

EROSION CONTROL & GRADING NOTES

- 1) EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE ON THE SITE FOR NO MORE THAN 15 DAYS. KEEP DUST WITHIN TOLERABLE LIMITS BY SPRINKLING OR OTHER ACCEPTABLE MEANS.
- 2) ALL CUT/FILL AREAS TO HAVE A MINIMUM OF 6" OF TOPSOIL COVER. AREAS DRESSED WITH TOPSOIL SHALL RECEIVE 12POUNDS PER 1000 SQUARE FEET OF 6-12-12 FERTILIZER (UNLESS OTHER WISE SPECIFIED IN WRITTEN SPECIFICATIONS), 5 POUNDS OR MORE OF KENTUCKY 31 FESCUE SEED PER 1000 SQUARE FEET, AND A STRAW MULCH COVER OF 70%-80% COVERAGE (APPROXIMATELY 125 POUNDS PER 1000 SQUARE FEET), UNLESS OTHERWISE NOTED WITHIN WRITTEN SPECIFICATIONS.
- 3) EROSION CONTROL BARRIER IS CALLED OUT ON PLANS AND IS TO COMPLY WITH THE METROPOLITAN STORMWATER MANAGEMENT MANUAL, VOLUME FOUR, SECTION TCP-14.
- 4) DISTURBED AREAS ARE TO BE GRADED TO DRAIN AS INDICATED IN THE PLAN TO SEDIMENT BARRIERS DURING AND UPON THE COMPLETION OF CONSTRUCTION.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION AND THE LOCATION OF ANY EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID DAMAGE TO ALL EXISTING UTILITIES DURING CONSTRUCTION. IF DAMAGE DOES OCCUR TO ANY SUCH INSTALLATION, FULL REPAIR WILL BE ACCOMPLISHED AS PER THE CURRENT SPECIFICATION GOVERNING SUCH WORK.
- 6) ANY ACCESS ROUTES TO THE SITE SHALL BE BASED WITH CRUSHED STONE, ASTM #1 STONE, 100 FEET LONG AND AT LEAST 6" THICK.
- 7) THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8" THICKNESS (OR AS DIRECTED BY THE SOILS INVESTIGATIVE REPORT). SAID FILL MATERIAL IS TO BE FREE OF SOD, ROOTS, FROZEN SOILS, OR ANY OTHER DECOMPOSABLE MATERIAL. SAID FILL IS TO BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR, OR AS OTHERWISE SPECIFIED BY THE SOILS REPORT OR WRITTEN SPECIFICATIONS.
- 8) THE CONTRACTOR SHALL NOTIFY THE METRO DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION COMPLIANCE DIVISION, THREE DAYS PRIOR TO BEGINNING THE WORK.
- 9) THE CONTRACTOR SHALL LOCATE AND STAKE THE LAYOUT OF THE SITE IN THE FIELD FOR INSPECTION BY THE ENGINEER. THE CONTRACTOR SHALL CHECK THE GRADES AND FINAL DIMENSIONS ON THE GROUND, AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY FOR A DECISION.
- 10) SURPLUS EXCAVATION OF TOPSOIL SHALL BE PLACED ON THE SITE AS APPROVED BY THE OWNER FOR THE PURPOSE OF FUTURE LANDSCAPE USE.
- 11) THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY TEMPORARY WORKS FOR THE PROTECTION OF THE PUBLIC AND EMPLOYEES, INCLUDING WARNING SIGNS AND LIGHTS.
- 12) THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION CAUSED BY HIMSELF, HIS SUB-CONTRACTORS, OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES.
- 13) ALL WORK IS TO BE COMPLETED WITH COMPLIANCE TO THE RULES AND REGULATIONS SET FORTH BY METRO WATER SERVICES. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE, OBTAIN ALL PERMITS, AND PAY FEES REQUIRED FOR THE COMPLETION OF HIS PORTION OF THE WORK. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE LAWS AND ORDINANCE OR REGULATIONS RELATING TO PORTIONS OF WORK WHICH HE IS TO PERFORM.
- 14) ALL EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL SITE IS STABILIZED & CONSTRUCTION IS COMPLETE.
- 15) CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 & CP-13. LOCATION TO BE COORDINATED WITH THE NPDES DEPARTMENT DURING THE PRE-CONSTRUCTION MEETING.

