

DESIGN TEAM
 DEVELOPER: AERIAL DEVELOPMENT GROUP
 CONTACT: JOSH RANDOLPH
 ADDRESS: 521 5TH AVENUE S, NASHVILLE, TN 37203
 PHONE: 615.669.6765
 E-MAIL: josh@airialdevelopmentgroup.com

LANDSCAPE ARCHITECT: HAWKINS PARTNERS, INC.
 ADDRESS: 630 SOUTHGATE AVENUE, SUITE 300 NASHVILLE, TN 37203
 PHONE: 615.255.5218
 E-MAIL: k.hawkins@hawkinspartners.com

CIVIL ENGINEER: CIVIL SITE DESIGN GROUP
 CONTACT: SEAN DECOSTER
 ADDRESS: TRINITY AVENUE, SUITE A NASHVILLE, TN 37203
 PHONE: 615.248.9999
 E-MAIL: seand@civil-site.com

GENERAL PLAN/COMMUNITY PLAN CONSISTENCY
 The Trinity Lane SP is consistent with the following policies within the Nashville Next Community Plan:
 T3-NE (Neighborhood Evolving)
 T3-CC (Suburban Community Center)

The development indicates mixed use with commercial uses and higher density residential uses in the portion of the site zoned as Suburban Community Center, providing a concentrated walkable development node to serve the community. The back portion of the undeveloped site is zoned as T3-NE, as such, the development plan indicates a variety of infill housing types with sensitivity to the identified stream, drainages and grades.

LAND USE AND BLOCK DESIGNATIONS
OVERALL DEVELOPMENT:
 MIXED USE: 25,000 S.F. MAXIMUM
 - shall be a combination of two or more of MUL-A / Artisan Manufacturing allowed uses
 RESIDENTIAL UNITS: 341 MAXIMUM
 - Apartments, 210 maximum units
 - Townhomes, 115 maximum units
 - Detached Cottages, 16 maximum units
 - Single Family residential lots, 11 maximum units

IMPERVIOUS SURFACE RATIO: .66

TOTAL PARKING REQUIRED: 679 spaces
 Mixed Use: 125 spaces (Based on general retail)
 Residential: 554 spaces
 - Apartments, 210 max units / 30% 2bdm, 70% 1bdm = 272 bdrm / 272 sp req'd
 - Townhomes, 115 maximum units / 2 spaces per unit / 230 spaces required
 - Detached Cottages, 16 maximum units / 2 spaces per unit / 32 spaces required
 - Single Family residential lots, 10 maximum lots / 2 spaces per unit / 20 spaces req'd
 * Determination of commercial mix shall be submitted with Final SP. Shared parking to be provided in Block 1 based on mix of uses.
 ** Estimated unit mix. Determination of unit mix shall be submitted with Final SP.

TOTAL PARKING PROVIDED: 729 spaces
 Block 1 - 309
 Block 2 - 247
 Block 3 - 173

If a development standard, not including permitted uses, is absent from the SP plan and/or Council approval, the property shall be subject to the standards, regulations and requirements of the MUL-A zoning district as of the date of the applicable request or application with the exception that all single-family lots shall be subject to the RST.5 zoning district.

BLOCK 2: approximately 5.66 ACRES
 MULTI-FAMILY BUILDING B and C:
 126 - 140 dwelling units
 Uses allowed: to match RM20
 Building Mass:
 - Private drive setback: 12-15' from curb
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 4 stories
 Parking: Provided per zoning code. Based on 30% 2bdm, 70% 1bdm = 182 bdrm / 182 maximum sp req'd

RESIDENTIAL (attached townhomes):
 20 dwelling units maximum
 Uses allowed: to match RM20
 Building Mass:
 - Private drive setback: 8-15' from curb
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 2 stories, 35' on public street face. A third, exposed basement level shall be allowed, where needed, to accommodate site grade change.
 Parking: Provided per zoning code within attached garages / 2 spaces per unit / 40 spaces required

RESIDENTIAL (detached cottages):
 8 - 10 dwelling units
 Uses allowed: to match RM20
 Building Mass:
 - Street setback: 5-10'
 Side Spacing: 6' minimum between units
 Height Maximum: 2 stories, 35' on public street face. A third, exposed basement level shall be allowed, where needed, to accommodate site grade change.
 Parking: Provided per zoning code within attached garages / 2 spaces per unit / 20 spaces required

