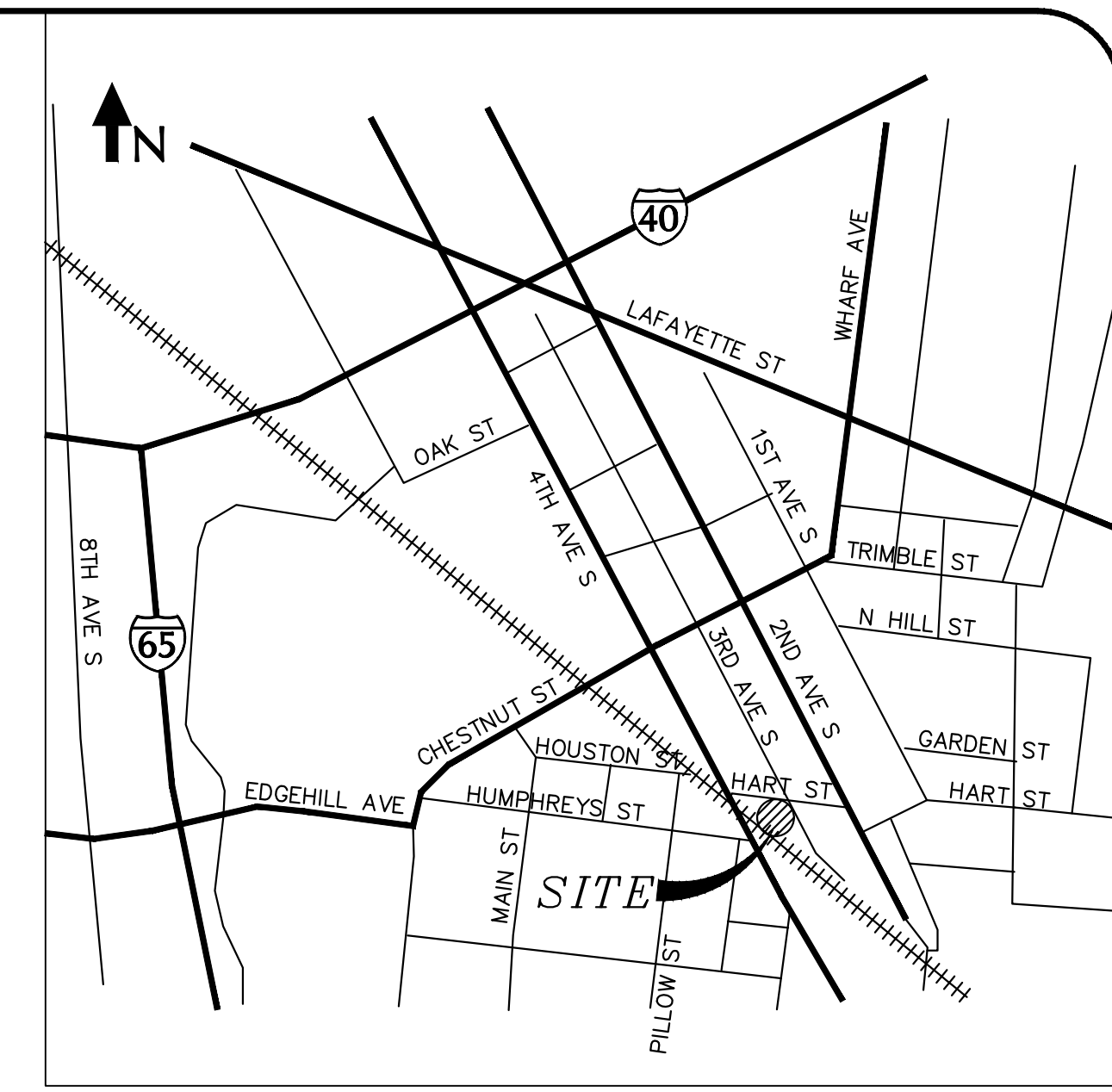


# SPECIFIC PLAN BENTO BOX

## NASHVILLE, DAVIDSON COUNTY, DAVIDSON

CASE NO. 2016SP-039-001  
LEA PROJECT NO. 514716018  
APRIL 28, 2016  
REVISED MAY 18, 2016



VICINITY MAP  
NOT TO SCALE

**DEVELOPMENT SUMMARY / SITE DATA**

PROJECT NAME: BENTO BOX NASHVILLE  
 MAP/PARCEL: 105-07/443.01 & 444  
 SITE ADDRESS: 1267/1271 3rd AVE, SOUTH  
 SITE ACREAGE: 0.95 AC

COUNCIL DISTRICT: 17  
 COUNCIL MEMBER: COLBY SLEDGE

EXISTING USE: VACANT  
 EXISTING ZONING: IWO (INDUSTRIAL WAREHOUSE/DISTRIBUTION)  
 OVERLAYS: UZO (URBAN ZONING OVERLAY)

PROPOSED USE: MULTIFAMILY MIXED USE  
 PROPOSED ZONING: SP

**SP DISTRICT STANDARDS**

LOT SIZE: 0.95 AC  
 FAR: 1.2  
 ISR: 0.9

STREET SETBACK/STREET TYPES:  
 3rd AVE SOUTH - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)  
 HART ST - LOCAL STREET (4 FT GRASS STRIP/6 FT SIDEWALK)

MULTIFAMILY BUILDING HEIGHT: 5 STORIES IN 76 FT

**BUILDING DATA**

MULTIFAMILY DWELLING UNITS  
 20 CO-LIVING ROOMS  
 21 MICRO UNITS  
 19 STUDIO UNITS  
 16 ONE-BEDROOM UNITS  
 6 TWO-BEDROOM UNITS  
 82 TOTAL UNITS

**COMMERCIAL SPACE:**

**PARKING REQUIREMENTS**

MULTIFAMILY  
 1 SP PER SINGLE UNIT + 1.5 SP PER 2-BR UNIT  
 = 1 SP x 76 UNITS + 1.5 SP x 6 UNITS  
 = 85 SPACES REQUIRED

RESTAURANT: 5,200 SF - 1,000 SF (UZO) = 4,200 SF/150 = 28 SPACES REQUIRED  
 RETAIL: 3,500 SF - 2,000 SF (UZO) = 1,500SF/200 = 8 SPACES REQUIRED

**PARKING REDUCTIONS:**

PEDESTRIAN CONNECTION: 10%  
 TRANSIT CONNECTION: 10%  
 BUILD-TO-LINE/SETBACKS: 10%  
 MAX REDUCTION 25%

PARKING REQUIRED: 85 + 28 + 8 = 121 - 25% = 91 SPACES REQUIRED

PARKING PROVIDED: 76 IN AUTOMATED PARKING STRUCTURE  
 24 SURFACE SPACES (INCLUDING 5 ADA SPACES)  
 100 SPACES PROVIDED

**BICYCLE PARKING REQUIREMENTS**

MULTIFAMILY:  
 1 SP PER 4 DWELLING UNITS (29% OF THE TOTAL MUST BE PUBLICLY AVAILABLE)  
 = 1 SP x (82 UNITS/4)  
 = 21 SPACES REQUIRED (5 MUST BE PUBLICLY AVAILABLE)

RESTAURANT:  
 4 PUBLICLY AVAILABLE SPACES PER ESTABLISHMENT  
 = 4 SP x 1 ESTABLISHMENT  
 = 4 PUBLICLY AVAILABLE SPACES REQUIRED

RETAIL:  
 2 PUBLICLY AVAILABLE SPACES OR 1 SPACE PER 5,000 SQUARE FEET  
 = 1 SP x (3,500 SF/5,000 SF) < 2 SPACES  
 = 2 PUBLICLY AVAILABLE SPACES REQUIRED

**TOTAL BICYCLE PARKING REQUIRED:**

= 21 + 4 + 2  
 = 27 TOTAL BICYCLE PARKING SPACES REQUIRED (11 MUST BE PUBLICLY AVAILABLE)

BICYCLE PARKING PROVIDED = 28 TOTAL SPACES, ALL PUBLICLY AVAILABLE

**DEVELOPER**

BENTO BOX, LLC  
 BROOKLYN NAVY YARD  
 63 FLUSHING AVE.  
 BUILDING 280, SUITE 515  
 BROOKLYN, NY 11205  
 (718) 260-8200

**APPLICANT**

LITTLEJOHN  
 1935 21ST AVE SOUTH  
 NASHVILLE, TN 37212  
 CONTACT: TRAVIS TODD, PE  
 (615) 385-4144  
 TTODD@LEAINC.COM

**NOTES**

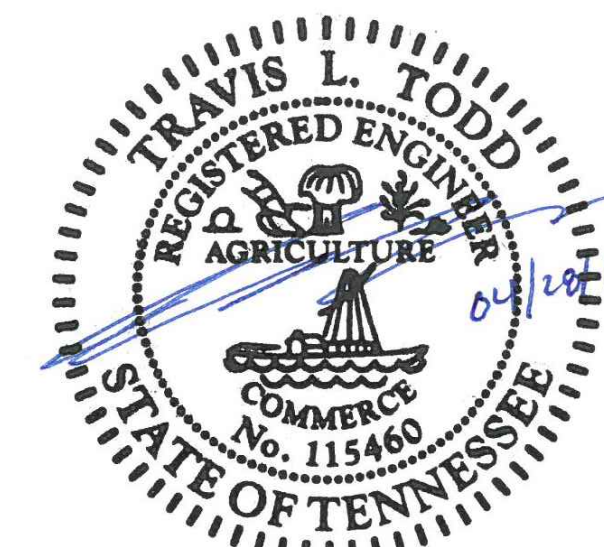
- THE PURPOSE OF THIS SP IS TO RECEIVE PRELIMINARY APPROVAL TO PERMIT THE DEVELOPMENT OF A MIXED USE DEVELOPMENT.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/ 840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN WILL MEET THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
- FINAL DETAILS OF THE PLAN SHALL BE GOVERNED BY THE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- APPROVAL OF ANY SPECIFIC PLAN DOES NOT EXEMPT ANY PARCEL SHOWN ON THE PLAN OR ANY DEVELOPMENT WITHIN THE SP FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAMS, SPRINGS AND CRITICAL LOTS.
- IT IS ANTICIPATED THAT THE PROJECT WILL BEGIN CONSTRUCTION IN OCTOBER OF 2016 AND WILL TAKE APPROXIMATELY 12 MONTHS TO BE COMPLETED.
- EFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.

ARCHITECT  
**EOA ARCHITECTS**  
 515 MAIN ST.  
 NASHVILLE, TN 37206  
 615.242.4004

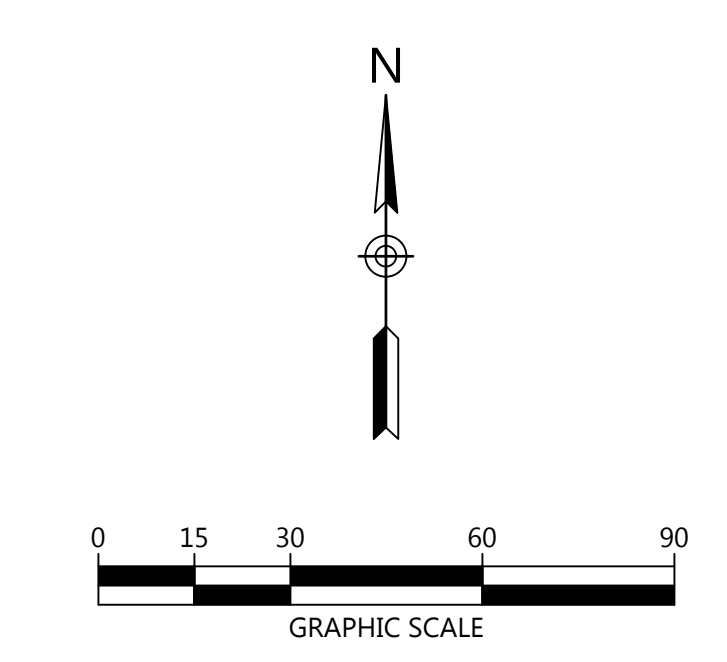
PREPARED FOR  
**BENTO BOX, LLC**  
 BROOKLYN, NY

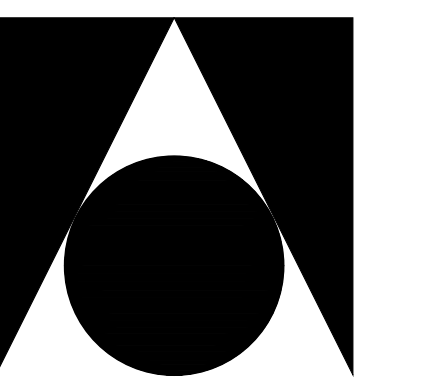
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INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE DEMOLITION
C3.0	SITE LAYOUT
C4.0	SITE GRADING & DRAINAGE
C5.0	SITE UTILITIES
L1.0	SITE LANDSCAPE
L2.0	ILLUSTRATIVE SITE PLAN
A01	3D VIEWS
A02	3D VIEWS
A1.00	GRADE LEVEL FLOOR PLAN
A1.01	RESIDENTIAL LEVEL 1
A1.02	RESIDENTIAL LEVEL 2
A2.01	EXTERIOR ELEVATIONS
A2.02	EXTERIOR ELEVATIONS
A2.03	ELEVATIONS





