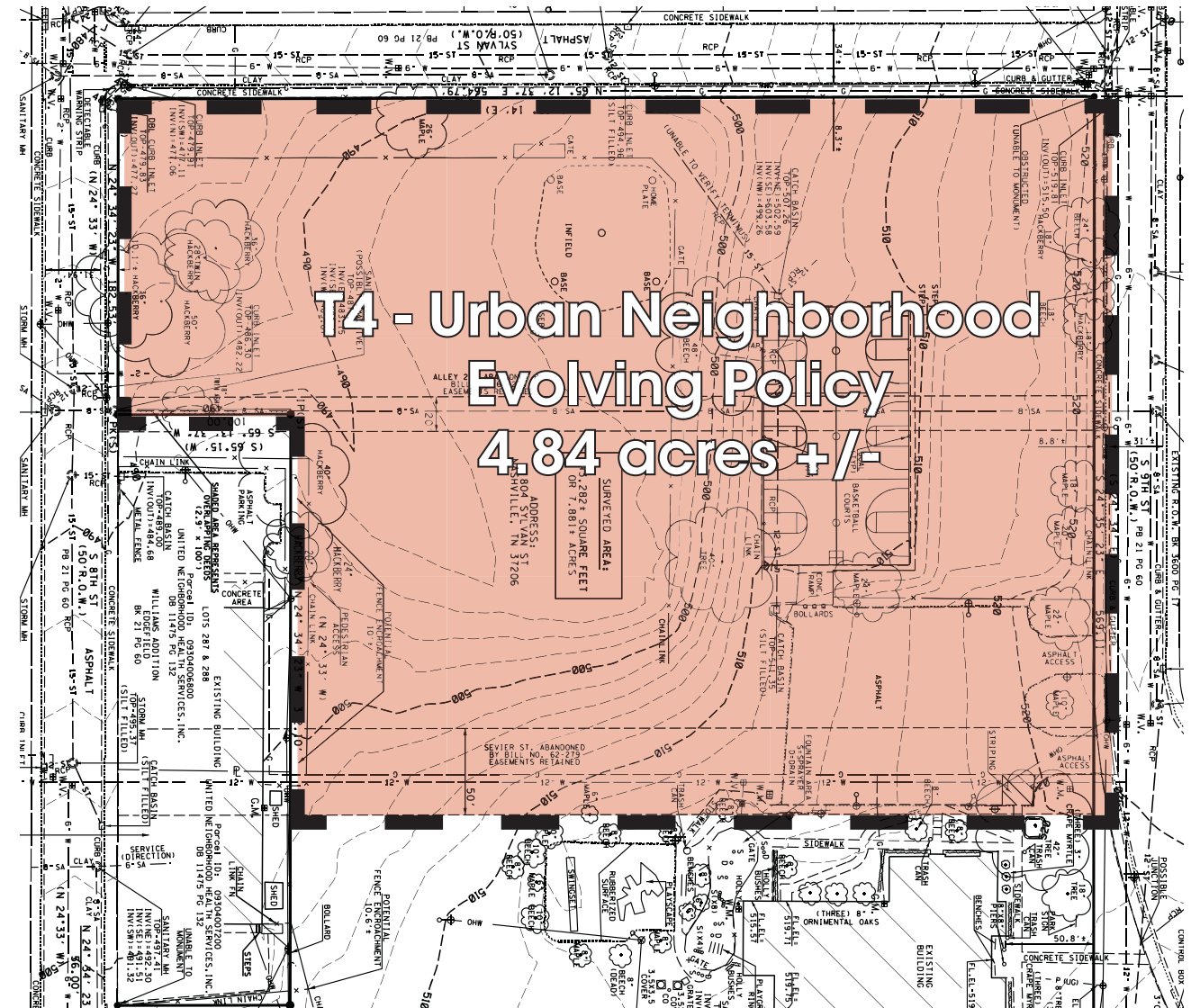
## T4 Neighborhood Evolving Compliance

The proposed policy is a better fit for the future of the site and allows the redevelopment of the park site to meet the goals and objectives of the community that were established during the extensive Envision Cayce Public Engagement

process (see below). The adjacent parcels surrounding the property are currently within the T4 Neighborhood Evolving policy. This plan amendment will allow for the most contextually appropriate land use policy for the development of this site for residential development. The Kirkpatrick park site will be transferred to MDHA and the existing park will be reallocated into a larger park network within the Envision Cayce Master Plan. Further plan amendments will be necessary to allow for the master plan vision to accommodate future phases and park development.