PUBLIC WORKS NOTES

- 1) ALL WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES AN EXCAVATION PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- 2) PROOF-ROLLING OF ALL STREET SUBGRADES IS REQUIRED IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. INSPECTION OF THE BINDER COURSE IS REQUIRED PRIOR TO FINAL PAVING IN THE PRESENCE OF THE PUBLIC WORKS INSPECTOR. THESE REQUESTS ARE TO BE MADE 24 HOURS IN ADVANCE.
- 3) STOP SIGNS ARE TO BE 30 INCH BY 30 INCH.
- 4) STREET SIGNS TO HAVE SIX INCH WHITE LETTERS ON A NINE INCH GREEN ALUMINUM BLADE, HIGH INTENSITY REFLECTIVE.
- 5) ALL PAVEMENT MARKING ARE TO BE THERMOPLASTIC.

ARCHITECTUAL NOTES

- A. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING FOR RESIDENTIAL AND 40% GLAZING FOR COMMERCIAL.
- B. COMMERCIAL FLOOR HEIGHT SHALL BE A MINIMUM OF 14 FEET.
- C. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 1.5:1 OR GREATER, EXCEPT FOR DORMERS OR EGRESS WINDOWS.
- D. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
- E. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH (To be applied to Phase 1, Townhome Section ONLY).
- F. A RAISED FOUNDATION OF 18" - 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

SP SIGNAGE NOTES

PERMITTED SIGNS SHALL BE LIMITED TO WALL MOUNTED SIGNS, PROJECTING SIGNS, AWNING SIGNS, WINDOW SIGNS AND HANGING SIGNS. FREESTANDING GROUND SIGNS, MONUMENT SIGNS, PORTABLE SIGNS, ROOF MOUNTED SIGNS, LED SIGNS AND BILLBOARDS SHALL NOT BE PERMITTED. A SIGNAGE PROGRAM FOR SHALL BE INCLUDED WITH THE FINAL SITE PLAN AND MUST BE APPROVED BY PLANNING.

INDIVIDUAL LETTER: SHALL COVER NO MORE THAN 5% OF THE BUILDING FAÇADE WALL AREA OR 30 SQUARE FEET, WHICHEVER IS SMALLER.

FAÇADE MOUNTED SIGN: SHALL COVER NO MORE THAN 5% OF THE BUILDING FAÇADE WALL AREA OR 30 SQUARE FEET, WHICHEVER IS SMALLER.

PROJECTING SIGNS: SHALL NOT EXTEND ABOVE THE ROOF EAVES OR PARAPET WALL. NINE FEET MAXIMUM AREA AND A MINIMUM HEIGHT OF SEVEN FEET ABOVE GRADE EXCEPT IN VISIBLE AREAS WHERE THE MINIMUM HEIGHT IS TEN FEET.

AWNING SIGNS: SHALL COVER NO MORE THAN 5% OF THE PRIMARY BUILDING FAÇADE WALL AREA, BUT NOT TO EXCEED 85% OF THE AWNING.

FAÇADE PAINTED: SHALL COVER NO MORE THAN 5% OF THE BUILDING FAÇADE WALL AREA OR 30 SQUARE FEET, WHICHEVER IS SMALLER.

WINDOW SIGNS: SHALL NOT COVER MORE THAN 25% OF THE WINDOW AREA.
RESTAURANT MENU SIGNS: SHALL BE LOCATED ON THE FACED WITHIN THREE FEET OF THE RESTAURANTS' PRIMARY ENTRANCE WITH A MAXIMUM AREA OF TWO SQUARE FEET.

HANGING SIGNS: SHALL BE LOCATED IN FRONT OF THE UNIT SPACE, SHALL NOT BE MORE THAN SIX SQUARE FEET AND A MINIMUM HEIGHT OF SEVEN FEET ABOVE GRADE EXCEPT IN VISIBLE AREAS WHERE THE MINIMUM HEIGHT IS TEN FEET.