Total Block 2 required parking: 242 spaces
 Total Block 2 Parking provided: approximately 187 surface parking, plus 60 attached garage spaces / 247 provided

ARCHITECTURE
 THE FINAL BUILDING ELEVATIONS SHALL BE SUBMITTED WITH THE FINAL SITE PLAN AND SHALL BE CONSISTENT WITH THE FOLLOWING ARCHITECTURAL STANDARDS:
 A. STOREFRONTS, RESTAURANTS, AND OFFICES SHALL BE ACTIVATED FROM AND FRONT ON TO TRINITY LANE OR OLD MATTHEWS ROAD.
 B. MIXED USE BUILDINGS SHALL PROVIDE ACCESS VIA GLAZED DOORS FROM BOTH THE FRONT AND REAR OF THE STRUCTURE.
 C. FOR MIXED USE BUILDINGS ALONG TRINITY LANE, GROUND FLOORS SHALL INCLUDE A MINIMUM OF 40% GLAZING; ADDITIONAL STORIES SHALL INCLUDE A MINIMUM OF 20% GLAZING.
 D. THE MINIMUM GROUND FLOOR HEIGHT FOR EACH MIXED USE BUILDING SHALL BE 4'-0".
 E. ANY CORNER UNIT/BUILDING SHALL ADDRESS BOTH CORNERS. THIS SHALL BE ACCOMPLISHED VIA WRAP AROUND PORCHES, WINDOWS, BAY WINDOWS, OR OTHER FACADE PROJECTIONS.
 F. FOR TOWNHOMES, COTTAGES AND SINGLE FAMILY HOMES
 1. BUILDING FACADES FACING A STREET, PROVIDE ONE PRINCIPAL ENTRANCE AND A MINIMUM OF 25% GLAZING.
 2. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS OR EGRESS WINDOWS.
 3. PORCHES SHALL PROVIDE A MINIMUM DEPTH OF SIX FEET.
 4. A RAISED FOUNDATION WILL BE PROVIDED FOR A 2'-0" MINIMUM AND 5'-0" MAXIMUM HEIGHT ABOVE THE GRADE FOR THE FRONT FACADE.
 G. PROHIBITED MATERIALS: VINYL SIDING AND EIFS (EXTERIOR INSULATED FINISH SYSTEM) IS PROHIBITED ON ALL FACADES. UNCOATED CHAINLINK FENCING IS PROHIBITED.
 H. ALLOWED MATERIALS SHALL INCLUDE, BUT NOT BE LIMITED TO, FIBER CEMENTOUS SIDING/PANELS, BRICK, STONE, CLAU BLOCK AND CONCRETE FOR FOUNDATIONS, AND ARCHITECTURAL SHINGLES OR METAL FOR DECORATIVE SIDING OR SLOPED ROOFING.
 I. AWNINGS: FIRST FLOOR CANOPIES/AWNINGS ARE APPROPRIATE AT BUILDING ENTRANCES AND ABOVE STROEPPROTS AND SHALL NOT BE OF PLASTIC MATERIAL, NOR SHOULD THEY BE TRANSPARENT OR INTERNALLY ILLUMINATED.

ENCROACHMENTS
 EXPOSED, COVERED, OR ENCLOSED PORCHES AND DECKS MAY EXTEND INTO FRONT, SIDE AND BACK SETBACKS OR COMMON SPACE, NOT EXCEEDING 8 FT INTO COMMON SPACE OR 3 FT FROM PRIVATE LOT PROPERTY LINES. FRONT SETBACK ENCROACHMENTS ARE NOT PERMITTED ALONG OLD MATTHEWS ROAD.
 REFER TO MUNICOD 17.12.040: OTHER SETBACKS FOR ALL OTHER ALLOWABLE ENCROACHMENTS NOT IDENTIFIED ABOVE.

PARKING
 FINAL PARKING COUNT SHALL BE SUBJECT TO METRO ZONING PARKING REQUIREMENTS.

LANDSCAPE
 THE DEVELOPMENT OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS FOR METRO ZONING CODE CHAPTER 17.24 ARTICLE II: TREE PROTECTION AND REPLACEMENT AND WITH CHAPTER 17.40 ARTICLE X: TREE PROTECTION AND REPLACEMENT PROCEDURES. DETAILED LANDSCAPE ORDINANCE PLAN TO BE SUBMITTED WITH THE FINAL SP SUBMITTAL.