The planned development is consistent with the development goals of the T4NE policy including but not limited to:

- Adequate infrastructure, such as appropriately sized water and sewer service, complete streets, and streets and sidewalks that are adequately wide to support the increased height without the building overshadowing the street or degrading the pedestrian environment;
- Access to major transportation networks;
- Opportunities for higher connectivity;
- The ability to form transitions from adjacent higher-intensity development to the lower-scale neighborhood interior;
- Ability to support and access to existing or planned transit;
- Ability to support the viability of nearby consumer businesses; and,
- Ability to provide affordable or workforce housing



# Concept Plan

## Purpose

The purpose of this SP application is to provide for the development of up to 96 mixed-income residential units as part of Phase II of the Envision Cayce Master Plan.

## Vision

The proposed redevelopment plan for Cayce Place envisions a mixed-income, mixed-use walkable community that provides social, economic and physical benefit to all residents-existing and new. The Plan creates a place that encourages neighbors to bond, enhances the quality of life and instills an intangible sense of belonging and community pride in residents. The plan represents a new era in the way that we design and build our communities integrating multiple levels of incomes and neighborhood diversity.

The Kirkpatrick site will set the stage for the next phases and the implementation of the full Envision Cayce Master Plan Vision. This phase includes a mixture of living options and architectural product with direct access to the public sidewalk and street network. Careful consideration was put in to how the design transitions to the adjacent residential community through the reduction in heights along edges, wider setbacks and allocation of open spaces along the community border. Off-street Parking is provided internal the development in the form of surface spaces and garage spaces for residents. Supplemental parking will be provided for residents and visitors along all the street frontages bounding the site. The sidewalk network will be enhanced along existing streets and a new street and pedestrian experience will be provided along the Park Street. The Park Street is designed to accommodate additional pedestrian and bicycle traffic through wider sidewalks and a shared use trail along the park edge. Furthermore, residents will enjoy the use of the first “Woonerf” or shared street experience in Nashville through the middle of the development. It is intended that this space could become an extension of the front yards of adjacent housing and will primarily serve pedestrians but will provide necessary vehicular access when required. In addition to the new linear park, additional park space will be provided in the form parklets at the corners of both Sylvan Street intersection.