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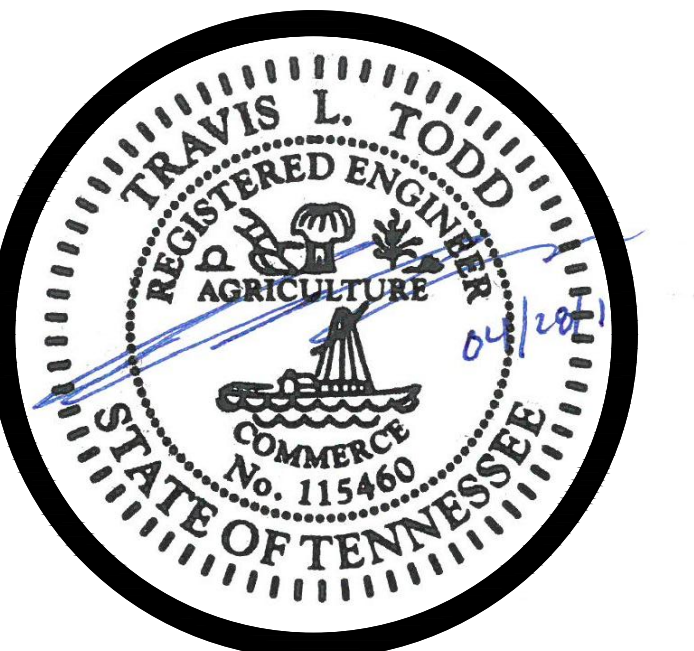
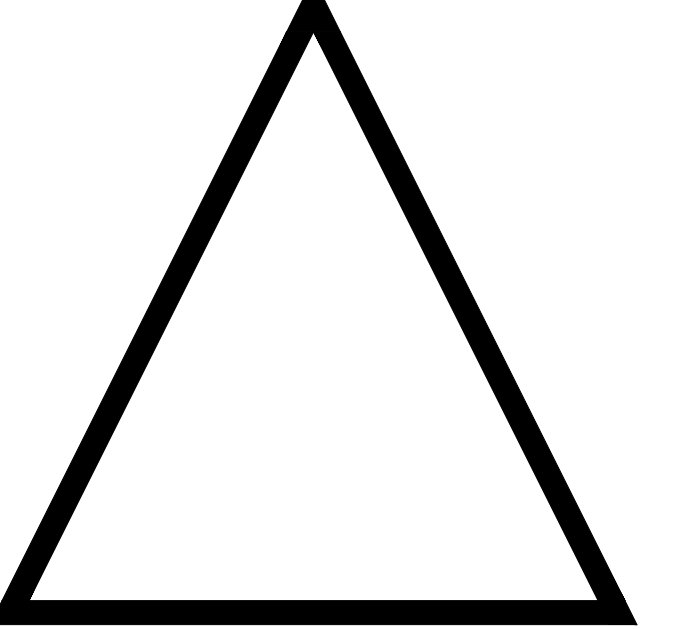
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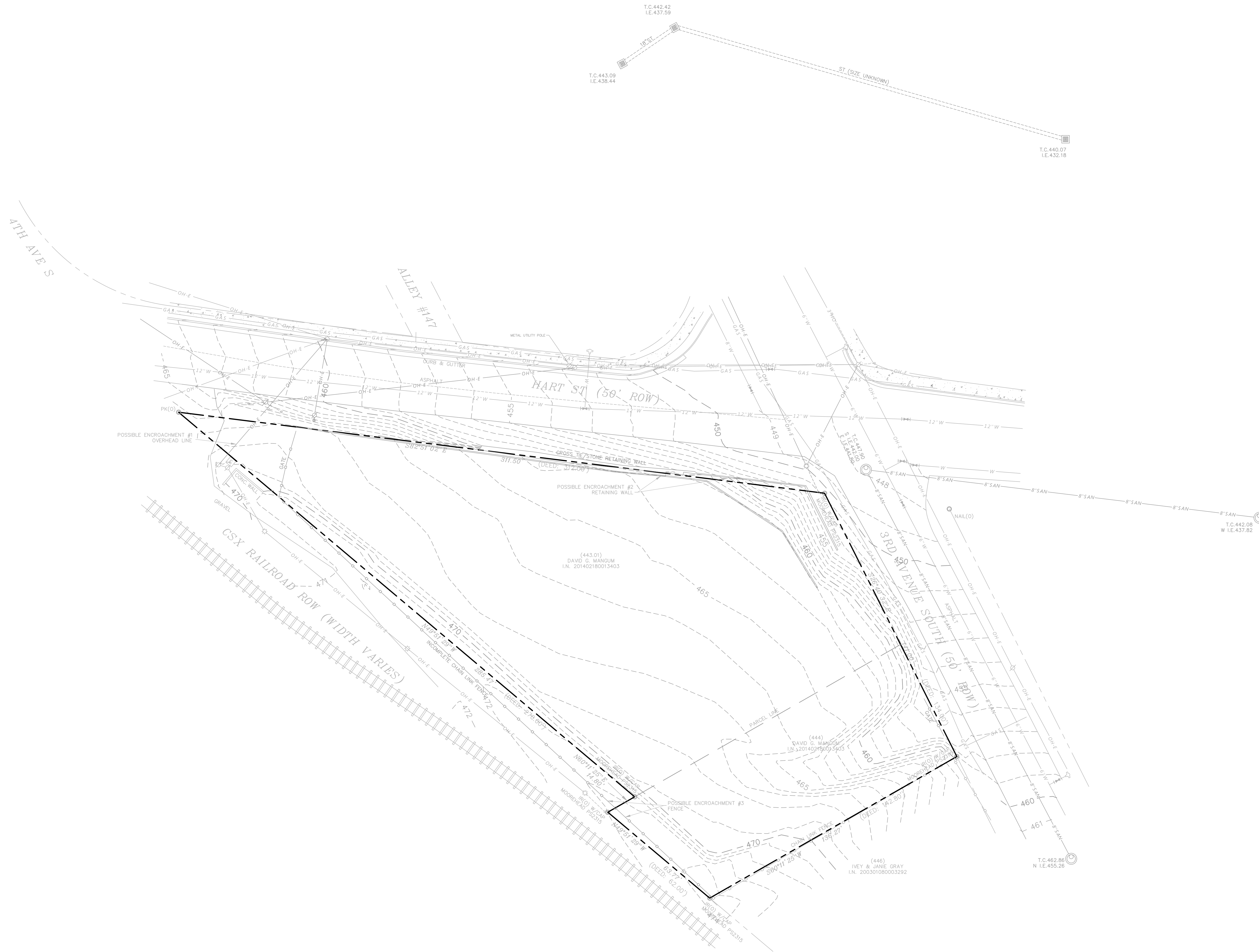


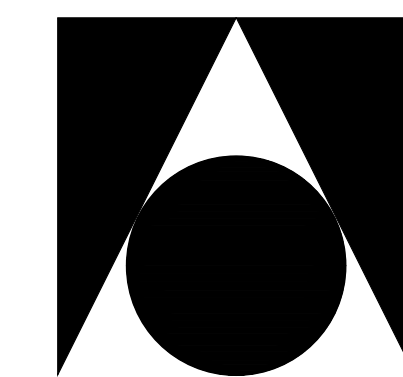
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EXISTING CONDITONS

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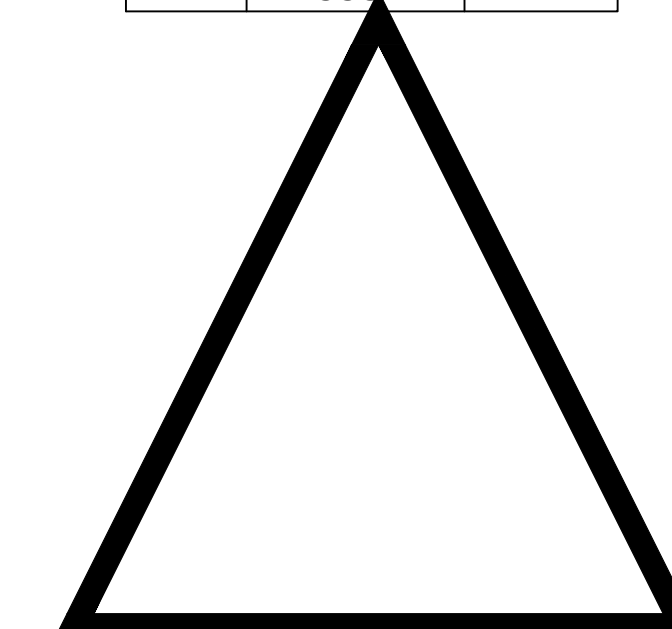
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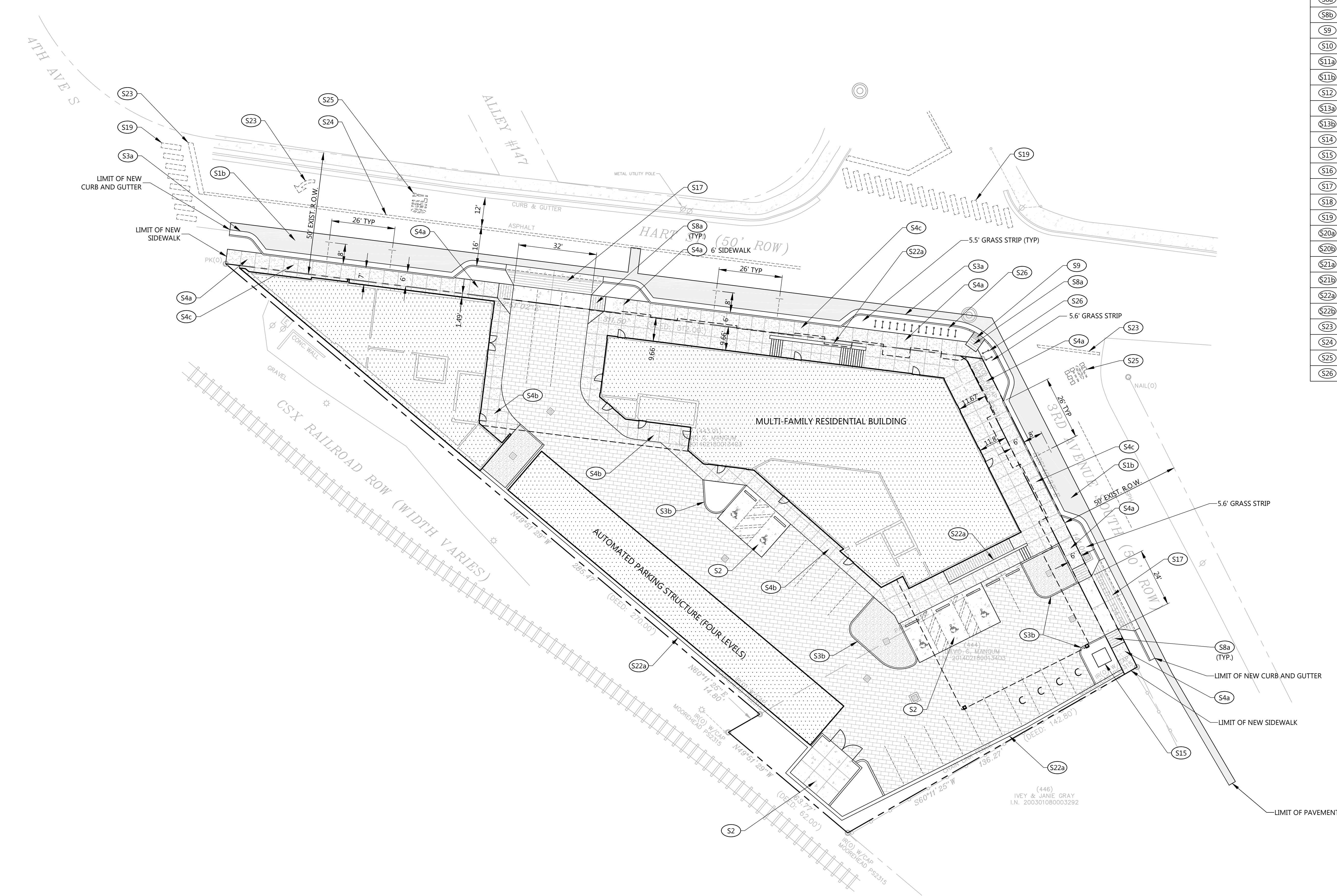


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SITE LAYOUT  
**C3.0**

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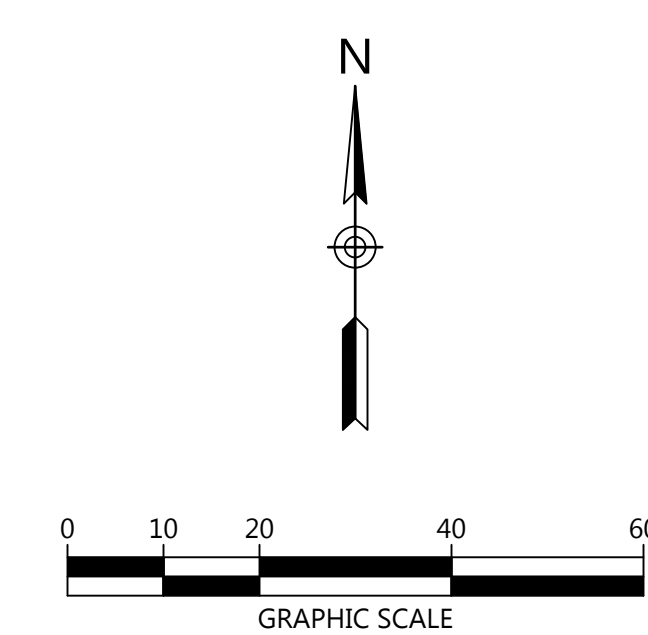
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(S1a)	ASPHALT PAVEMENT - LIGHT DUTY	
(S1b)	ASPHALT PAVEMENT - HEAVY DUTY	
(S1c)	ASPHALT PAVEMENT - OVERLAY	
(S2)	CONCRETE PAVEMENT	
(S3a)	CONCRETE CURB & GUTTER	
(S3b)	CONCRETE POST CURB	
(S3c)	CONCRETE EXTRUDED CURB	
(S4a)	CONCRETE SIDEWALK	
(S4b)	CONCRETE SIDEWALK WITH TURN DOWN CURB	
(S4c)	CONCRETE SIDEWALK AT CURB & GUTTER	
(S5)	SIDEWALK JOINTS	
(S6)	ACCESSIBLE SYMBOL	
(S7)	ACCESSIBLE PARKING SPACE	
(S8a)	ACCESSIBLE RAMP	
(S8b)	ACCESSIBLE WINGED RAMP	
(S9)	TACTILE WARNING SURFACE	
(S10)	CONCRETE WHEELSTOP	
(S11a)	CONCRETE STAIRS WITH HANDRAIL	
(S11b)	CONCRETE STAIRS WITH HANDRAIL/GUARDRAIL	
(S12)	ELEVATED WALK	
(S13a)	RAMP WITH HANDRAIL	
(S13b)	RAMP WITH HANDRAIL/GUARDRAIL	
(S14)	BOLLARD	
(S15)	UTILITY PAD	
(S16)	CONCRETE DUMPSTER PAD	
(S17)	DRIVEWAY RAMP	
(S18)	DIRECTIONAL ARROWS	
(S19)	PEDESTRIAN CROSSWALK	
(S20a)	CHAIN LINK FENCE (SPECIFY HEIGHT)	
(S20b)	WOODEN SCREEN FENCE (SPECIFY HEIGHT)	
(S21a)	GUARDRAIL	
(S21b)	GUARDRAIL WITH HANDRAIL	
(S22a)	CONCRETE RETAINING WALL	
(S22b)	SEGMENTAL RETAINING WALL	
(S23)	PAINTED STOP BAR (SPECIFY WIDTH)	
(S24)	PAINTED DOUBLE YELLOW STRIPING	
(S25)	PAINTED PAVEMENT LEGEND (MESSAGE VARIES)	
(S26)	BICYCLE RACK (28 TOTAL SPACES)	



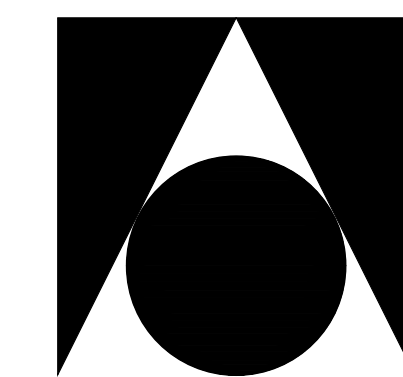
- NOTES:**
1. THE FINAL SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWALKS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5 FEET OF CLEAR ACCESS.
  2. UPON COMPLETION OF THE PROJECT SIDEWALKS WITHIN THE SITE SHALL BE ADA COMPLIANT, WHICH MAY REQUIRE REPLACEMENT OF SIDEWALKS ALONG THE PROPERTY FRONTAGE.
  3. NO VERTICAL OBSTRUCTIONS SHALL BE WITHIN PROPOSED SIDEWALK. ALL POWER POLES, SIGNS, ETC. ARE TO BE RELOCATED AND THE SIDEWALK IS TO BE CLEAR FROM OBSTRUCTIONS.
  4. A RECYCLING CONTAINER SHALL BE PLACED INSIDE THE SOLID WASTE ROOM.