A D-3 LANDSCAPE BUFFER PLUS A OPAQUE FENCE IS PROVIDED AT THE REAR OF SINGLE FAMILY LOTS ALONG OLD MATTHEWS ROAD BETWEEN THE TVA LINE AND THE TONEY ROAD R.O.W. AS INDICATED. NO OTHER LANDSCAPE BUFFERS ARE PROVIDED.

SOIL CLASSIFICATIONS
 BARFIELD ROCK OUTCROP COMPLEX (5-20% SLOPES)
 MIMOSA - URBAN AND COMPLEX (5-20% SLOPES)

ROADWAY CLASSIFICATIONS
 TRINITY LANE: T3-NE/CC
 OLD MATTHEWS ROAD: T3-R/CA2
 TONEY ROAD: LOCAL STREET

REFER TO TRAFFIC IMPACT STUDY, PREPARED BY FISCHBACH TRANSPORTATION GROUP, LLC AND DATED APRIL 2016

GENERAL NOTES
 ALL EXISTING STRUCTURES ON THESE PARCELS TO BE DEMOLISHED.
 ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND FAIR HOUSING ACT.

THIS PROPERTY DOES NOT LIE WITHIN AN AREA DESIGNATED AS SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAPS. (REFER TO CIVIL PLAN)

TRASH AND RECYCLING SERVICES TO BE CONTRACTED BETWEEN THE DEVELOPER/OWNER AND A PRIVATE HAULER FOR ALL UNITS ON PRIVATE DRIVES. SINGLE FAMILY LOTS TO BE SERVICED BY METRO PUBLIC WORKS.

USPS MAIL DELIVERY WILL BE PROVIDED BY CENTRALIZED KIOSKS/MAIL ROOMS WITHIN COMMERCIAL AND MULTI-FAMILY BUILDINGS AND BY INDIVIDUAL MAILBOXES SERVICED FROM THE DRIVE ALLEYS AND ROADS FOR OTHER RESIDENTIAL USES.

THE FINAL SITE PLAN/BLDG PERMIT SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS, INCLUDING POWER POLES AND SIGNAGE, WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5' CLEAR ACCESS.

SIDEWALKS ALONG TRINITY LANE AND OLD MATTHEWS ROAD SHALL BE PER MCSP. THE SIDEWALK ALONG TONEY ROAD SHALL BE 5' IN WIDTH MEETING THE PUBLIC WORKS STANDARD ST-210, AND INCLUDE A 4" PLANTING STRIP, THE CURB AND GUTTER ALONG TONEY ROAD TO MEET THE PUBLIC WORKS STANDARD ST-200.

STORMWATER/UTILITIES/INFRASTRUCTURE:
 STORMWATER PLANS FOR THIS DEVELOPMENT TO BE PROVIDED IN A MANNER CONSISTENT WITH THE STORMWATER VOLUME GUIDELINES. THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES TO INDICATE THE BASIC PREMISE OF THIS DEVELOPMENT AND PROPOSED STORMWATER LOCATIONS AND METHODS. FINAL DETAILS SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE SUBMITTAL.

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY METRO STORMWATER MANAGEMENT MANUAL.

METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES ON THE SITE.

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD REGULATIONS OF METRO WATER SERVICES.

ALL ABOVE GROUND UTILITY BOXES/DEVICES WILL BE SCREENED APPROPRIATELY.

ALL PROPOSED NEW PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.

ALL ACCESS DRIVES AND DRIVEWAYS WITHIN THIS DEVELOPMENT, WITH THE EXCEPTION OF TONEY ROAD, SHALL BE PRIVATE.

ALL PRIVATE DRIVES/ALLEYS MAY BE PAVED WITH PERVIOUS PAVEMENT WITH MATERIAL AND CROSS-SECTION TO BE APPROVED BY METRO PUBLIC WORKS. NO FRONT-LOADED GARAGES ARE PERMITTED ON A PUBLIC ROAD.

ALL SIDEWALKS LOCATED WITHIN THE PUBLIC R.O.W. ARE TO MEET METRO PUBLIC WORKS AND ADA STANDARDS.

BUFFER FOR ON SITE STREAMS INDICATED IN ACCORDANCE WITH AQUATIC RESOURCE ASSESSMENT PERFORMED BY BOY DATED MARCH, 23, 2016. NO DEFINED TOP OF BANK WAS INDICATED FOR THIS STREAM SECTION.

REFER TO CIVIL DRAWINGS FOR ALL OTHER UTILITIES/ EASEMENTS.