# Architectural Character



# Utility Plan

## Water Notes

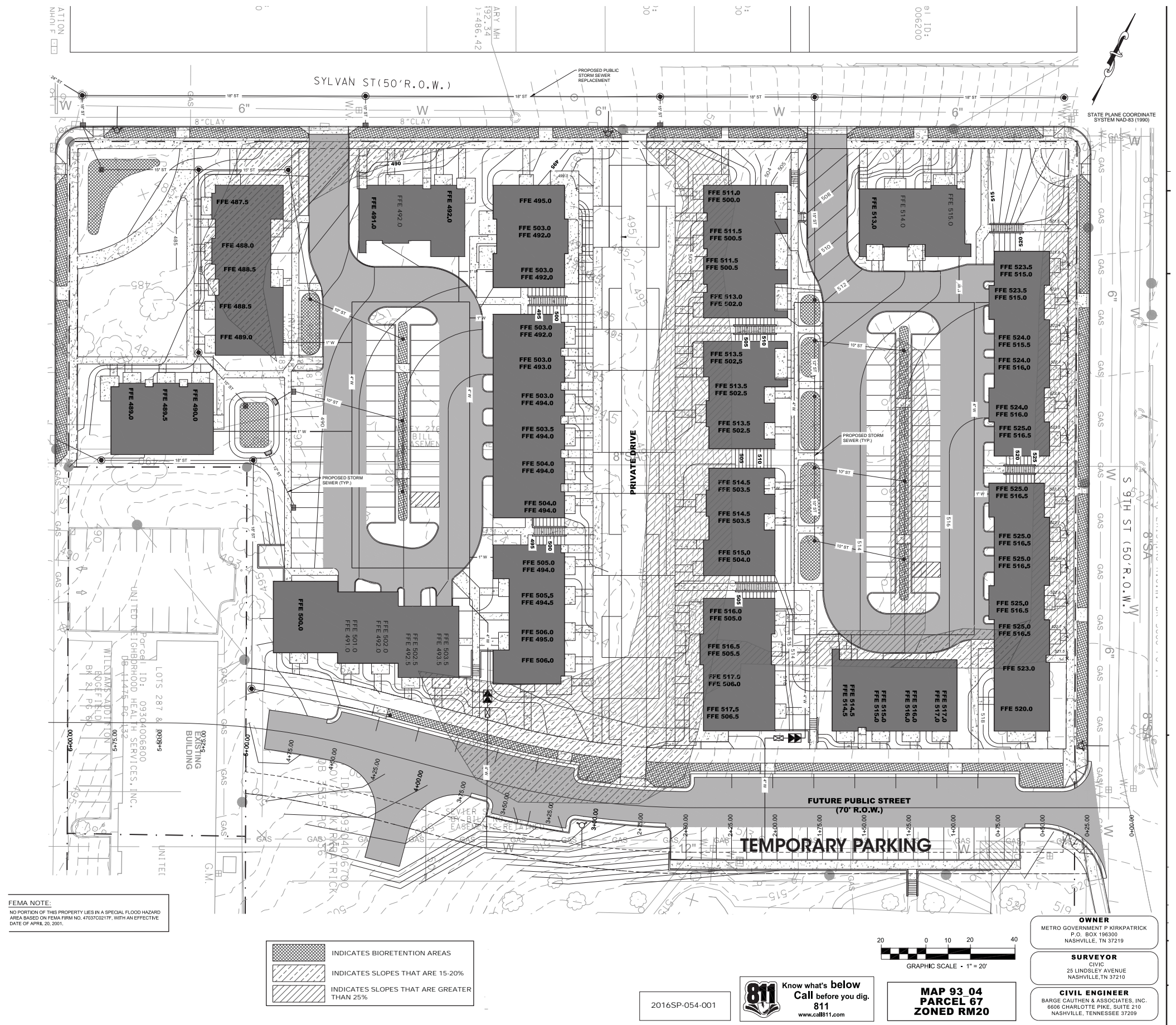
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.

## Stormwater Notes

- Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with Stormwater Management ordinance no. 78-840 and approved by the Metropolitan Department of Water Services.
- This drawing is for illustration purposes to indicate the basic premise of the development. The final unit count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- Metro water services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
- Stormwater quality for the development shall be in accordance with Metro
- Stormwater management manual volume
- Stormwater detention for the development shall be met by one of the following methods:
  - No detention due to proximity to the Cumberland River and appropriately sized downstream storm sewer infrastructure.
  - Regional detention system to be constructed off-site as part of Envision Cayce Master Plan.
  - On-site detention.

## Nashville Electric Service Notes

- NES must meet with the developer/engineer upon request to determine electrical service options.
- Developer shall provide a civil duct and pad mounted transformer locations to NES for review.
- Developer drawing shall show any existing utility easements on property, the utility poles on the property and the poles along the right-of-way.
- NES shall be placed in "pue" inside development for conduit runs and meter centers.
- Any additional easement required that are not part of this parcel must be obtained by the developer or the engineer for the developer.