**PROPOSED FEATURES LEGEND**

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



G:\Projects\2016\514716018\Wing\Construction\514716018\_LAY.dwg-C3.0 SITE LAYOUT May 18, 2016 amaher



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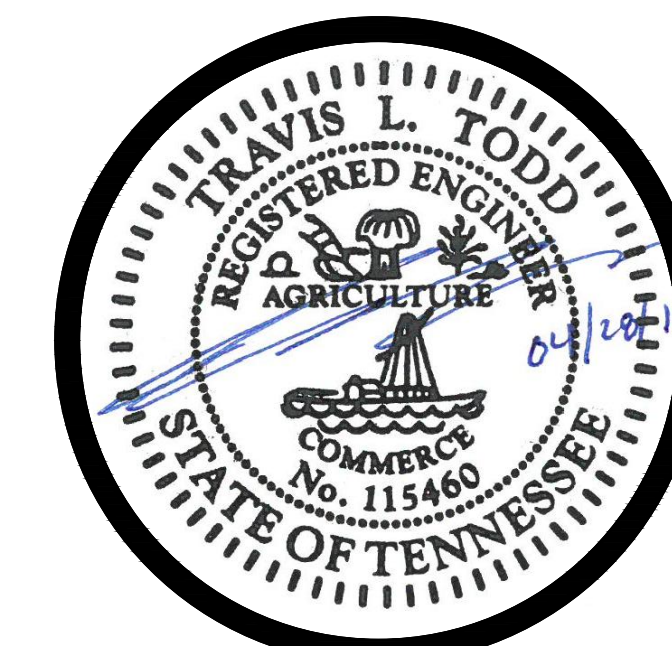
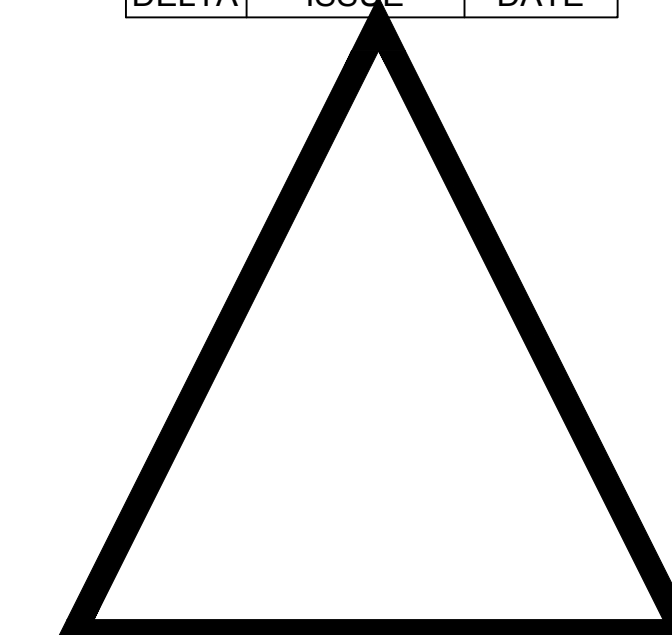
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GRADING AND DRAINAGE

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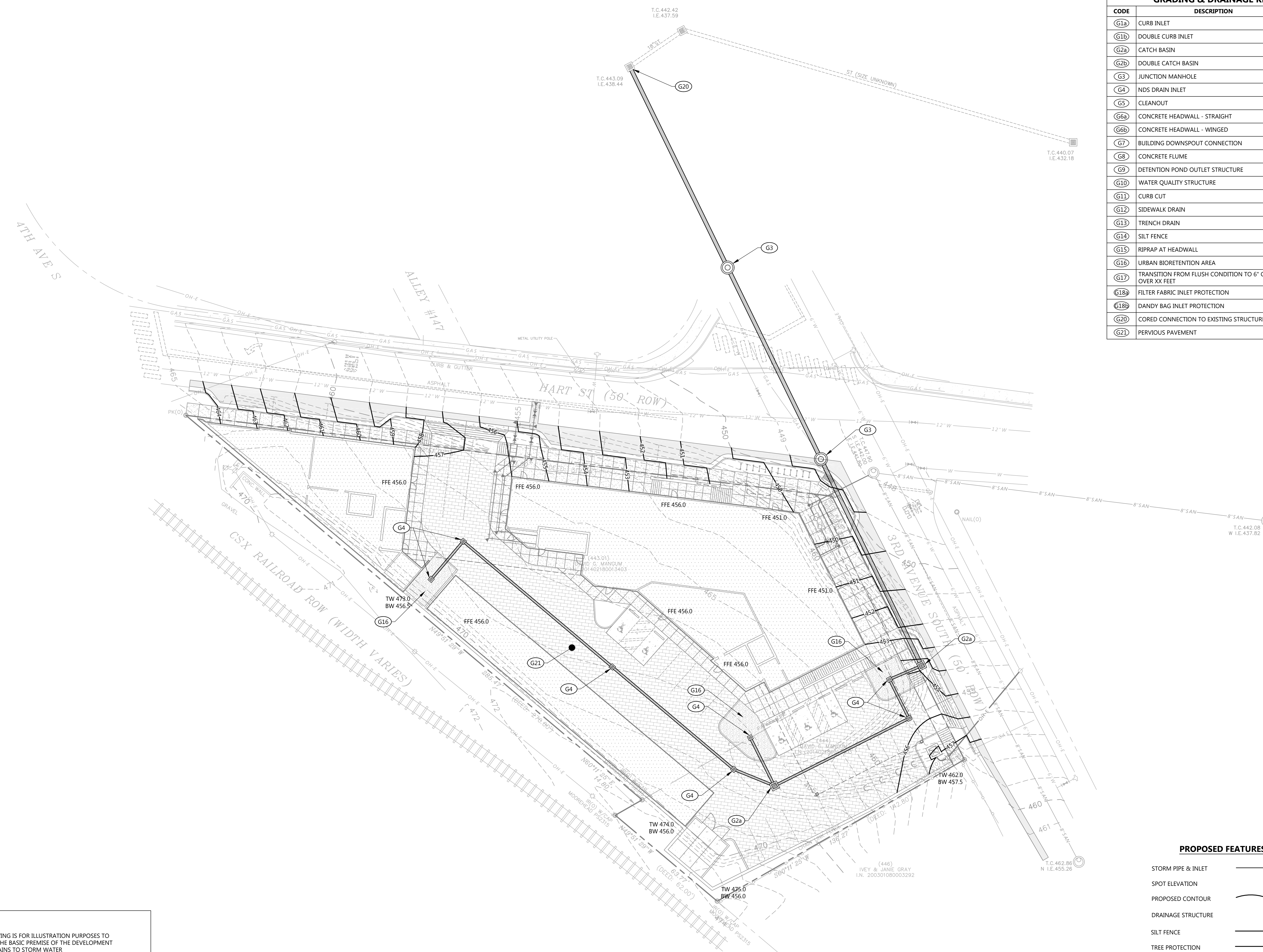
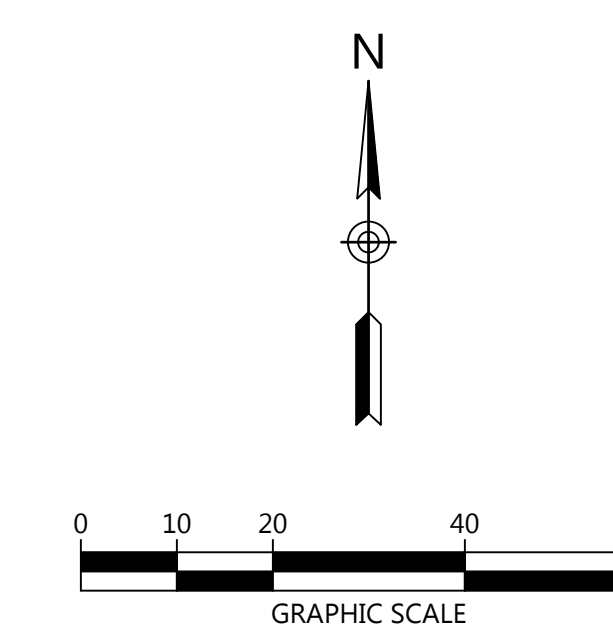
GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	
G1b	DOUBLE CURB INLET	
G2a	CATCH BASIN	
G2b	DOUBLE CATCH BASIN	
G3	JUNCTION MANHOLE	
G4	NDS DRAIN INLET	
G5	CLEANOUT	
G6a	CONCRETE HEADWALL - STRAIGHT	
G6b	CONCRETE HEADWALL - WINGED	
G7	BUILDING DOWNSPOUT CONNECTION	
G8	CONCRETE FLUME	
G9	DETENTION POND OUTLET STRUCTURE	
G10	WATER QUALITY STRUCTURE	
G11	CURB CUT	
G12	SIDEWALK DRAIN	
G13	TRENCH DRAIN	
G14	SILT FENCE	
G15	RIPRAP AT HEADWALL	
G16	URBAN BIORETENTION AREA	
G17	TRANSITION FROM FLUSH CONDITION TO 6" CURB OVER XX FEET	
G18a	FILTER FABRIC INLET PROTECTION	
G18b	DANDY BAG INLET PROTECTION	
G20	CORED CONNECTION TO EXISTING STRUCTURE	
G21	PERVIOUS PAVEMENT	

**PROPOSED FEATURES LEGEND**

STORM PIPE & INLET	— S T —
SPOT ELEVATION	+ 91.8
PROPOSED CONTOUR	— 90 —
DRAINAGE STRUCTURE	⊕ G3
SILT FENCE	— SF —
TREE PROTECTION	— T P —
INLET PROTECTION	— I P —
STRAW BALE FILTER	— S B F —

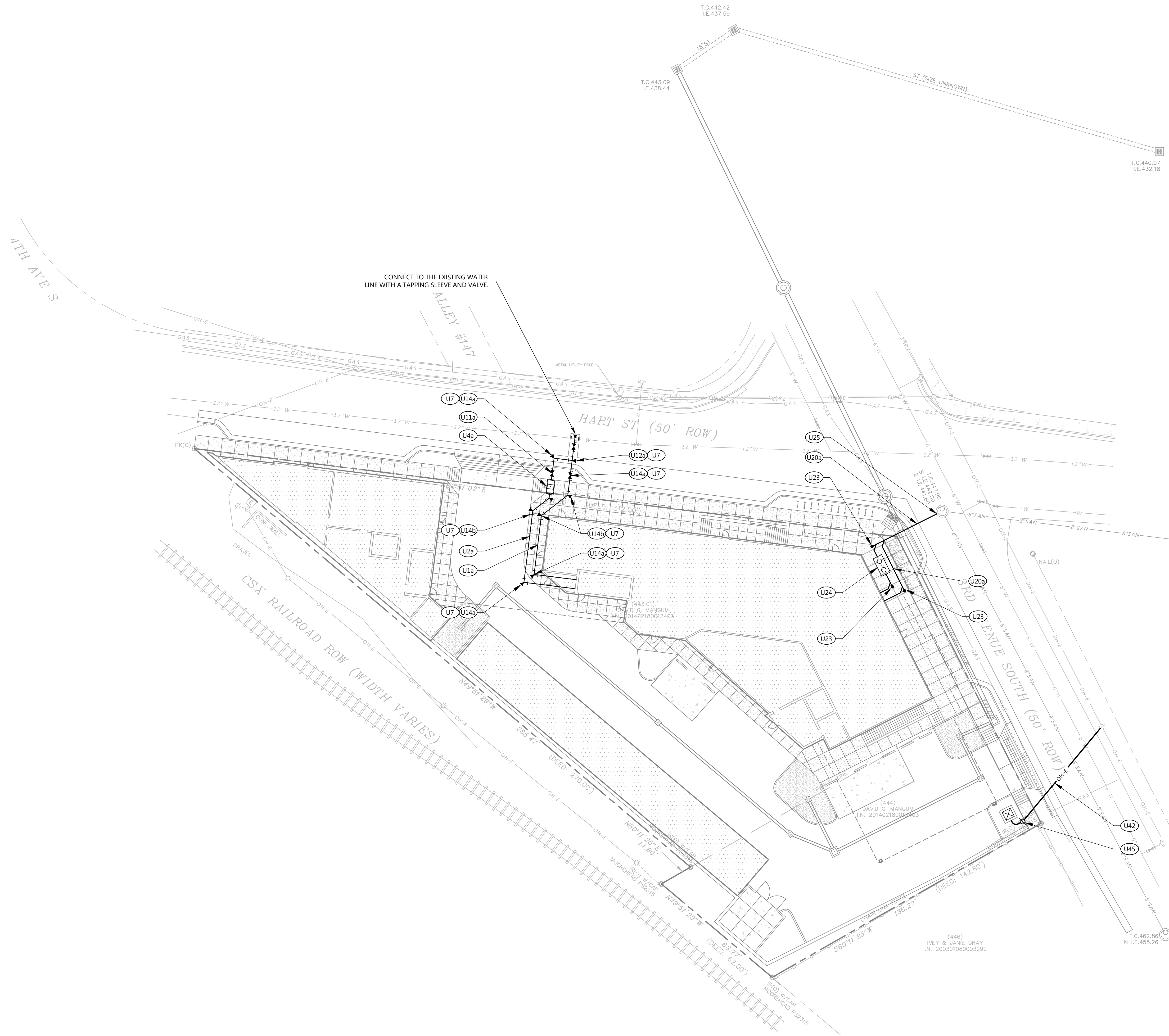


Know what's below.  
Call before you dig.




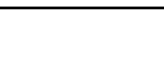

- NOTES:
- THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT AS IT PERTAINS TO STORM WATER APPROVAL/COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORM WATER REGULATIONS AT THE TIME OF FINAL APPLICATION.
  - THE NORTH ARROW AND COORDINATES SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, NAD 1983.
  - THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE "X" (NOT AN AREA OF SIGNIFICANT FLOOD HAZARD) AS INDICATED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) FOR DAVIDSON COUNTY TENNESSEE, COMMUNITY PANEL No. 47037C0219F, DATED APRIL 20, 2001.

- ◆ SITE BM:  
TAG BOLT #2712 V22 ON FIRE HYDRANT LOCATED NEAR THE NORTHWEST INTERSECTION OF HART ST AND 3RD AVE S  
ELEV. 454.99
- ◆ PROJECT BM:  
NAVD 88 (GPS DERIVED)



UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1a	WATER LINE (SPECIFY SIZE)	
U1b	WATER LINE (SPECIFY SIZE)	
U2a	FIRE LINE (SPECIFY SIZE)	
U2b	FIRE LINE (SPECIFY SIZE)	
U3a	IRRIGATION LINE (SPECIFY SIZE)	
U3b	IRRIGATION LINE (SPECIFY SIZE)	
U4a	WATER METER (SPECIFY SIZE)	
U4b	WATER METER (SPECIFY SIZE)	
U5	REDUCED PRESSURE BACKFLOW PREVENTER (SIZE?)	
U6	DOUBLE DETECTOR CHECK VALVE ASSEMBLY (SIZE?)	
U7	WATER BLOCKING/KICKERS	
U8	POST INDICATOR VALVE	
U9	FIRE DEPARTMENT CONNECTION	
U10	FIRE HYDRANT ASSEMBLY	
U11a	WATER VALVE (SPECIFY SIZE)	
U11b	WATER VALVE (SPECIFY SIZE)	
U12a	TEE (SPECIFY SIZE)	
U12b	TEE (SPECIFY SIZE)	
U14a	90° ELL	
U14b	45° ELL	
U20a	SANITARY SEWER LINE (SPECIFY SIZE)	
U20b	SANITARY SEWER LINE (SPECIFY SIZE)	
U21	SANITARY SEWER FORCE MAIN (SPECIFY SIZE)	
U22	SANITARY SEWER MANHOLE	
U23	SANITARY SEWER CLEANOUT	
U24	GREASE INTERCEPTOR	
U25	CORED CONNECTION TO EXISTING STRUCTURE	
U30	NATURAL GAS LINE (SPECIFY SIZE)	
U31	NATURAL GAS METER (SPECIFY SIZE)	
U40	ELECTRIC TRANSFORMER	
U41	UNDERGROUND ELECTRIC LINE	
U42	OVERHEAD ELECTRIC LINE	
U43	UNDERGROUND COMMUNICATION LINE	
U44	OVERHEAD COMMUNICATION LINE	
U45	ELECTRIC SERVICE POLE	
U46	CONDUIT SLEEVES (SPECIFY NUMBER & SIZE)	

**PROPOSED FEATURES LEGEND**

- DOMESTIC SERVICE — D W —
- FIRE SERVICE — F — F —
- GAS LINE — GAS —
- WATER LINE WITH 90° THRUST BLOCK —  —
- SANITARY SEWER LINE WITH CLEANOUT —  —
- NEW FIRE HYDRANT —  —
- UNDERGROUND ELECTRIC — UGE — UGE —