PROPERTY INFORMATION
 COUNCIL DISTRICT: (2) DECOSTA HASTINGS

PARCEL 21:
 PARCEL ID: 07101002100
 ADDRESS: 0 TONEY ROAD NASHVILLE, TN 37207
 OWNER: AERIAL INVESTMENT PROPERTIES, LLC
 1100 Douglas Ave., Nashville, TN 37206
 CURRENT ZONING: RST.5
 ACREAGE: 9.46 ACRES

PARCEL 20:
 PARCEL ID: 07101002000
 ADDRESS: 0 OLD MATTHEWS ROAD NASHVILLE, TN 37207
 OWNER: AERIAL INVESTMENT PROPERTIES, LLC
 1100 Douglas Ave., Nashville, TN 37206
 CURRENT ZONING: RST.5
 ACREAGE: 2.93 ACRES

PARCEL 19:
 PARCEL ID: 07101001900
 ADDRESS: 0 OLD MATTHEWS ROAD NASHVILLE, TN 37207
 OWNER: AERIAL INVESTMENT PROPERTIES, LLC
 1100 Douglas Ave., Nashville, TN 37206
 CURRENT ZONING: RST.5
 ACREAGE: 3.28 ACRES

PARCEL 18:
 PARCEL ID: 07101001800
 ADDRESS: 509 W. TRINITY LANE NASHVILLE, TN 37207
 OWNER: AERIAL INVESTMENT PROPERTIES, LLC
 1100 Douglas Ave., Nashville, TN 37206
 CURRENT ZONING: RST.5
 ACREAGE: 2.75 ACRES

PARCEL 17:
 PARCEL ID: 07101001700
 ADDRESS: 511 W. TRINITY LANE NASHVILLE, TN 37207
 OWNER: AERIAL INVESTMENT PROPERTIES, LLC
 1100 Douglas Ave., Nashville, TN 37206
 CURRENT ZONING: RST.5
 ACREAGE: 1.38 ACRES

PARCEL 16A:
 PARCEL ID: 07101001600
 ADDRESS: 513 W. TRINITY LANE NASHVILLE, TN 37207
 OWNER: WOODS, JAMES L. & DARRYL T.
 8625 Mill Chase Ct.
 CURRENT ZONING: RST.5
 ACREAGE: 1.32 ACRES

PARCEL 16B:
 PARCEL ID: 07105001600
 ADDRESS: 515 B.W. TRINITY LANE NASHVILLE, TN 37207
 OWNER: WOODS, J. L. ETUX
 515 W. Trinity Ln., Nashville, TN 37207
 CURRENT ZONING: RST.5
 ACREAGE: .38 ACRES

TOTAL SITE AREA: 21.5 ACRES
 R.O.W. DEDICATION: 1.43 ACRES (TONEY ROAD EXTENSION)

BLOCK 1: approximately 5.55 ACRES
 BUILDING FRONTAGE FOR W. TRINITY LANE AND OLD MATTHEWS: 50% MINIMUM

MIXED USE BUILDINGS:
 25,000 maximum GSF / 80 MAXIMUM FAR Uses Allowed: to Match MUL-A and including Artisan Manufacturing as defined by Ordinance No. BL2015-1121
 Building Mass:
 - Built To Zone / Trinity Lane: 5-20"
 - Built To Zone / Old Matthews: 0-10"
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 4 stories
 Height Minimum: 16' one story
 Parking: Provided per zoning code with shared parking available with Block 1 uses, / 125 spaces required (based on general retail) not including shared parking.
 *Outdoor dining areas are allowed to be zero setback provided that public sidewalk meeting MCSP is provided in adjacent public ROW. Build-to lines are subject to proximity of overhead power lines.

MIXED USE BUILDING A:
 54 - 70 dwelling units
 This building may include square footage meeting the uses allowed under MUL-A and including Artisan Manufacturing as defined by Ordinance No. BL2015-1121, to the maximum of 25,000 GSF of that use allowed for Block 1 and for the overall development.
 Building Mass:
 - Built To Zone / Old Matthews: 0-10"
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 4 stories
 Height Minimum: 16' one story
 Parking: Provided per zoning code with shared parking available with Block 1 uses. Based on 30% 2bdm, 70% 1bdm = 90 bdrm / 90 maximum sp req'd