cont'd

# Infrastructure Plan

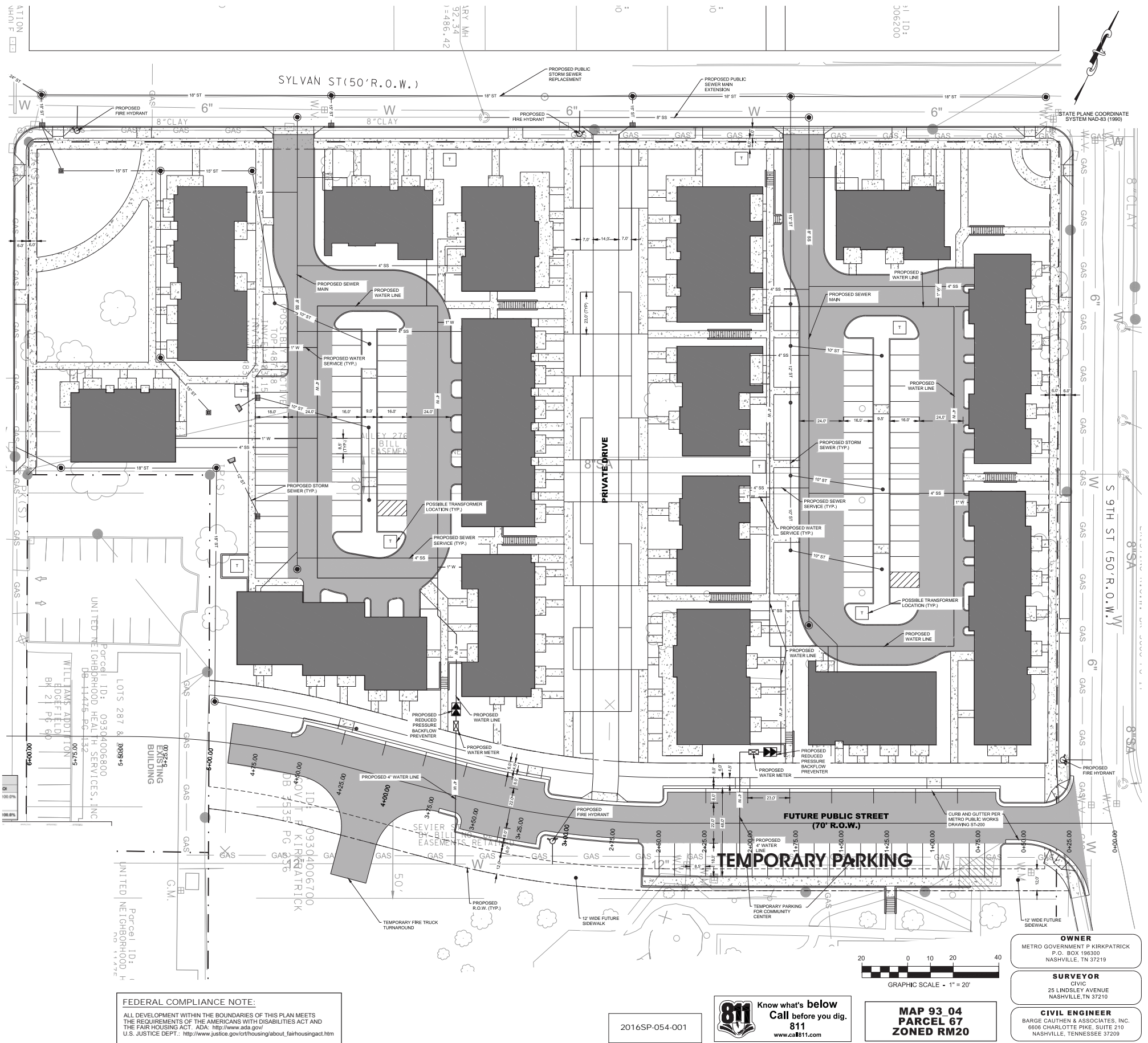
- Postal plan is required before NES's final construction drawings can be approved.
- NES follows the National Fire Protection Association rules; refer to NFPA 70
- Article 450-27; NAD NESC section 15-152.A.2 For complete rules (see NES Construction Guidelines under "Builders and Contractors" tab @ www.nespower.com).
- Developer's vegetation management requirements/clearances.
- No NES duct system shall be installed in any rain garden areas.
- NES riser pole should be installed on development pole.
- The type of meter system the development chooses to use will affect the ownership of the cable to the meter center. Look at page 74 of the NES guidelines book.
- NES shall be provided load information for development.

## Fire Department Notes

- The required fire flow shall be determined by the Metro/Nashville Fire Marshall's Office prior to the issuance of a building permit.
- The requirements of the Metro Fire Marshal's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.