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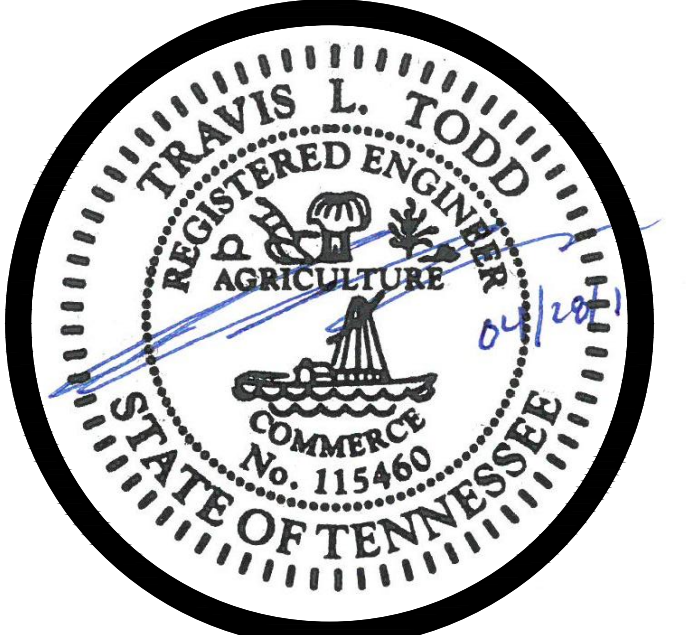
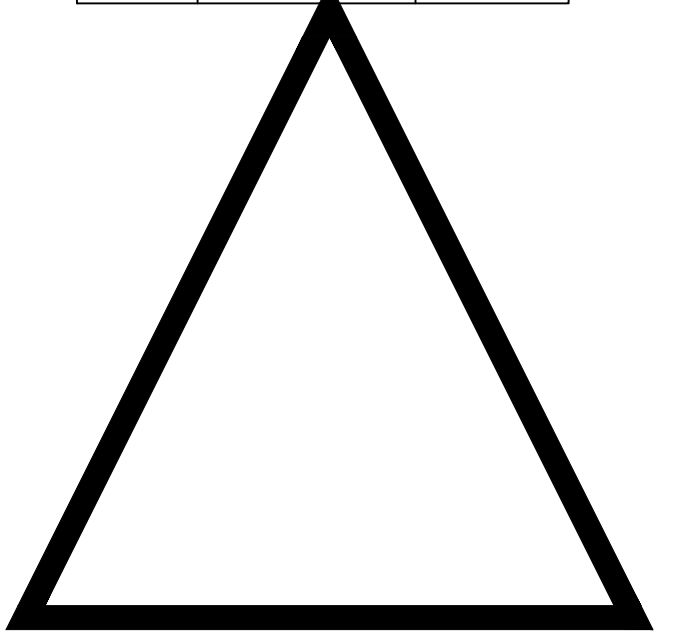
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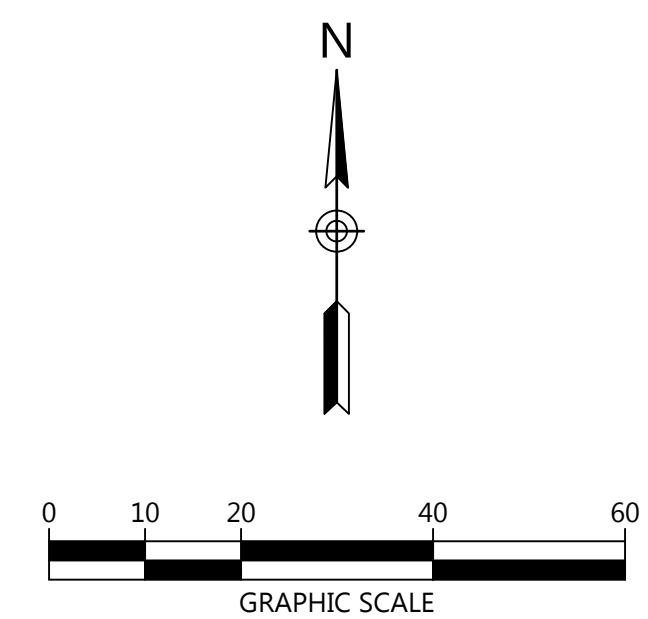
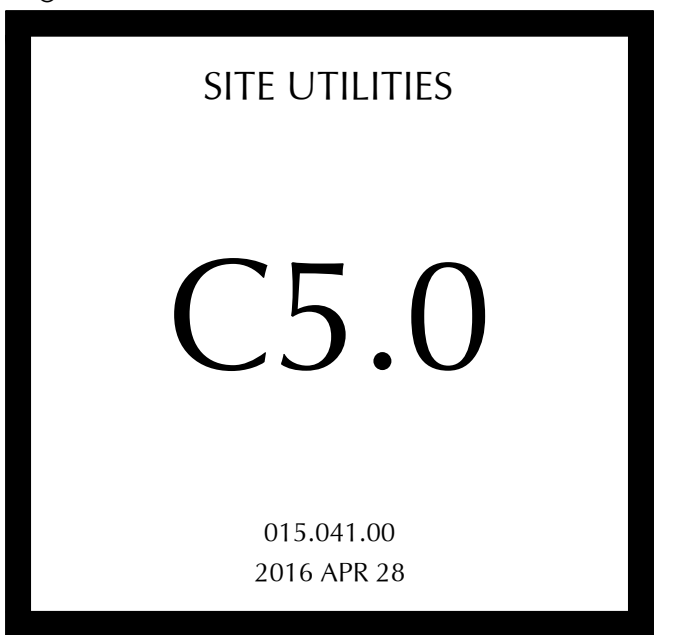


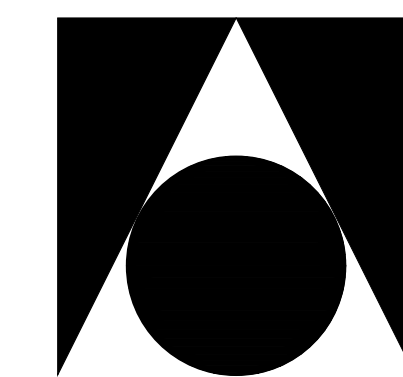
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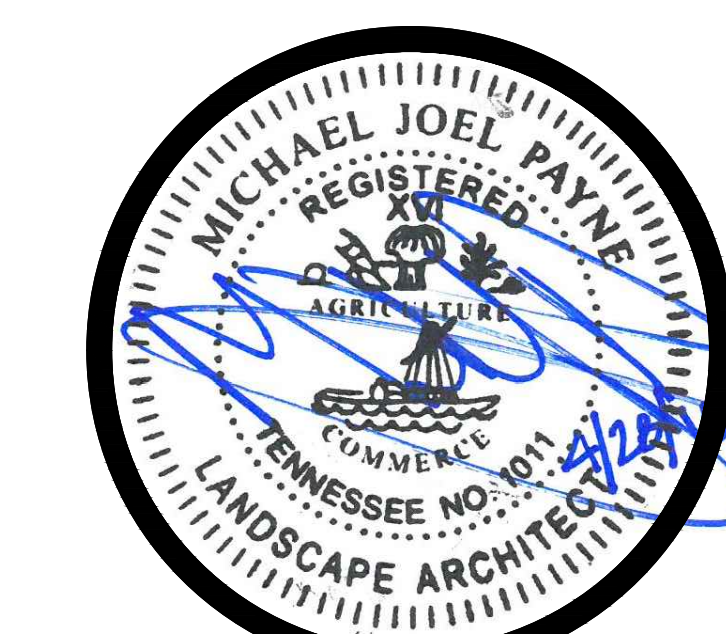
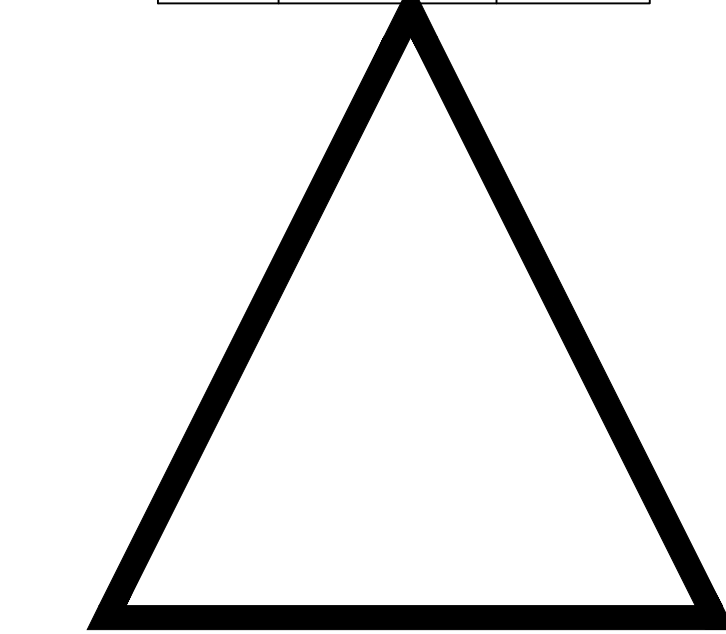
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LANDSCAPE  
PLAN

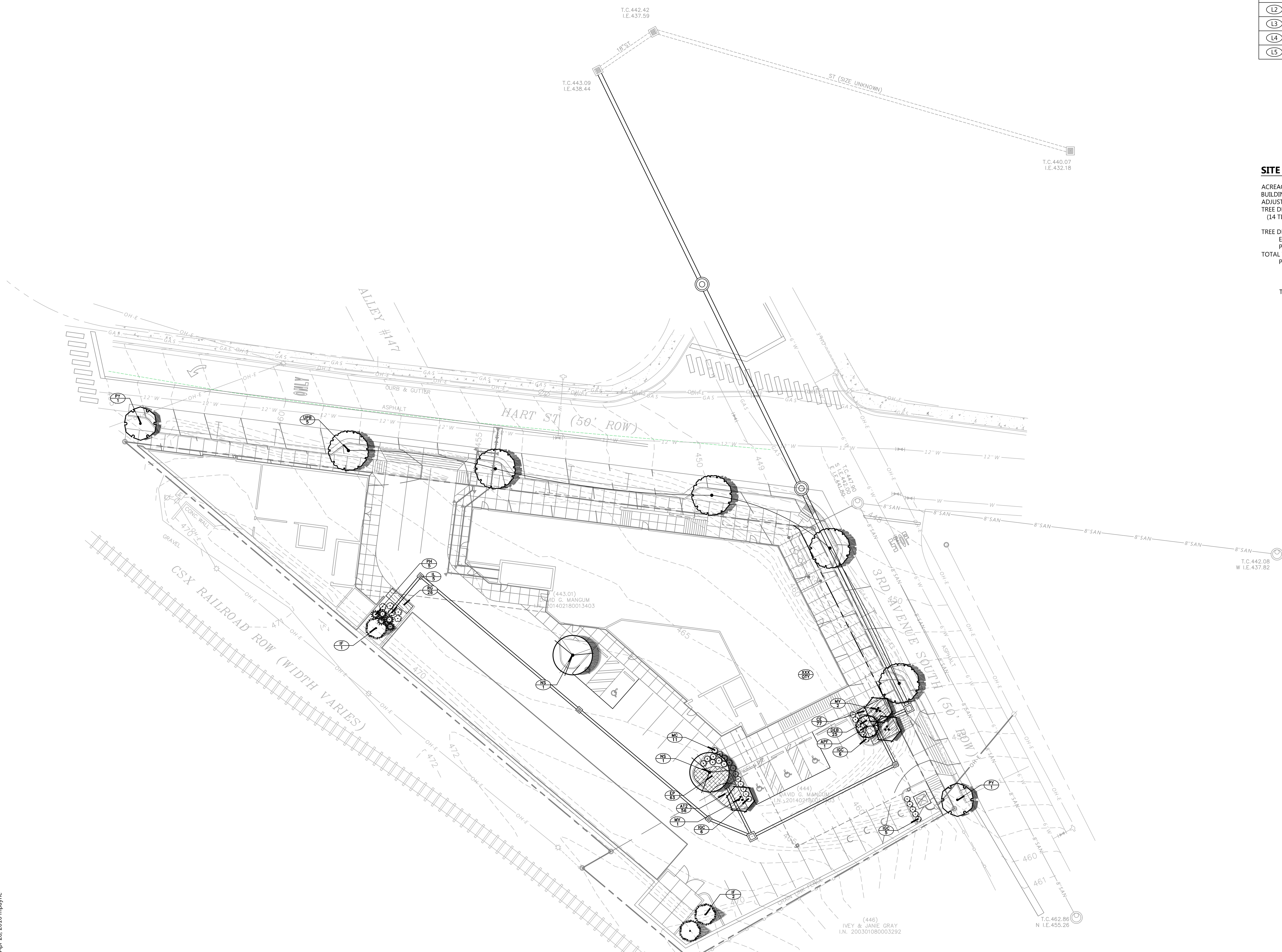
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2016 APR  
28

LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
(L1)	PLANTING BED LIMITS	
(L2)	IRRIGATION LIMITS	
(L3)	AREA TO BE SEEDED	
(L4)	AREA TO BE SODDED	
(L5)	AREA TO BE 4"-6" RIVER ROCK	

**SITE TREE DENSITY CALCULATIONS**

ACREAGE:	0.90
BUILDING ACREAGE:	0.56
ADJUSTED ACREAGE:	0.34
TREE DENSITY UNITS REQUIRED: (14 TDU/Ac. x 0.34)	<u>4.76</u>
TREE DENSITY UNITS PROVIDED:	
EXISTING TREE CREDITS:	N/A
PROPOSED TREES: (SEE CHART BELOW)	5.0
TOTAL TREE DENSITY UNITS PROVIDED:	<u>5.0</u>
PROPOSED TREES:	
2" 06 x 0.5 =	3.0
3" 01 x 0.6 =	0.6
4" 02 x 0.7 =	1.4
TOTAL	<u>5.0</u>



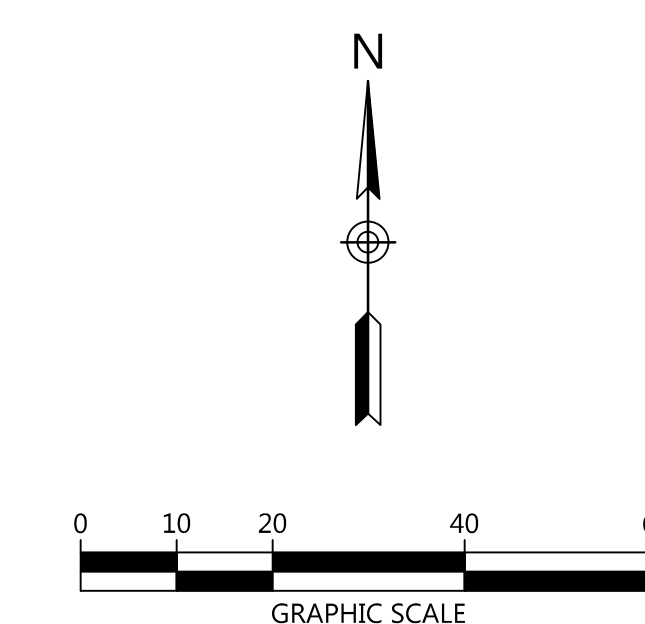
**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	SPREAD	REMARKS	
APF	1	Acer palmatum 'Fraglow'	Fireglow Japanese Maple	B & B	3" Cal	6-7'	4-5'	Specimen; Well branched	
IF	3	Ilex x attenuata 'Foster'	Foster's Holly	B & B	2" Cal	8'	3-4'		
MV	3	Magnolia virginiana 'Cully'	Sweet Bay	B & B	2" min/stem	8-9'	3'-4'	balanced canopy; matched; 3 stems max, equal diameter	
NS	2	Nyssa sylvatica	Sour Gum	B & B	4" Cal	16-18'	5'	Well branched	
PY	2	Prunus x yedoensis	Yoshino Cherry	B & B	3" Cal	10-12'		Well formed crown	
UPB	5	Ulmus parvifolia 'Bosque'	Bosque Lacebark Elm	B & B	3"	14-16'	4.5-5'	Well branched	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
IGC	17	Ilex glabra 'Compacta'	Compact Inkberry Holly	#3 Cont.		21-24"	18"	30" o.c.	
IL	5	Itea virginica 'Little Henry' TM	Virginia Sweetspire	#3 Cont.		15-18"	15-18"	36" o.c.	
MC	11	Muhlenbergia capillaris 'Lenca'	Regal Mist Muhly Grass	#3 Cont.		3'		36" o.c.	
PH	5	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	#3 Cont.		24-30"	24-30"	48" o.c.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CALIPER	HEIGHT	SPREAD	SPACING	REMARKS
ATZ	56	Asclepias tuberosa	Butterfly Milkweed	#1 Cont.		12"	12"	18" o.c.	
CE	77	Carex oshimensis 'Everillo'	Everillo Japanese Sedge	#1 Cont.		12"	12"	18" o.c.	
DEB	25	Dryopteris erythrosora 'Brilliance'	Brilliance Autumn Fern	#1 Cont.		12"	12-15"	18" o.c.	Plant on 18" centers
EP	63	Echinacea purpurea	Purple Coneflower	# 3 Cont.				18" o.c.	
RG	26	Rudbeckia fulgida sultivantill 'Goldsturm'	Black-eyed Susan	Quart				18" o.c.	