RESIDENTIAL (attached townhomes):
 40 dwelling units maximum
 Uses allowed: to match MUL-A
 Building Mass:
 - Private drive setback: 8-15' from curb
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 2 stories, 35' on public street face. A third, exposed basement level shall be allowed, where needed, to accommodate site grade change.
 Parking: Provided per zoning code within attached garages or immediately adjacent surface parking / 2 spaces per unit / 80 spaces required

Total Block 1 required parking: 295 spaces (not including shared parking reduction)
 Total Block 1 Parking provided: approximately 237 surface parking, plus 72 attached garage spaces / 309 provided

BLOCK 3: approximately 10.28 ACRES
 RESIDENTIAL (attached townhomes):
 55 dwelling units maximum
 Uses allowed: to match RM20, plus non-commercial community gardening
 Building Mass:
 - Public road setback: 0-10' from property line
 - Private drive setback: 8-15' from curb
 Side Setback: 0'
 Rear Setback: 0'
 Height Maximum: 2 stories, 35' on public street face. A third, exposed basement level shall be allowed, where needed, to accommodate site grade change.
 Parking: Provided per zoning code within attached garages / 2 spaces per unit / 110 spaces required

RESIDENTIAL (detached cottages):
 5-6 dwelling units
 Uses allowed: to match RM20, plus non-commercial community gardening
 Building Mass:
 - Street setback: 5-10'
 Side Spacing: 6' minimum between units
 Rear Setback: not applicable
 Height Maximum: 2 stories, 35' on public street face. A third, exposed basement level shall be allowed, where needed, to accommodate site grade change.
 Parking: Provided per zoning code within attached garages / 2 spaces per unit / 12 spaces required

RESIDENTIAL (detached single family lots):
 11 residential lots maximum
 Uses allowed: to match RST.5
 Building Mass:
 - Street setback: per RST.5 standards
 Side Setback: per RST.5 standards
 Rear Setback: per RST.5 standards
 Height Maximum: per RST.5 standards
 Parking: No parking is permitted between the primary structure and street. Hard surfaces for vehicular access shall be limited to 16 feet. 2 spaces per unit / 22 spaces required

Total Block 3 required parking: 144 spaces
 Total Block 3 Parking provided: approximately 61 surface parking, plus 114 attached garage spaces / 175 provided

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 C. FOR MIXED USE BUILDINGS ALONG TRINITY LANE, GROUND FLOORS SHALL INCLUDE A MINIMUM OF 40% GLAZING; ADDITIONAL STORIES SHALL INCLUDE A MINIMUM OF 20% GLAZING.
 D. THE MINIMUM GROUND FLOOR HEIGHT FOR EACH MIXED USE BUILDING SHALL BE 4'-0".
 E. ANY CORNER UNIT/BUILDING SHALL ADDRESS BOTH CORNERS. THIS SHALL BE ACCOMPLISHED VIA WRAP AROUND PORCHES, WINDOWS, BAY WINDOWS, OR OTHER FACADE PROJECTIONS.
 F. FOR TOWNHOMES, COTTAGES AND SINGLE FAMILY HOMES
 1. BUILDING FACADES FACING A STREET, PROVIDE ONE PRINCIPAL ENTRANCE AND A MINIMUM OF 25% GLAZING.
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SOIL CLASSIFICATIONS
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 TRINITY LANE: T3-NE/CC
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REFER TO TRAFFIC IMPACT STUDY, PREPARED BY FISCHBACH TRANSPORTATION GROUP, LLC AND DATED APRIL 2016

GENERAL NOTES
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THIS PROPERTY DOES NOT LIE WITHIN AN AREA DESIGNATED AS SPECIAL FLOOD HAZARD AREA ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE MAPS. (REFER TO CIVIL PLAN)

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STORMWATER/UTILITIES/INFRASTRUCTURE:
 STORMWATER PLANS FOR THIS DEVELOPMENT TO BE PROVIDED IN A MANNER CONSISTENT WITH THE STORMWATER VOLUME GUIDELINES. THIS DRAWING IS FOR ILLUSTRATIVE PURPOSES TO INDICATE THE BASIC PREMISE OF THIS DEVELOPMENT AND PROPOSED STORMWATER LOCATIONS AND METHODS. FINAL DETAILS SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE SUBMITTAL.

SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY METRO STORMWATER MANAGEMENT MANUAL.

METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES ON THE SITE.

ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARD REGULATIONS OF METRO WATER SERVICES.