## Public Works Notes (also see Civil sheets)

- Final construction drawings shall comply with the design regulations established by the Department of Public Works. Final design may vary based on field conditions.
- Solid waste and recycling for the development will be in compliance with Public Works via curb side pick-up or dumpster pick-up within development or provided privately.
- Sevier Street (Park Street) shall be constructed in accordance with Metro Public Works standards and specifications. Right-of-way to be dedicated via plat as part of final site plan. City shall not take ownership or maintenance responsibilities until the head in parking on south side of street is removed.
- Private Drive may require future one-way signage if Public Works determines that the street does not function as necessary to effectively manage traffic flow and users safety. The developer will coordinate with Public works on the design and location of the developer provided one way signage.







# Pedestrian Experience

## Notes

The following exhibits represent compliance to the relevant Major and Collector Street Plan requirements and other Metro Public Works standards. Should variations be needed to this plan based on field conditions and/or plan adjustments, the owner will work with Planning staff and Metro Public Works as necessary to comply with Metro standards.

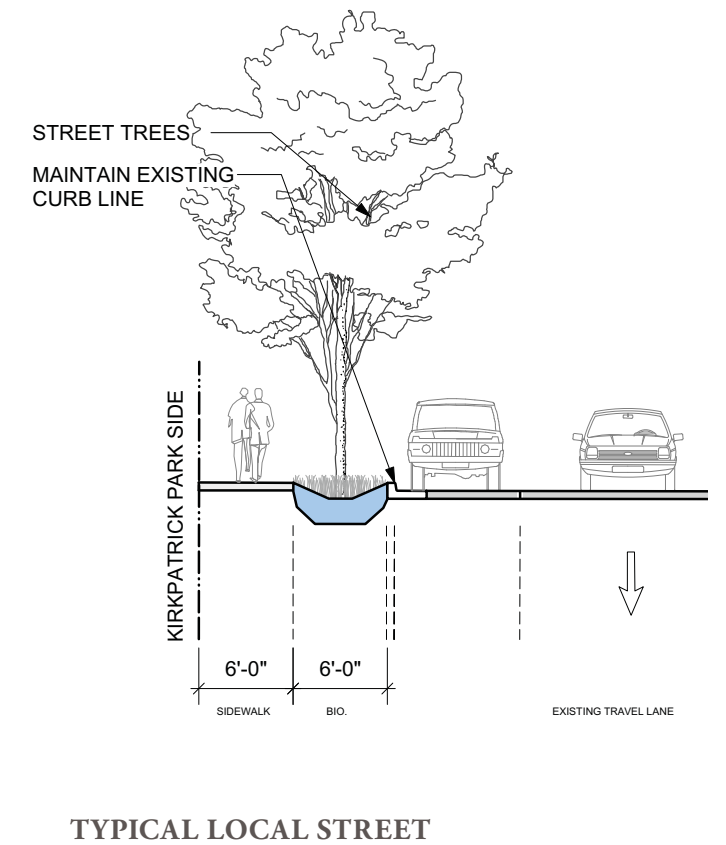
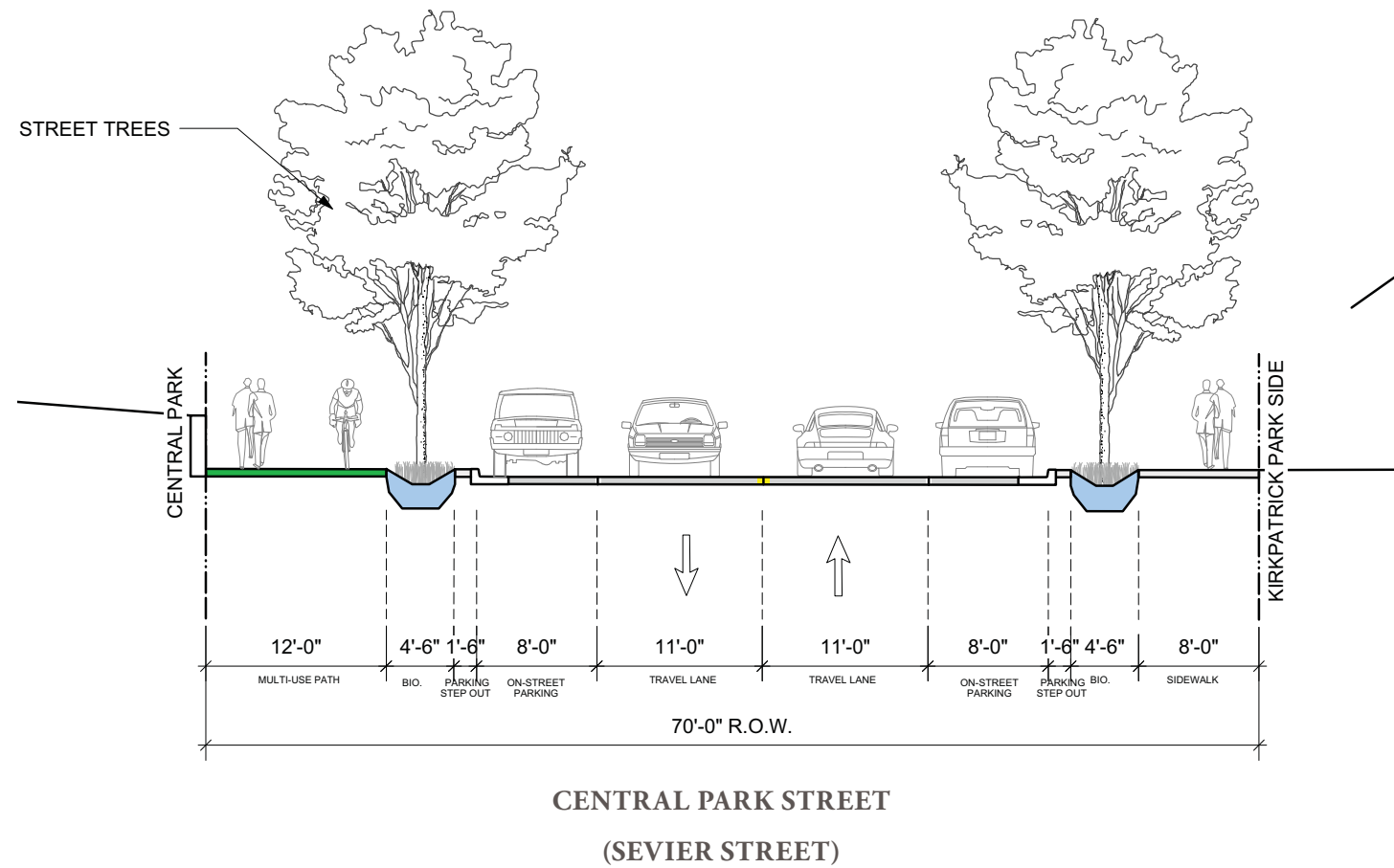
Porches/Stoops may encroach up to 3 ft. of frontage planting/setback areas with landscaping provided in between porches and/or stoops.