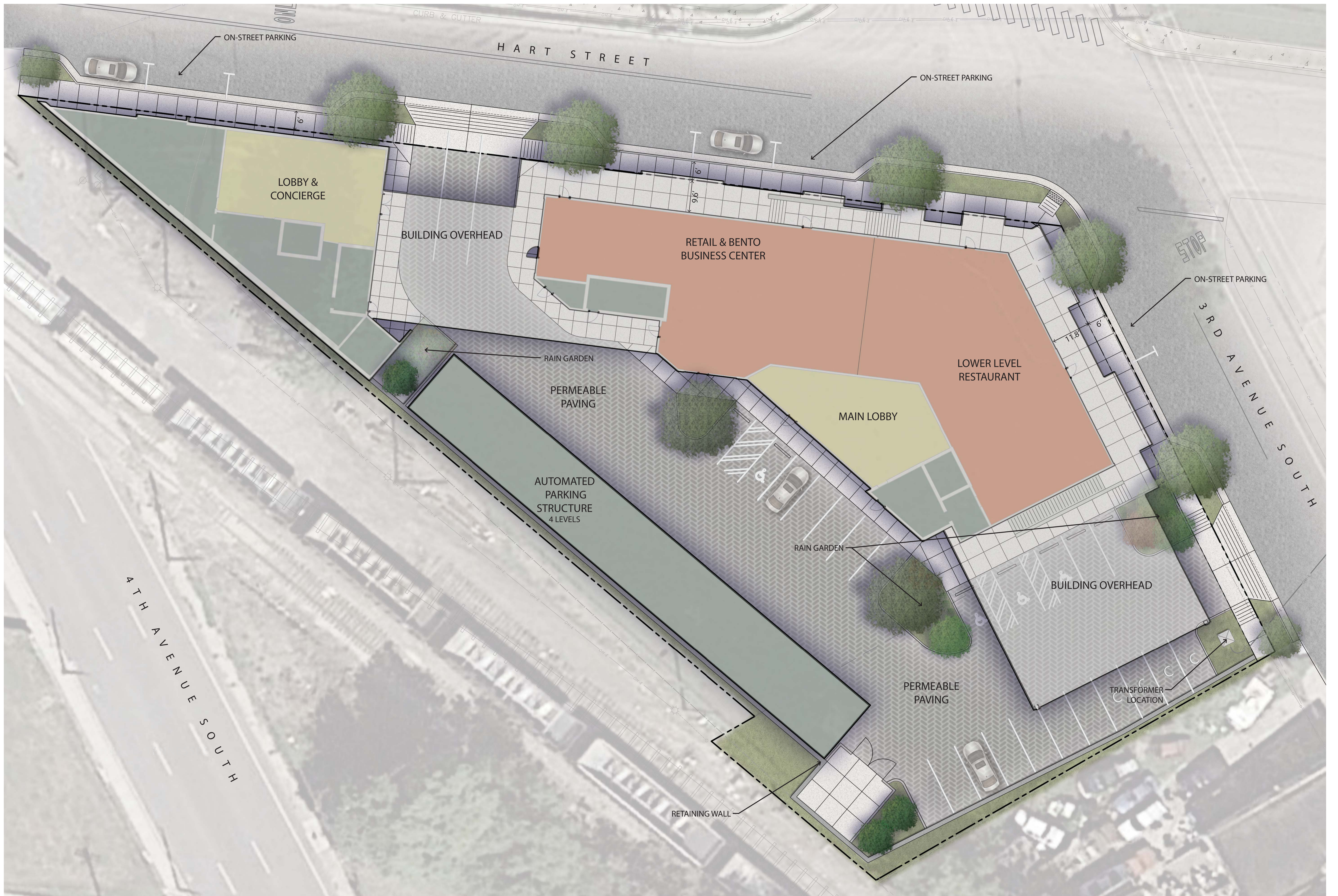
\* TREES WITHIN ROW NOT COUNTED IN TDU COUNT



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Call before you dig.

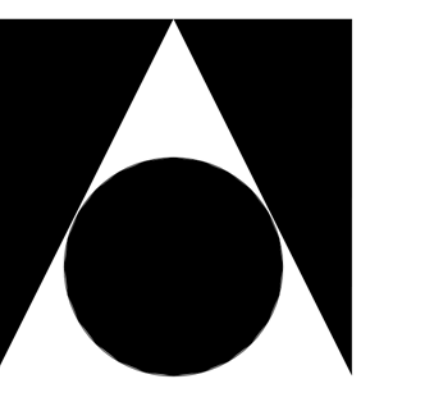


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 NASHVILLE, TENNESSEE - APRIL 28, 2016  
 ILLUSTRATIVE SITE PLAN - L2.0





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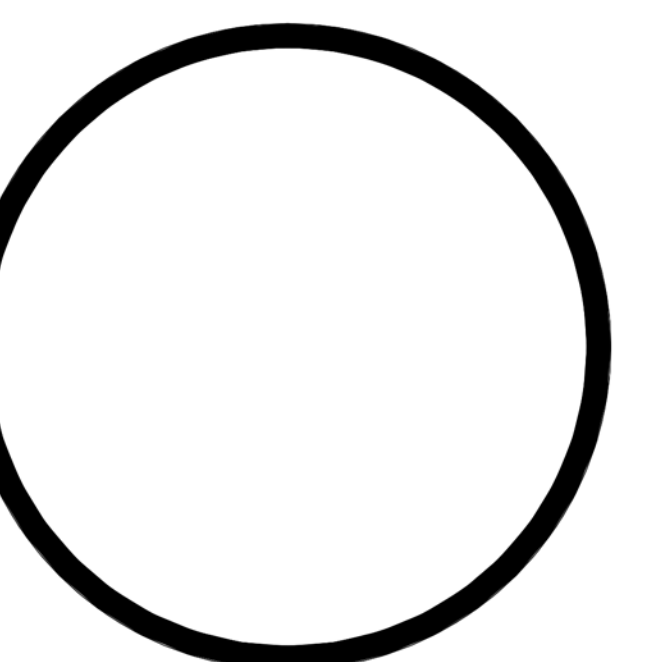
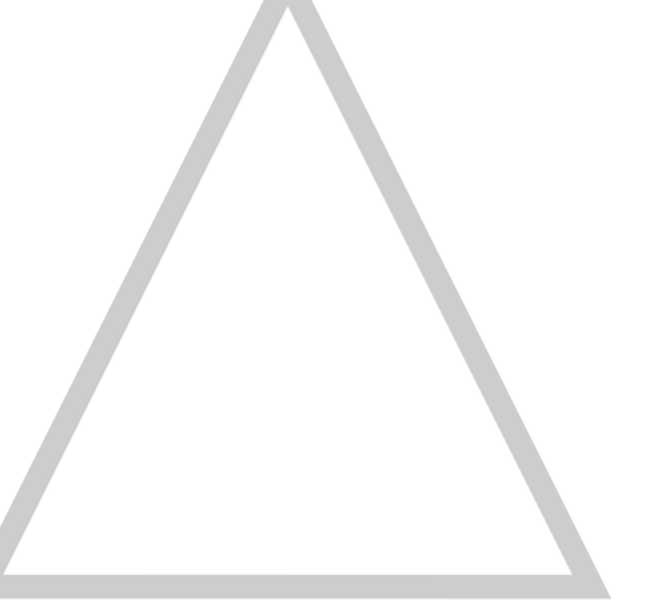


2 CORNER OF 4TH AVENUE SOUTH AND HART



1 ELEVATION ALONG HART STREET - VIEW FROM 3RD STREET

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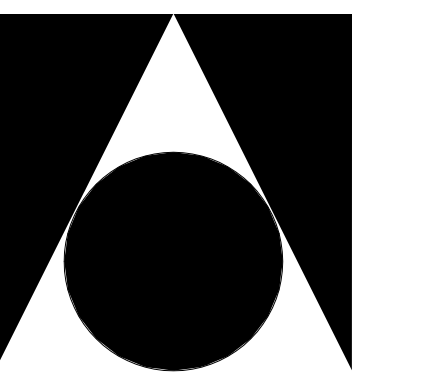
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3D VIEWS

**A01**

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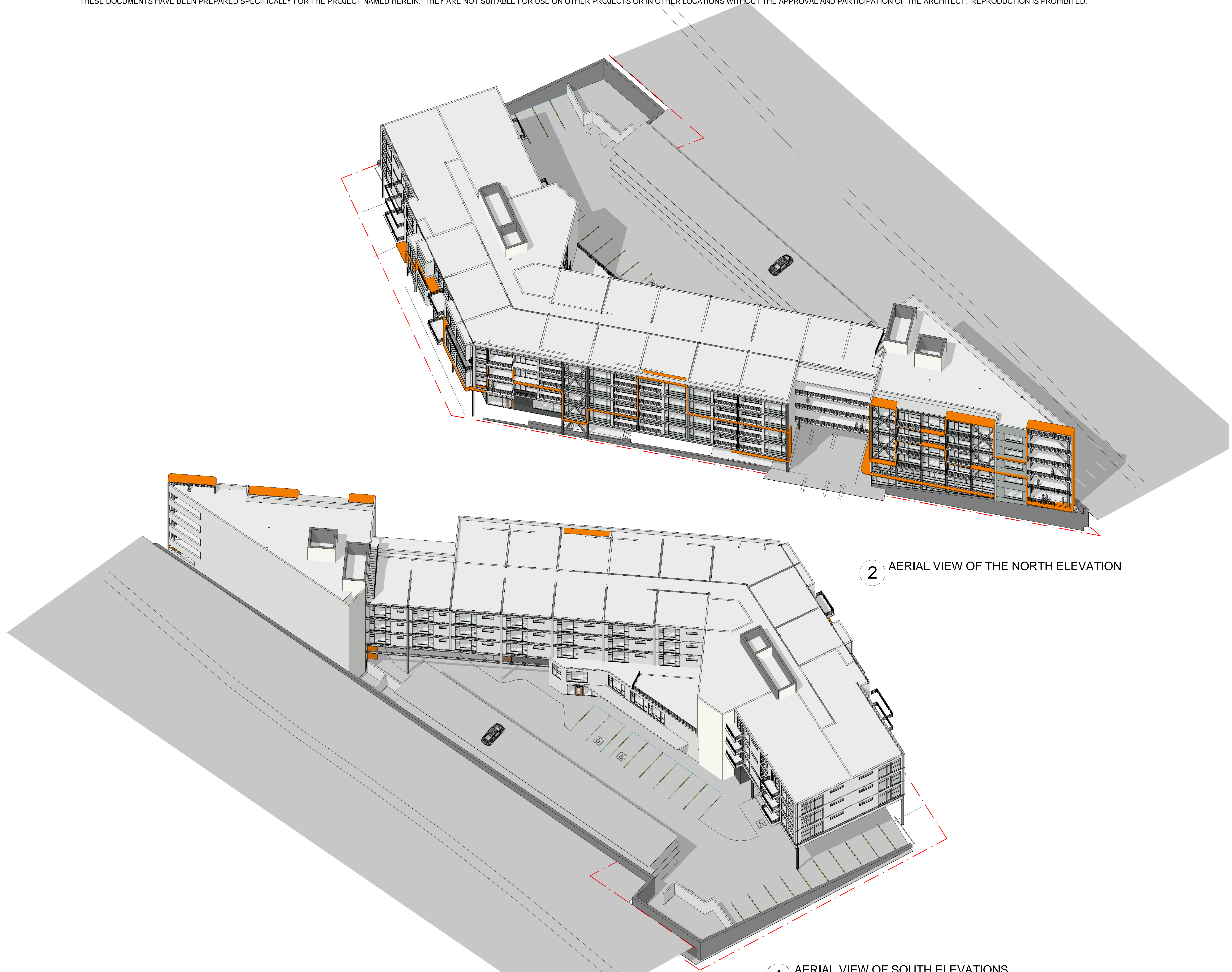


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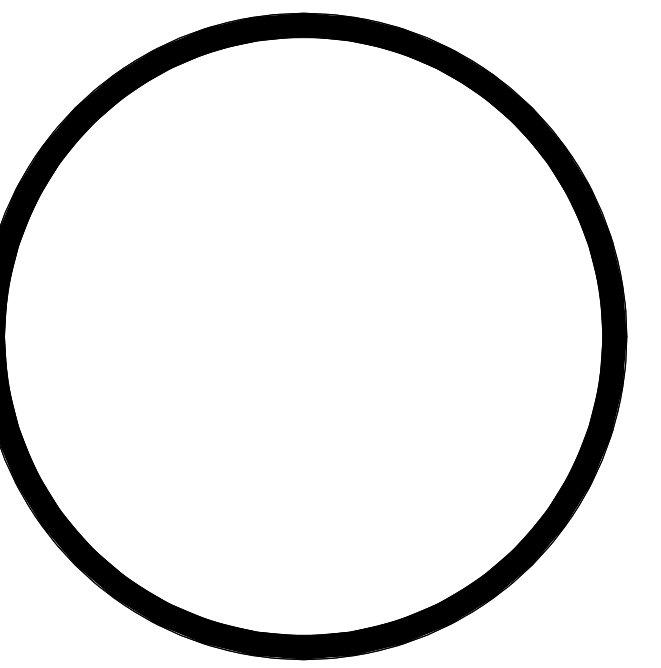
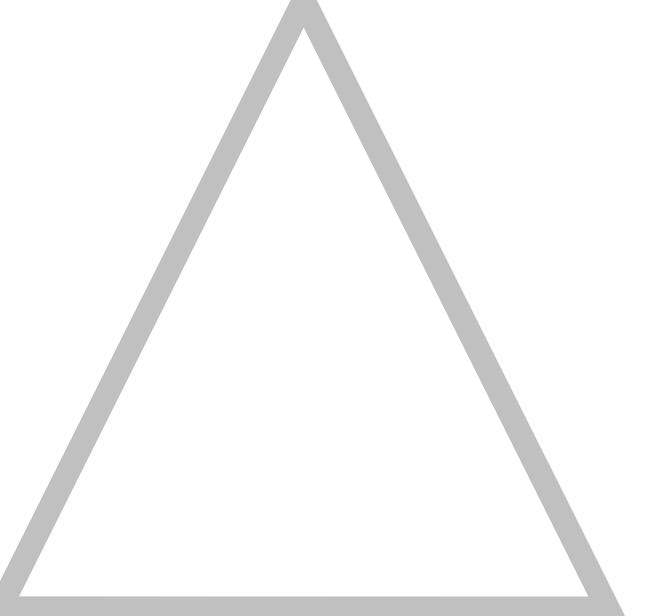
1267 3RD AVENUE S.