ALL ABOVE GROUND UTILITY BOXES/DEVICES WILL BE SCREENED APPROPRIATELY.

ALL PROPOSED NEW PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.

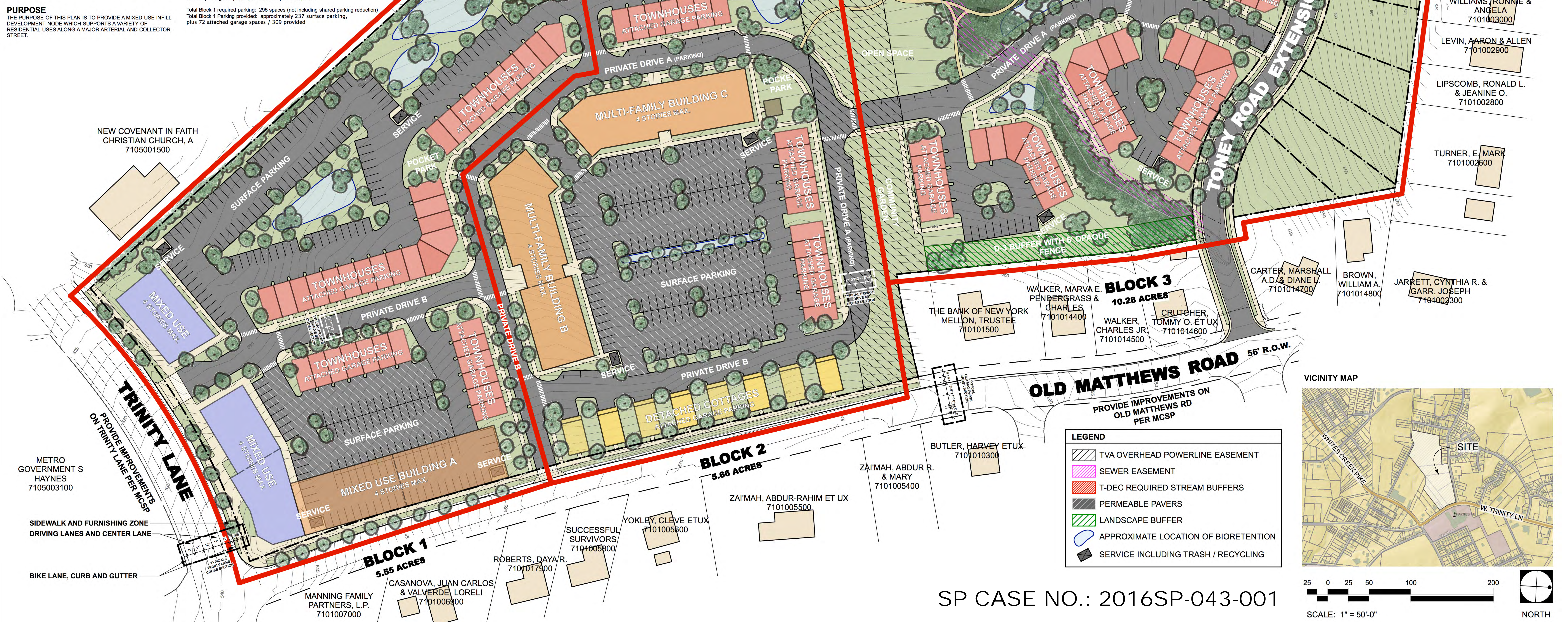
ALL ACCESS DRIVES AND DRIVEWAYS WITHIN THIS DEVELOPMENT, WITH THE EXCEPTION OF TONEY ROAD, SHALL BE PRIVATE.

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BUFFER FOR ON SITE STREAMS INDICATED IN ACCORDANCE WITH AQUATIC RESOURCE ASSESSMENT PERFORMED BY BOY DATED MARCH, 23, 2016. NO DEFINED TOP OF BANK WAS INDICATED FOR THIS STREAM SECTION.

REFER TO CIVIL DRAWINGS FOR ALL OTHER UTILITIES/ EASEMENTS.