## CENTRAL PARK STREET (PUBLIC)

- Provide on-street parking and landscape bulb-outs.
- Provide a 4 foot 6 inch bio-planting zone for infiltration and street trees.
- Provide a 8 foot clear sidewalk zone on Kirkpatrick Park side.
- Provide a 12 foot multi-use path on Central Park side (Multi-use path will not be constructed as part of Phase I initial infrastructure. The multi-use path will be constructed in conjunction with the development of the Community Service Campus plan that will be starting construction near the end of the Phase I construction period).

## S. 8TH STREET, S. 9TH STREET & SYLVAN STREET

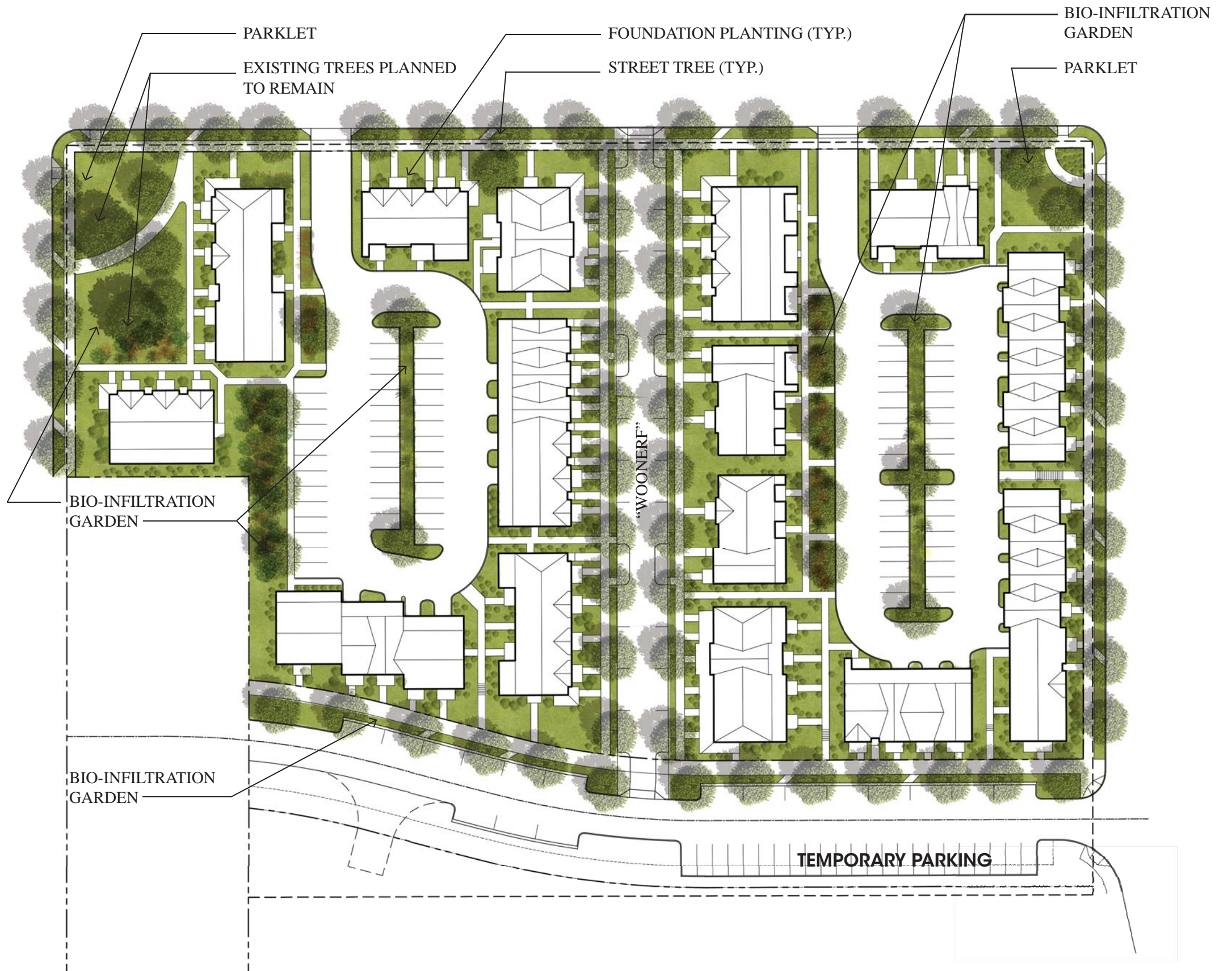
- Provide a 6 foot bio-planting zone for infiltration and street trees.
- Keep existing curb locations
- Provide an 6 foot clear sidewalk zone.
- Install crosswalks at major crossings



# Landscape Plan

## Landscape Standards

- The development of this project shall comply with the requirement of Metro Zoning Code 17.24 Tree Protection and Replacement and with chapter 17.40, Article X. Tree Protection and Replacement Procedures. Landscape ordinance plan to be submitted in Final SP Submittal.
- All surface parking areas must meet the "Parking Area Screening and Landscaping Requirements specified in the Metro Zoning Code.
- Bicycle Parking shall be provided at 1 SPACE PER 4 DWELLING UNITS and meet Metro Bike Parking location requirements.
- Street trees shall be provided along all street frontages at a minimum spacing average of fifty (40) linear feet.
- All landscaping shall be properly irrigated and maintained by a landscape contractor; if drought resistant plant material is used, irrigation shall not be required.
- Where trees are planted in rows, they shall be uniform in size and shape.
- All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.
- Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as to not impede drainage away from buildings. If significant relocations are required, contractor shall contact landscape architect for resolution. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials
- Landscape Buffering requirements per zoning code shall be waived.
- The final site plan / building permit shall depict a minimum 5 foot clear path of travel for pedestrian ways, including public sidewalks, and the location of all existing and proposed obstructions. Prior to the issuance of use and occupancy permits, existing obstructions within the path of travel shall be relocated to provide a minimum of 5 feet of clear access.