2 AERIAL VIEW OF THE NORTH ELEVATION

1 AERIAL VIEW OF SOUTH ELEVATIONS

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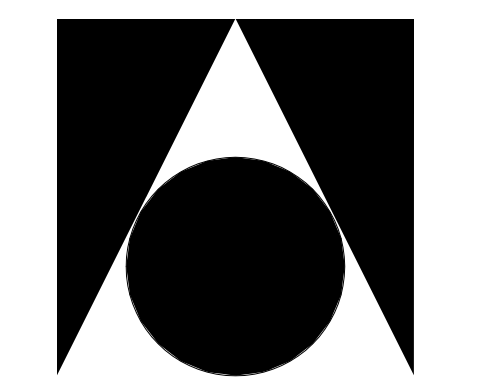


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3D VIEWS

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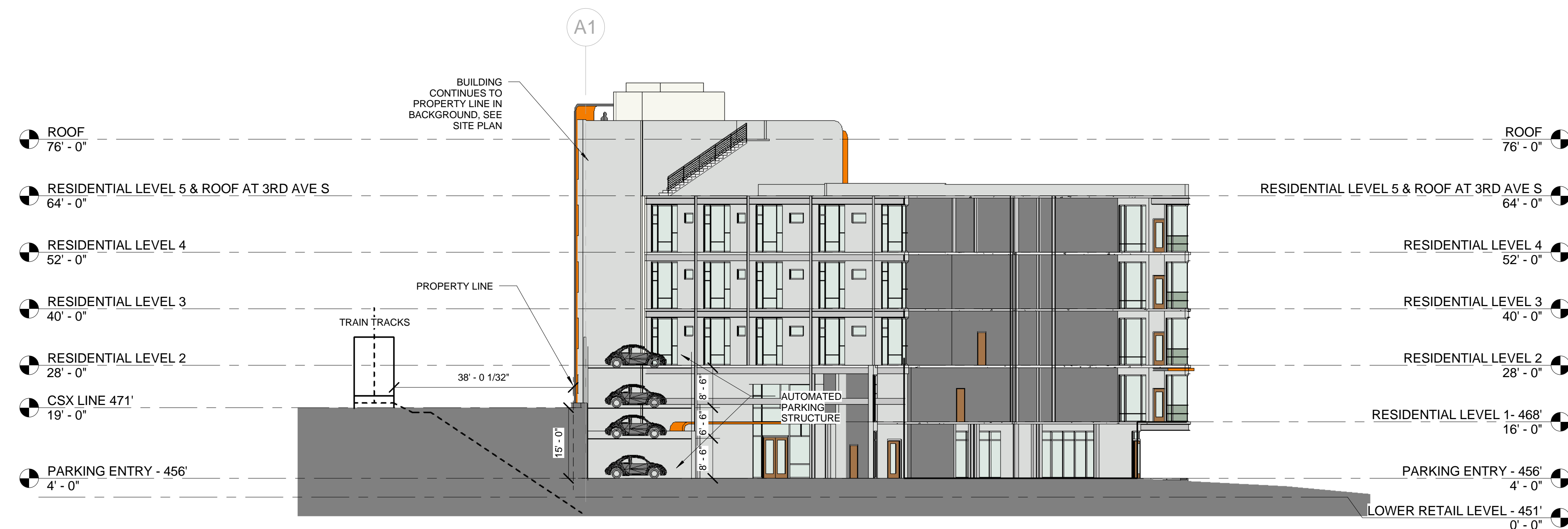
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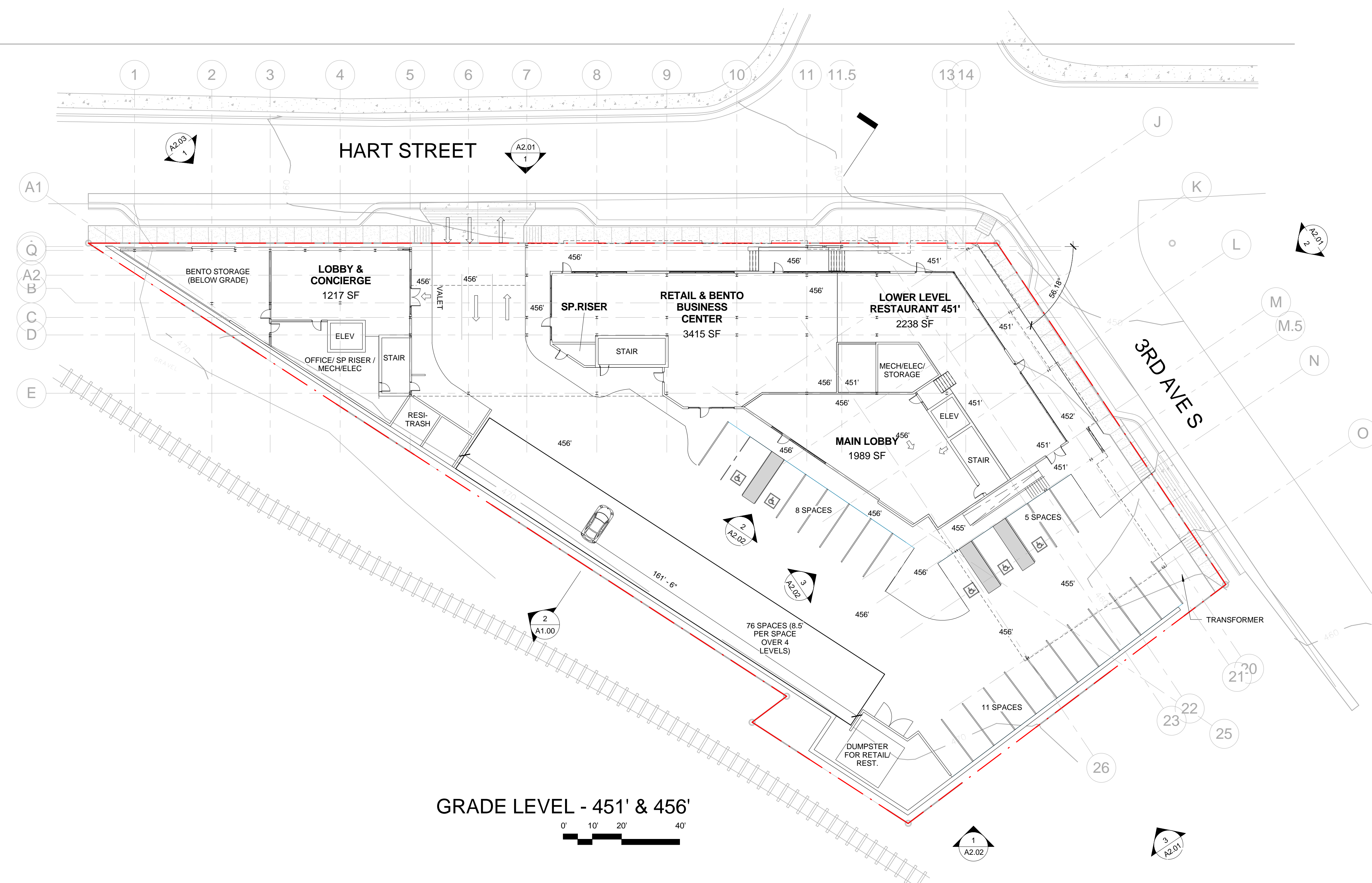
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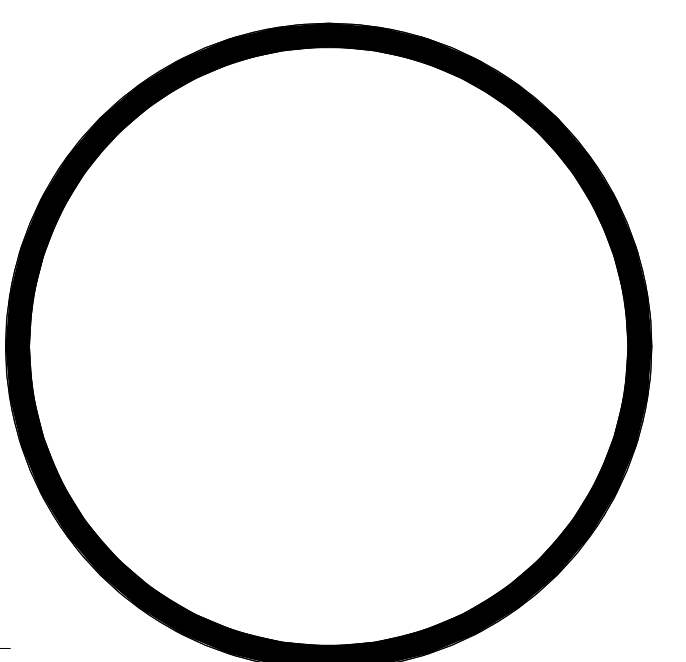
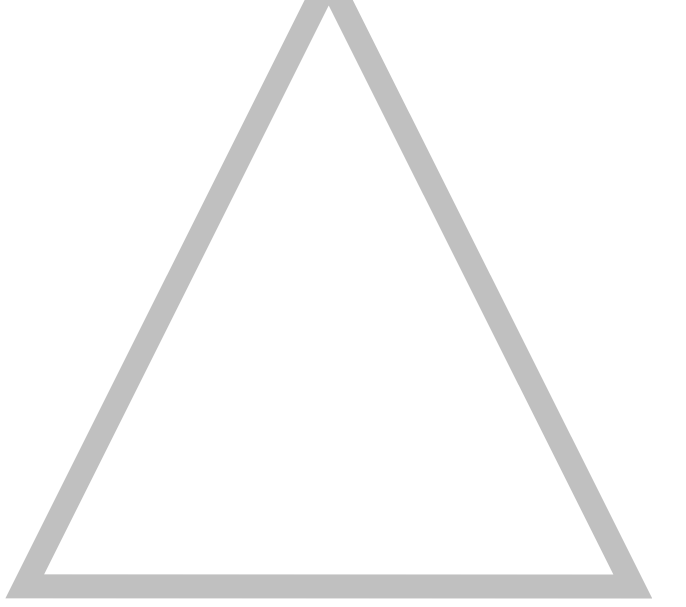


**2** SITE SECTION



**1** SITE PLAN - GRADE LEVEL PLAN

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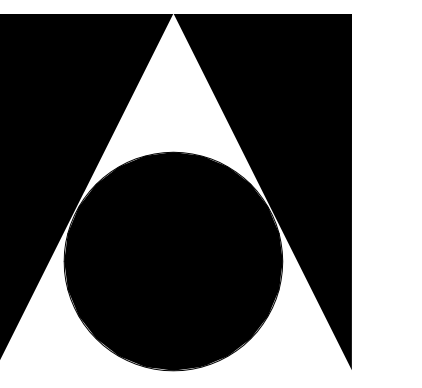


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GRADE LEVEL FLOOR PLAN

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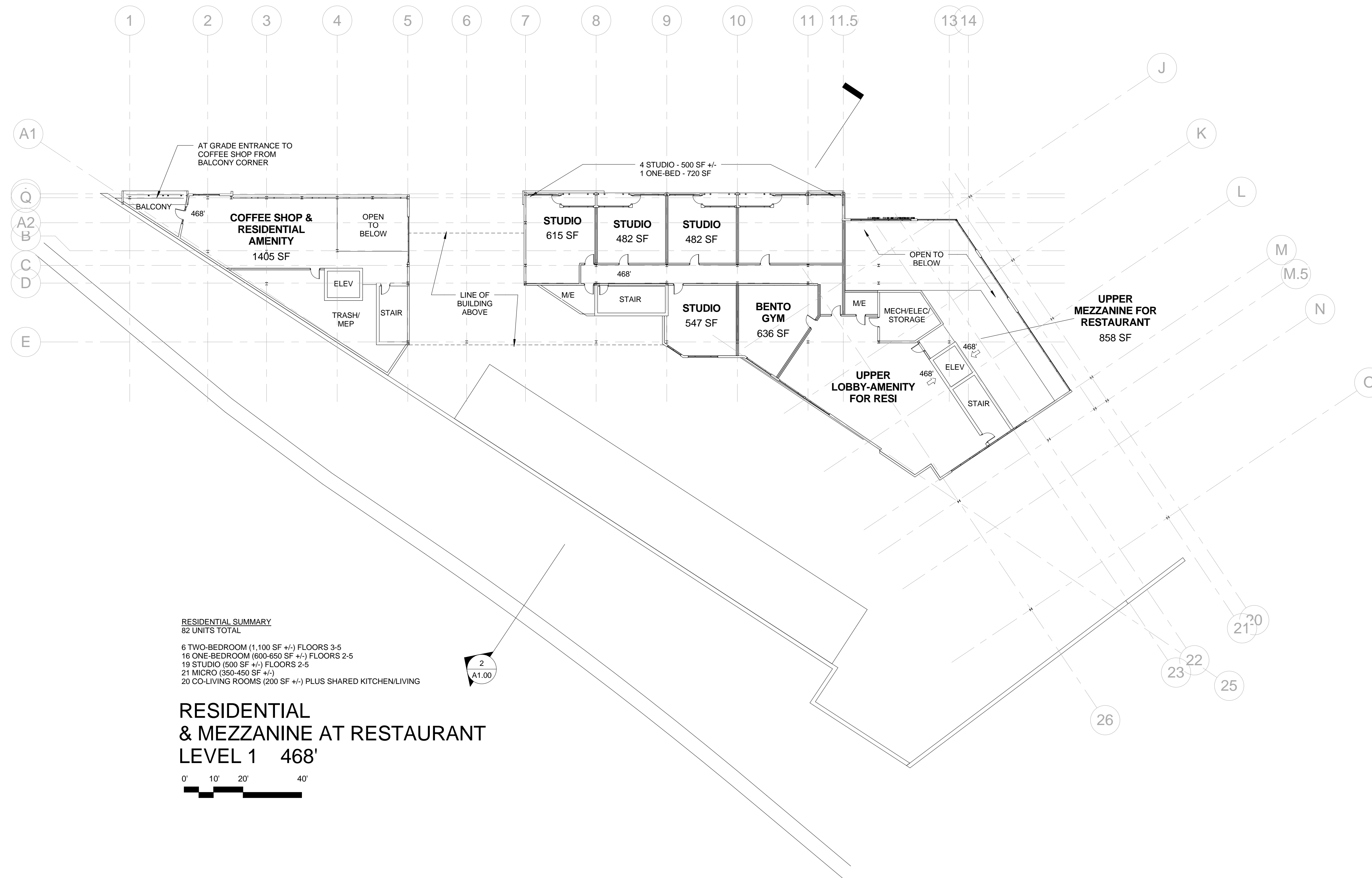


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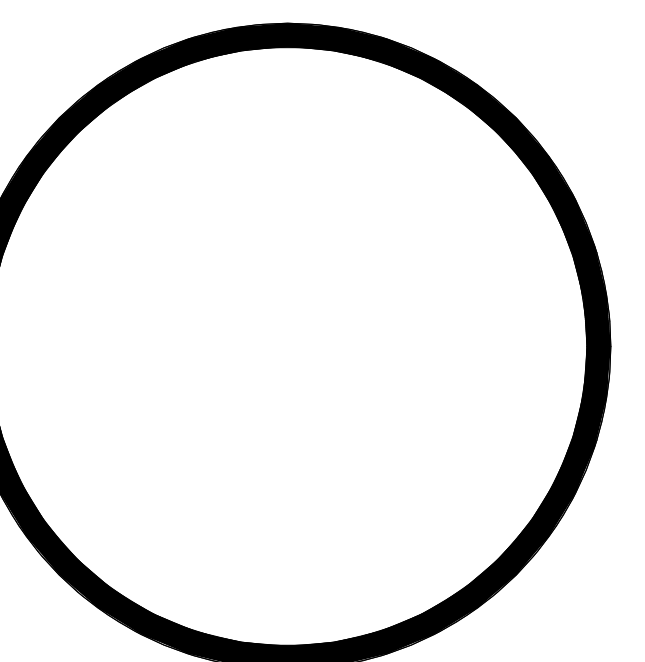
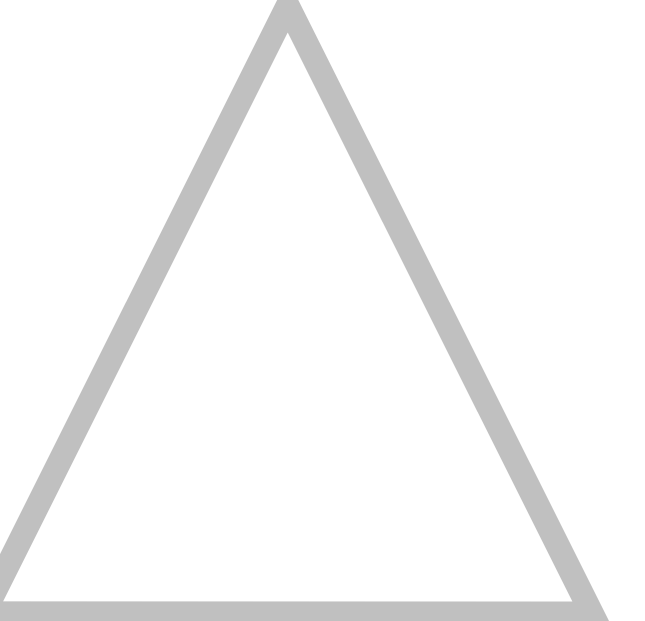