LEGEND

- TVA OVERHEAD POWERLINE EASEMENT
- SEWER EASEMENT
- T-DEC REQUIRED STREAM BUFFERS
- PERMEABLE PAVERS
- LANDSCAPE BUFFER
- APPROXIMATE LOCATION OF BIORETENTION
- SERVICE INCLUDING TRASH / RECYCLING

VICINITY MAP

SCALE: 1" = 50'-0"

NORTH

Hawkins Partners, Inc.
 REGISTERED ARCHITECTS
 105 Broadway
 Suite 300
 Nashville, TN 37201
 615.255.5218
 Fax: 615.254.1424
 www.hawkinspartners.com

TRINITY LANE MASTERPLAN
 NASHVILLE, TENNESSEE

PRELIMINARY SP

JOB NO.: 15-742
 DATE: 4-28-16

1 5-17-16
 2 5-31-16
 3 6-7-16

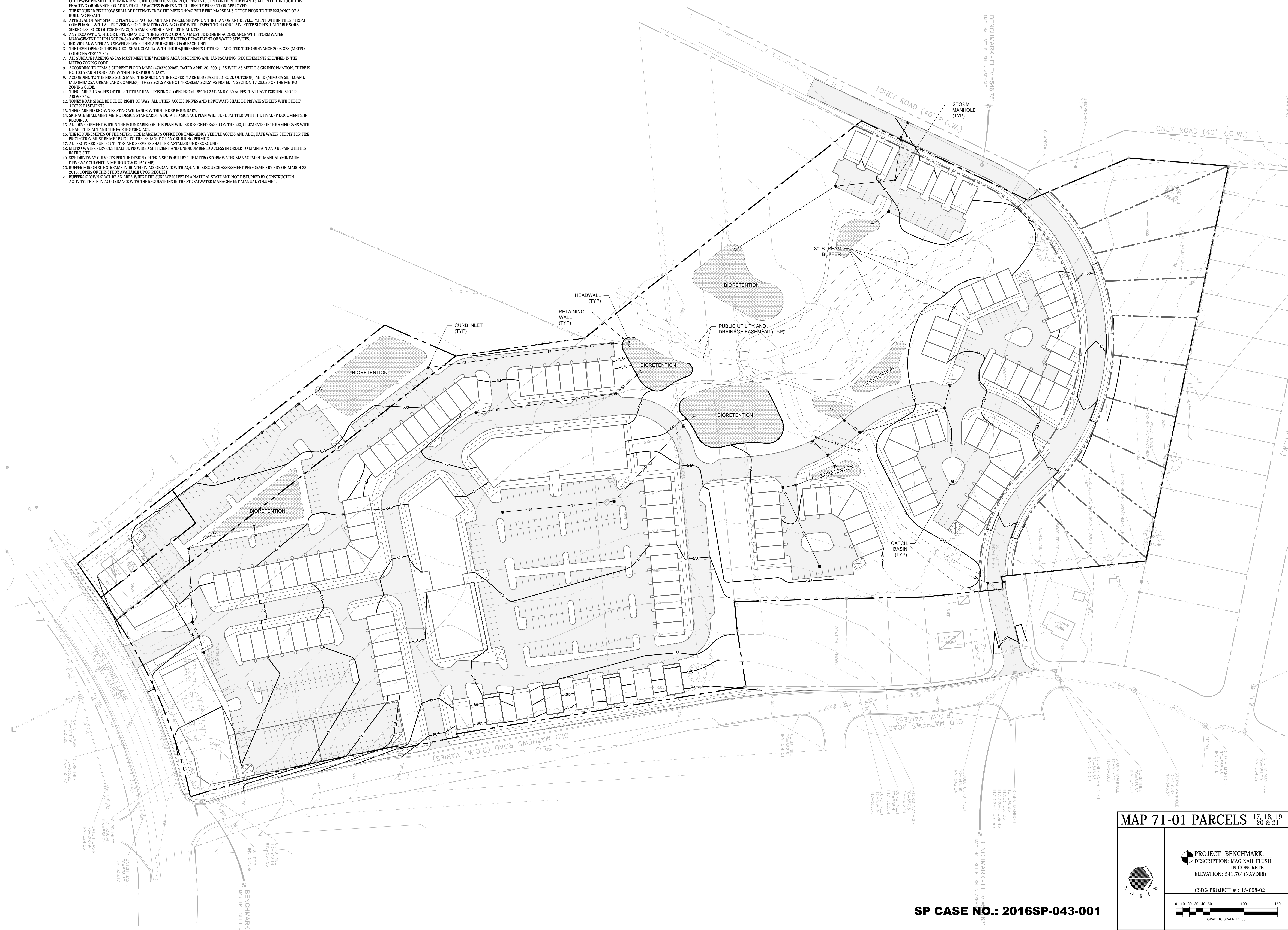
SCALE: 1" = 50'-0"