# Regulations

Development Summary	
Permitted Uses	Residential
Maximum Number of Multi-family Units	96 units
ISR	0.90
Central Park & S. 9th St. Build-to-Zone	5 - 15 ft. *
S. 8th Street & Sylvan St. Build-to-Zone	10 - 20 ft. *
Rear Setback	0 ft.
Side Setback	0 ft.
Minimum Building Separation	10 ft. minimum**
Height Standards	3 stories maximum in 50 feet 2 stories maximum in 40 feet for Bldgs. fronting North 9th Street
Access	(2) 22 ft. drives on Sylvan Street (2) Private Drive connections (1) New Central Park Street (public)
Parking	Per UZO parking requirements
* Excluding pedestrian passages, garage entries and open spaces; porches and stoops may encroach up to 3 ft. beyond build-to-zones where applicable. ** Side stoop and porch entries may encroach into 10 ft. building separation requirement.	

Any standard not specifically addressed herein shall comply with the RM20-A base zoning requirements as of the application date of this Preliminary SP.

Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted

density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

The zoning administrator may allow necessary adjustments to the build-to zone when existing utilities or utility easements are within the build-to zone and unusual circumstances require that the utilities cannot be relocated or easements reduced. The zoning administrator may allow necessary adjustments to the build-to zone based on the nature of the existing and future land uses and site conditions in the general vicinity after receiving a written recommendation from the planning department and any relevant department or agency.

The Redevelopment District guidelines that are currently being developed for Envision Cayce will contain the same regulatory requirements as this SP application plus additional development standards. If an unforeseen conflict arises between the redevelopment district guidelines and the SP regulations, the MDHA Design Review Committee may make a determination on the appropriate regulatory action based on the nature of the specific conflict/ request.

## Parking

Provided parking shall meet the requirements of the UZO parking standards of the Zoning Code (17.20).

Off-street parking will be provided within a parking area internal to the development both within surface parking lots and covered, secured garages. Additional parking spaces will be provided in the form of on-street parking along the perimeter of the project.

## Height

The maximum height permitted is three (3) stories within fifty feet (50) feet ; Buildings fronting North 9th Street shall be limited to two (2) stories in height within forty (40) feet. Height shall be measured from finished floor to ridgeline / top of parapet at front building facade placement. An additional "basement" level may be provided internally to the development where topography allows for tuck under garages and

rear unit access. Additionally, height exceptions may be allowed for mechanical units on roof tops and stair bulkheads.

## Development Standards

Buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for every thirty (30) linear feet of street frontage:

- A change in building material
  - A horizontal undulation in the building facade of three (3) feet or greater
  - A porch, stoop or balcony
- Street facing building facades shall have a minimum of fifteen (15) percent glazing (measured as a percentage of each floors width x height).
  - Ground floor residential units on all public street facing building facades shall have a porch or stoop with direct access to public sidewalk.
  - Refuse collection, recycling and mechanical equipment shall be fully screened from public street view by the combination of buildings, fences, walls or landscaping.
  - All residential units shall have a minimum raised foundations of eighteen (18) inches, measured at the front building setback/placement. Minor reductions may be granted by Planning Staff with the Final SP application for topographically challenged areas, ADA required units and units required to meet Fair Housing visit ability standards.
  - Bicycle Parking shall be provided at 1 SPACE PER 4 DWELLING UNITS and shall meet Metro Bike Parking location requirements.

## Standard Notes

- Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- All development within the boundaries of this plan will be designed based on the requirements of the Americans with Disabilities Act and the Fair Housing Act.
- As required, a subdivision plat will be submitted with the Final SP documents.

## Development Schedule

- It is anticipated that the project will begin construction in the 1st quarter of 2017 and will take 14-18 months to be completed.