**RESIDENTIAL SUMMARY**  
82 UNITS TOTAL  
6 TWO-BEDROOM (1,100 SF +/-) FLOORS 3-5  
16 ONE-BEDROOM (600-650 SF +/-) FLOORS 2-5  
19 STUDIO (500 SF +/-) FLOORS 2-5  
21 MICRO (350-450 SF +/-)  
20 CO-LIVING ROOMS (200 SF +/-) PLUS SHARED KITCHEN/LIVING

**RESIDENTIAL  
& MEZZANINE AT RESTAURANT  
LEVEL 1 468'**

0' 10' 20' 40'

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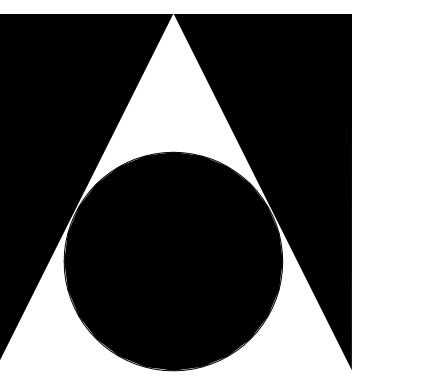
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RESIDENTIAL LEVEL 1

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**1** RESIDENTIAL LEVEL 1 - AT GRADE AT CORNER OF 4TH

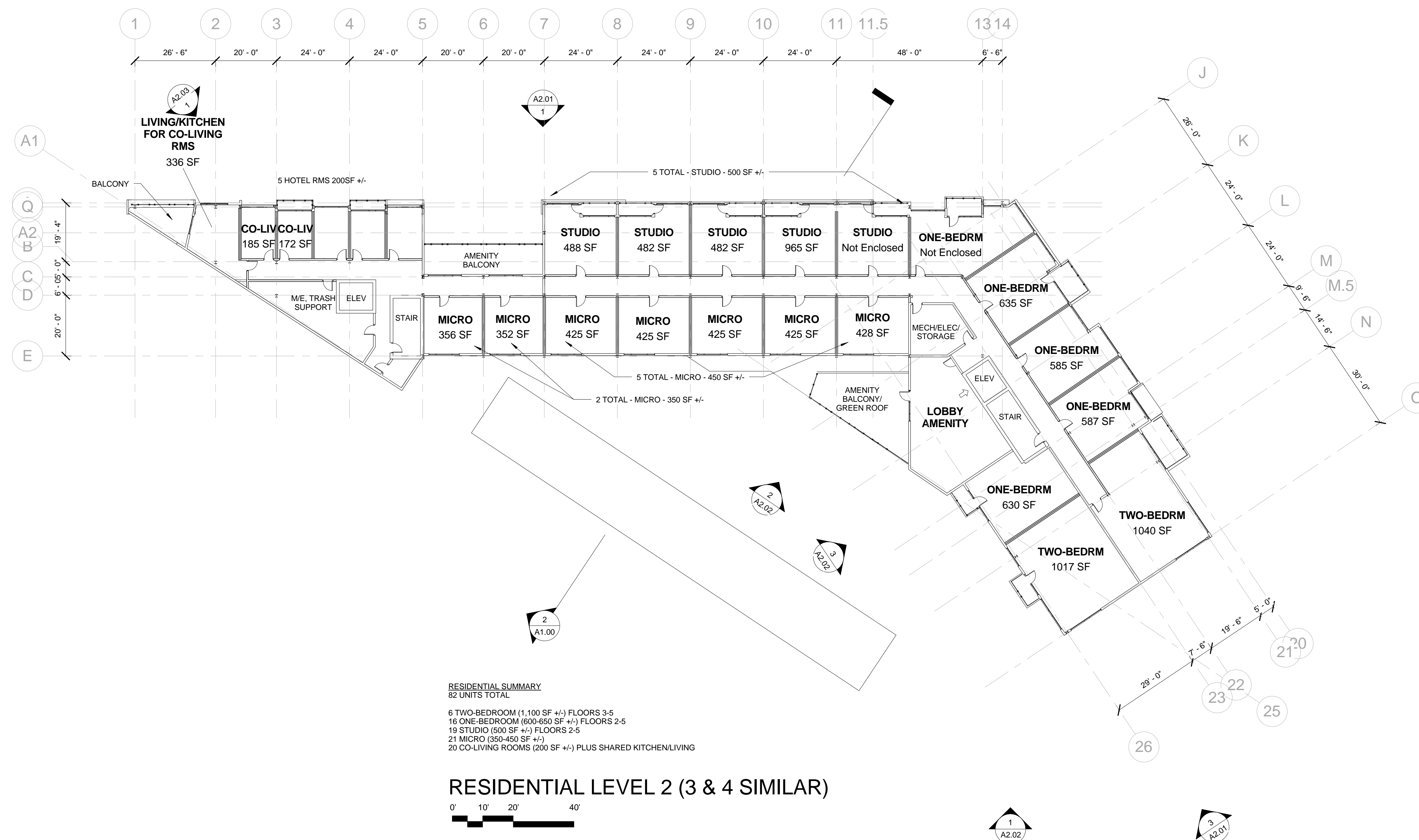


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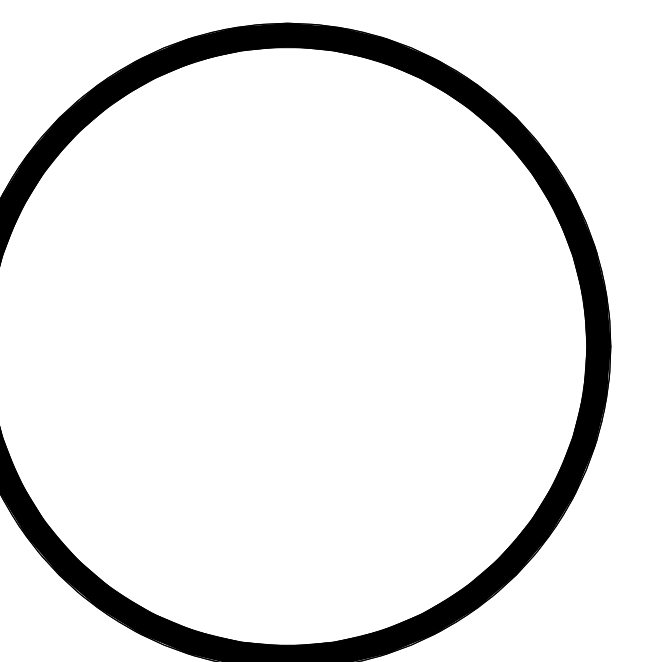
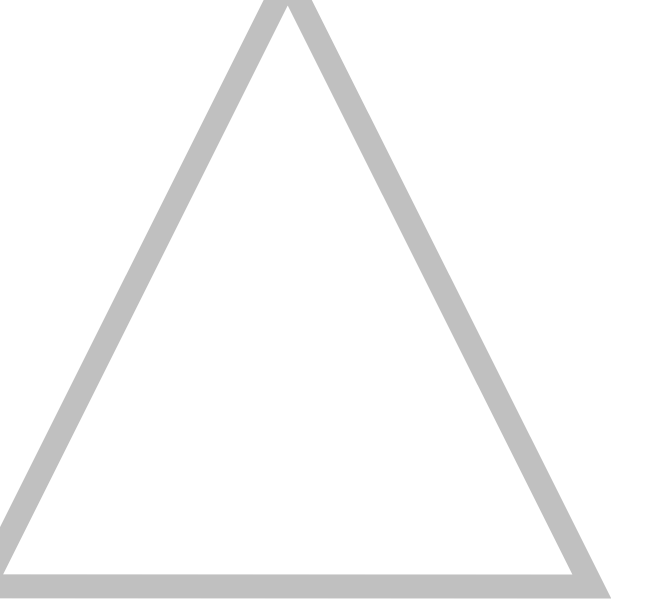
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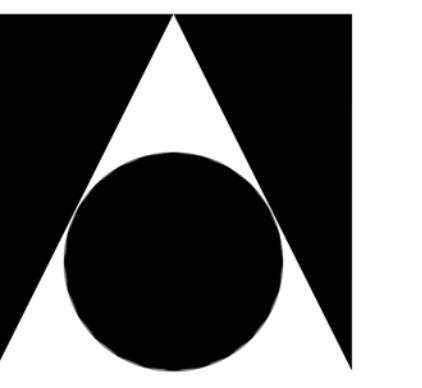
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RESIDENTIAL LEVEL 2 FLOOR PLAN

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**1 RESIDENTIAL LEVEL 2**



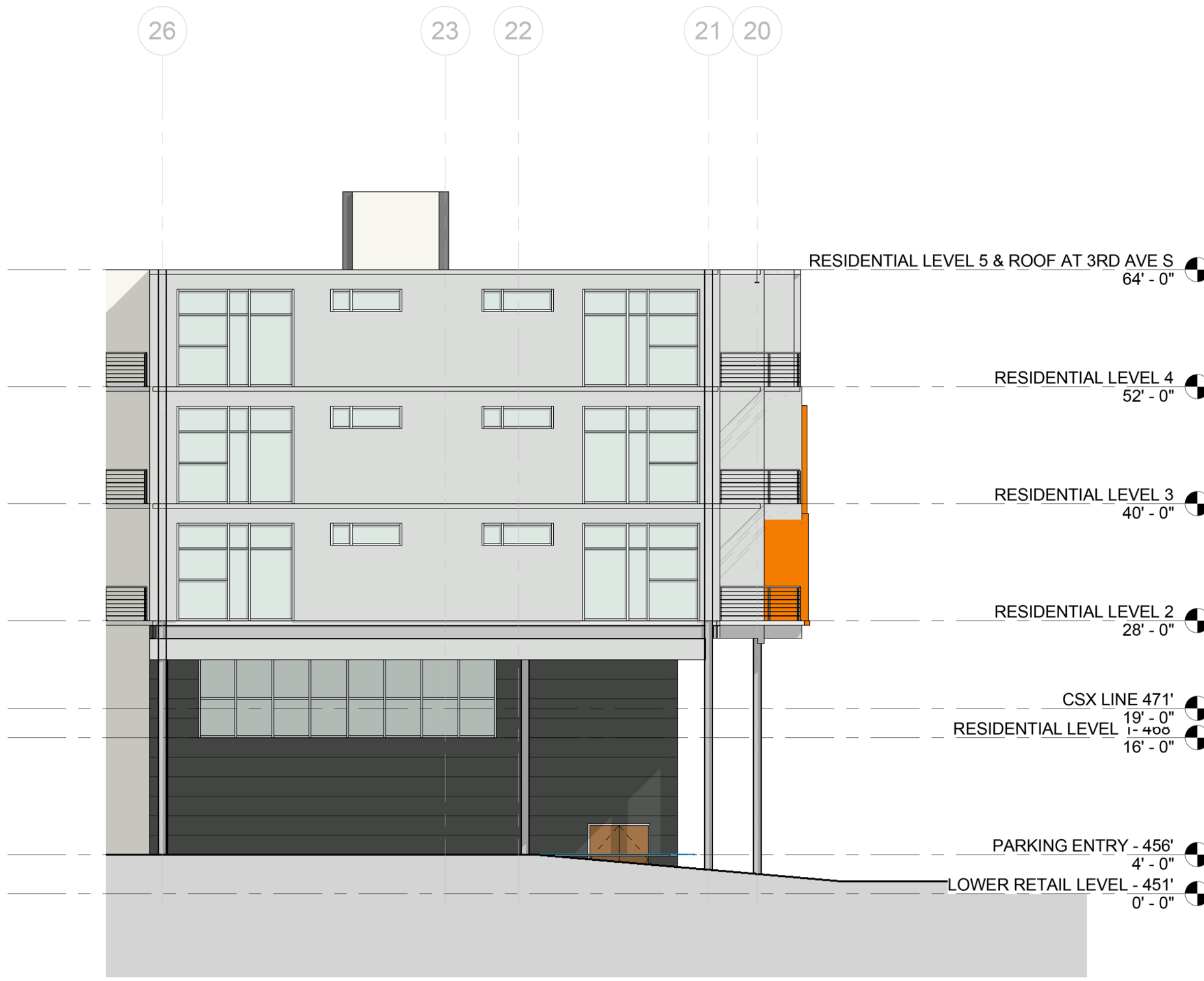
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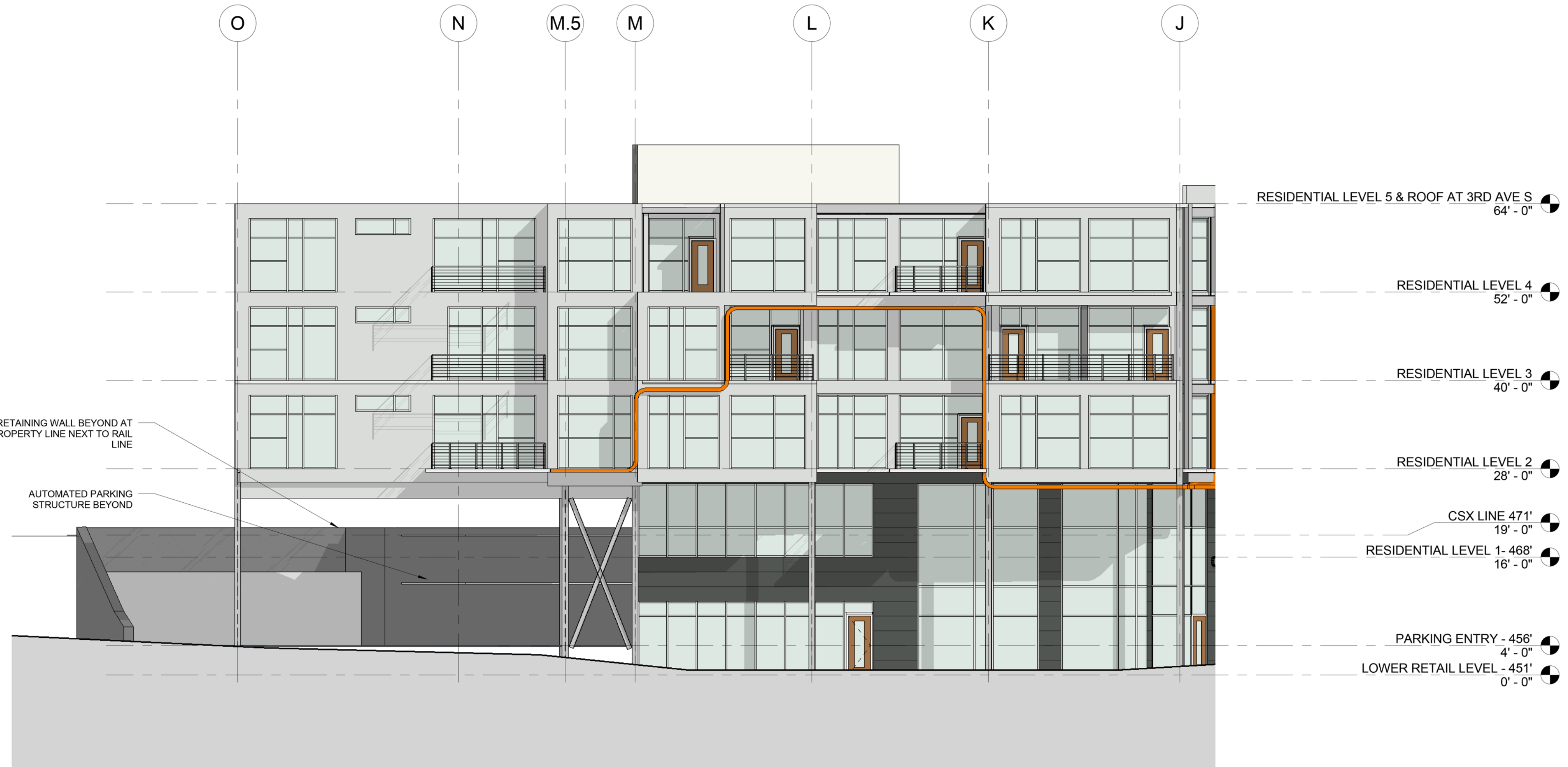
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**3** SOUTHEAST ELEVATION