SHEET:

L1.00

SP CASE NO.: 2016SP-043-001

- NOTES:
- MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASES DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
 - THE REQUIRED FLOOD FLOW SHALL BE DETERMINED BY THE METRO-NASHVILLE FIRE-MARSHAL'S OFFICE PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
 - APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
 - ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND MUST BE DONE IN ACCORDANCE WITH STORMWATER MANAGEMENT ORDINANCE 78-840 AND APPROVED BY THE METRO DEPARTMENT OF WATER SERVICES.
 - INDIVIDUAL WATER AND SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
 - THE DEVELOPER OF THIS PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE SP ADOPTED TREE ORDINANCE 2008-328 (METRO CODE CHAPTER 17.24).
 - ALL SURFACE PARKING AREAS MUST MEET THE "PARKING AREA SCREENING AND LANDSCAPING" REQUIREMENTS SPECIFIED IN THE METRO ZONING CODE.
 - ACCORDING TO FEMA'S CURRENT FLOOD MAPS (47037C0208F, DATED APRIL 20, 2001), AS WELL AS METRO'S GIS INFORMATION, THERE IS NO 100-YEAR FLOODPLAIN WITHIN THE SP BOUNDARY.
 - ACCORDING TO THE NRCS SOILS MAP, THE SOILS ON THE PROPERTY ARE B0D (BARBELED ROCK OUTCROP), MmD (MIMOSA SILT LOAM), MmD (MIMOSA-URBAN LAND COMPLEX). THESE SOILS ARE NOT "PROBLEM SOILS" AS NOTED IN SECTION 17.28.050 OF THE METRO ZONING CODE.
 - THERE ARE 2.13 ACRES OF THE SITE THAT HAVE EXISTING SLOPES FROM 15% TO 25% AND 0.39 ACRES THAT HAVE EXISTING SLOPES ABOVE 25%.
 - TONY ROAD SHALL BE PUBLIC RIGHT OF WAY. ALL OTHER ACCESS DRIVES AND DRIVEWAYS SHALL BE PRIVATE STREETS WITH PUBLIC ACCESS EASEMENTS.
 - THERE ARE NO KNOWN EXISTING WETLANDS WITHIN THE SP BOUNDARY.
 - SIGNAGE SHALL MEET METRO DESIGN STANDARDS. A DETAILED SIGNAGE PLAN WILL BE SUBMITTED WITH THE FINAL SP DOCUMENTS, IF REQUIRED.
 - ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL BE DESIGNED BASED ON THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 - THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
 - ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED UNDERGROUND.
 - METRO WATER SERVICES SHALL BE PROVIDED SUBJECT AND UNOCCUPIED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
 - SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO IS 15" CMP).
 - BUFFER FOR ON SITE STREAMS INDICATED IN ACCORDANCE WITH AQUATIC RESOURCE ASSESSMENT PERFORMED BY BDP ON MARCH 23, 2016. COPIES OF THIS STUDY AVAILABLE UPON REQUEST.
 - BUFFERS SHOWN SHALL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE REGULATIONS IN THE STORMWATER MANAGEMENT MANUAL VOLUME 1.



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MAP 71-01 PARCELS 17, 18, 19, 20 & 21

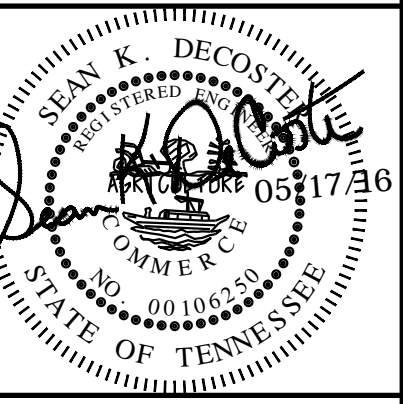
PROJECT BENCHMARK:
 DESCRIPTION: MAG NAIL FLUSH
 IN CONCRETE
 ELEVATION: 541.76' (NAVD88)
 CSDG PROJECT #: 15-098-02

GRAPHIC SCALE 1"=50'

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 ENGINEERS-PLANNERS-LANDSCAPE ARCHITECTS



PRELIMINARY SP
TRINITY LANE MASTERPLAN
 NASHVILLE, TENNESSEE

JOB NO.: 15-742
 DATE: 4-28-16
 5-17-16

SHEET:
C3.00
 GRADING AND DRAINAGE PLAN