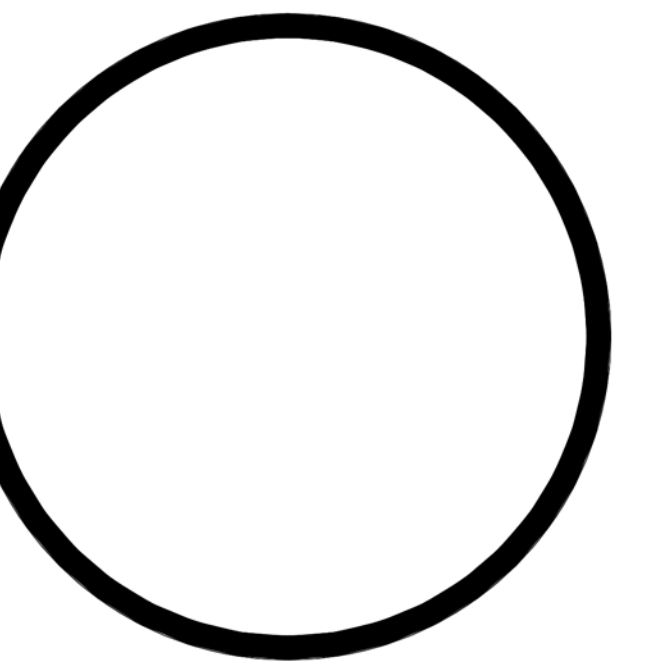
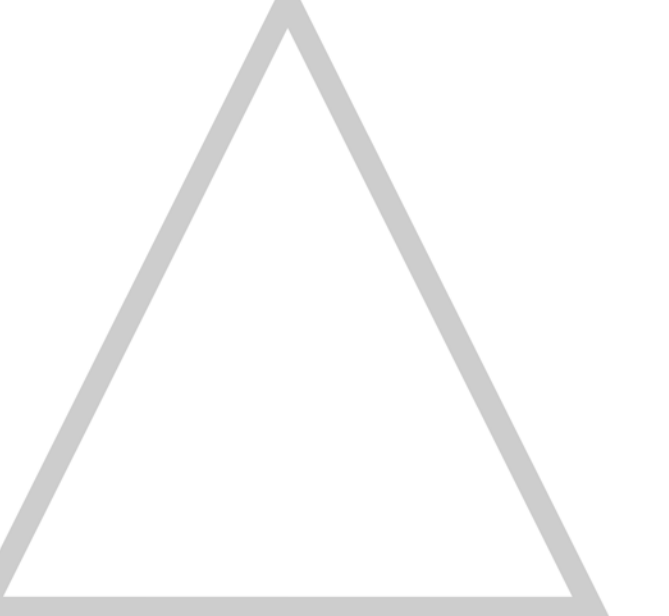


**2** EAST ELEVATION - FACING 3RD AVENUE SOUTH



**1** NORTH ELEVATION - FACING HART STREET

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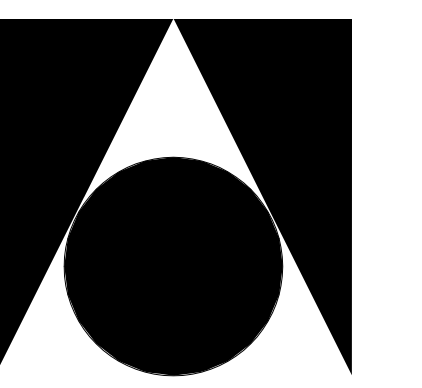
EXTERIOR ELEVATIONS

**A2.01**

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EXTERIOR FINISH KEYNOTES

- 1 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #1
- 2 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #2
- 3 STOREFRONT WINDOW SYSTEM
- 4 EXPOSED STEEL STRUCTURE - PAINTED
- 5 CANOPY AT ENTRY
- 6 ALUMINUM GUARDRAIL
- 7 METAL SCREEN AT OPEN STAIRWELL



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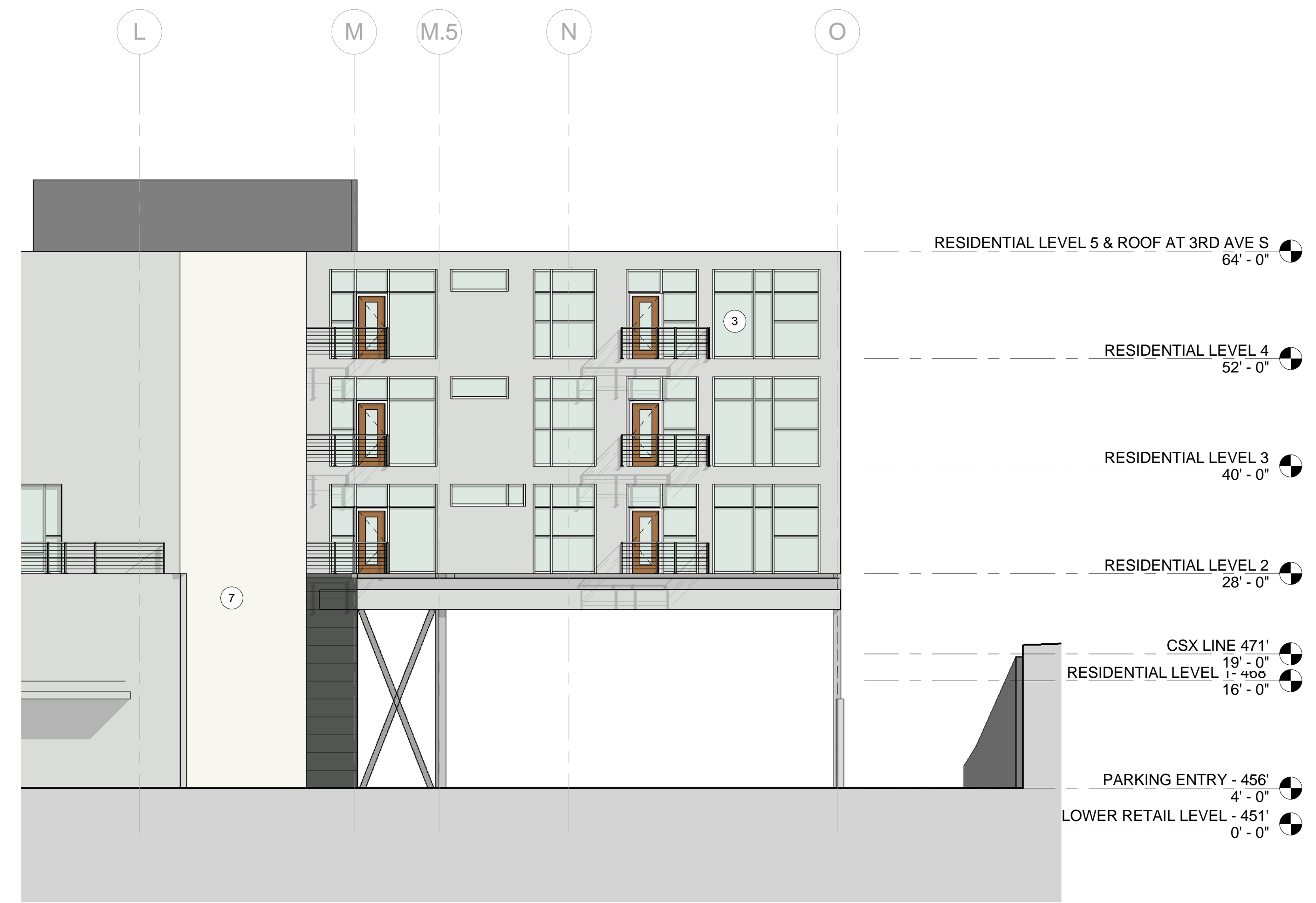
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**2** COURTYARD ELEVATION - SOUTH WEST



**3** COURTYARD ELEVATION - WEST

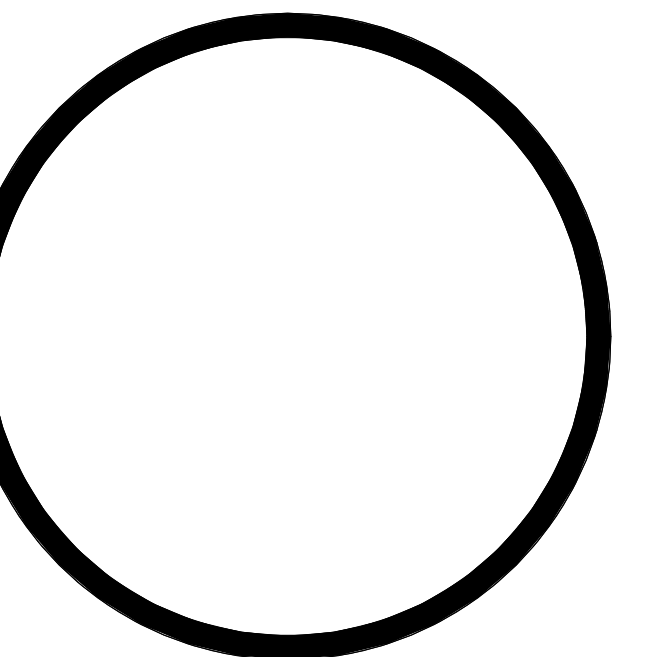
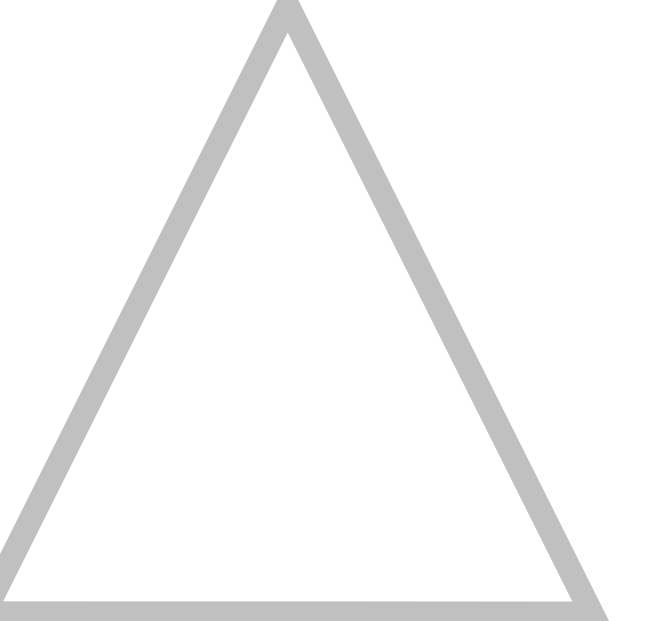


**1** SOUTH ELEVATION

EXTERIOR FINISH KEYNOTES

- 1 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #1
- 2 METAL PANEL EXTERIOR RAINSCREEN SYSTEM #2
- 3 STOREFRONT WINDOW SYSTEM
- 4 EXPOSED STEEL STRUCTURE - PAINTED
- 5 CANOPY AT ENTRY
- 6 ALUMINUM GUARDRAIL
- 7 METAL SCREEN AT OPEN STAIRWELL

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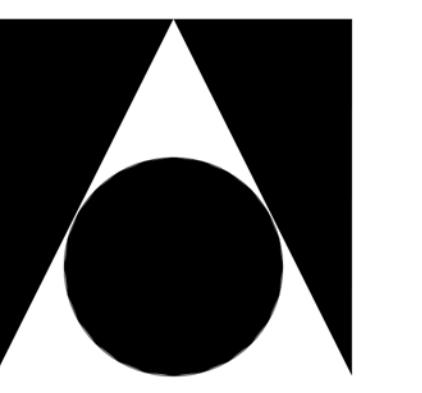


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EXTERIOR ELEVATIONS

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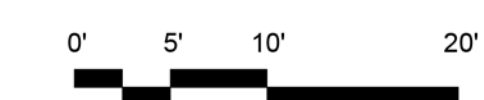
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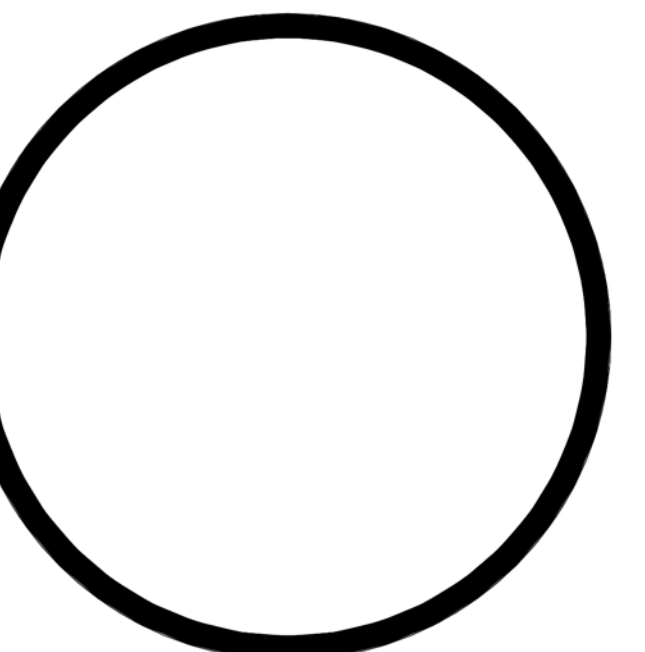
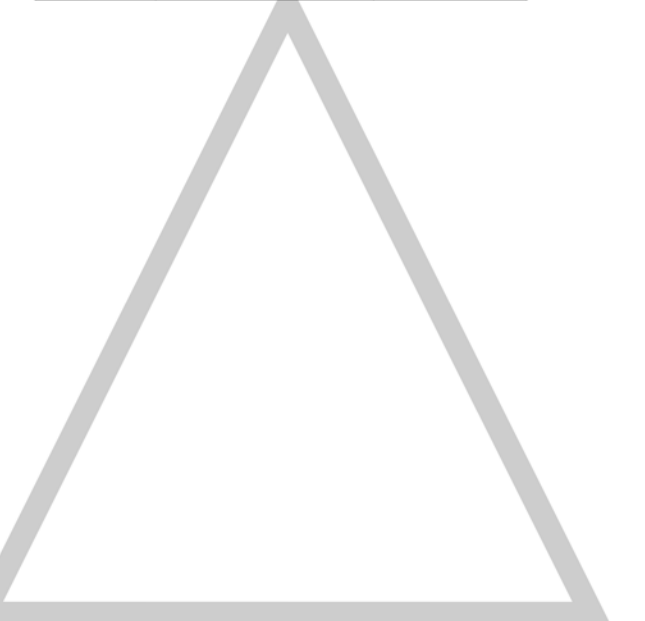
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**1** NORTH ELEVATION - FACING DUDLEY PARK



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ELEVATIONS

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