LANDSCAPE NOTES

- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR AND DAMAGE TO UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
- 2) ALL PLANTING AND MULCH BEDS SHALL BE SPRAYED WITH ROUND-UP (CONTRACTOR'S OPTION) PRIOR TO THE INSTALLATION OF MULCH.
- 3) PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL FREE OF ROOTS AND ROCKS.
- 4) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
- 5) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12#/1000 S.F. OF 10-10-10 FERTILIZER.
- 6) ALL PLANTING BEDS SHALL HAVE A MINIMUM OF 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH.
- 7) THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 8) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 9) EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
- 10) ALL DISTURBED AREAS SHALL BE PLANTED WITH TURF AS INDICATED ON THE MATERIALS SCHEDULE.
- 11) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE 4' MINIMUM CLEAR TRUNK UNLESS OTHERWISE NOTED.
- 12) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND REPLACE ANY DEAD OR DYING MATERIAL WITHIN THAT TIME PERIOD.
- 13) NO PLANT MATERIALS SHOULD BE SUBSTITUTED WITHOUT AUTHORIZATION BY DALE & ASSOCIATES. PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
- 14) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP SHOULD BE REMOVED OR PUNCTURED IN AT LEAST 5 PLACES. REMOVE ALL TWINE FROM BURLAPPED MATERIALS.
- 15) GUYING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY OR SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
- 16) NO CANOPY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT. LOCATING PLANT MATERIALS WITHIN A DRAINAGE EASEMENT IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED NO CLOSER THAN 5' FROM THE CENTERLINE OF DRAINAGE.
- 17) LIGHTING PLAN TO BE COORDINATED WITH PROPOSED PLANTING PLAN. NO LIGHT POLES TO BE LOCATED IN TREE ISLANDS. SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

WATER & SEWER NOTES

- 1) ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH SPECIFICATIONS AND STANDARD DETAILS OF THE METRO WATER SERVICES.
- 2) THE CONTRACTOR IS RESPONSIBLE FOR REIMBURSING THE METRO WATER SERVICES THE COST OF INSPECTION.
- 3) THE CONTRACTOR IS TO PROVIDE AND MAINTAIN THE CONSTRUCTION IDENTIFICATION SIGN FOR PRIVATE DEVELOPMENT APPROVED.
- 4) ALL CONNECTIONS TO EXISTING MANHOLES SHALL BE BY CORING AND RESILIENT CONNECTOR METHOD.
- 5) REDUCED PRESSURE BACKFLOW PREVENTION DEVICES (RPBP) OR DUAL CHECK VALVE WILL BE REQUIRED ON ALL TEST AND FILL LINES (JUMPER) NEEDED FOR WATER MAIN CONSTRUCTION AND MUST BE APPROVED BY THE METRO WATER SERVICES.
- 6) ALL WATER METERS SHALL BE A MINIMUM OF 24" NOT TO EXCEED A MAXIMUM OF 28" BELOW FINISHED GRADE.
- 7) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE CUSTOMER SIDE OF THE METER WHEN PRESSURES EXCEED 100 PSI.
- 8) PRESSURE REGULATING DEVICES WILL BE REQUIRED ON THE STREET SIDE OF THE METER WHEN PRESSURES EXCEED 150 PSI.

GENERAL PLAN CONSISTENCY NOTE

THIS SITE IS LOCATED IN THE (5) EAST NASHVILLE COMMUNITY PLAN. THE SPECIFIED LAND USE FOR THE SUBJECT SITE AND ITS IMMEDIATE SURROUNDINGS IS NEIGHBORHOOD CENTER (NC). NC POLICY WILL PERMIT THE RETAIL/RESTAURANT USES AND FURTHER SUPPORTS THE PROPOSED TOWNHOME PORTION OF THE DEVELOPMENT.

AS PROPOSED, THIS SP WILL CREATE A WALKABLE, PEDESTRIAN FRIENDLY ATMOSPHERE. THE COMMERCIAL SPACE SHOWN FOR THE GROUND LEVEL OF THE MIXED USE STRUCTURES ALONG PORTER ROAD WILL PROVIDE SHOPPING AND DINING WITHIN A SHORT WALKING DISTANCE FOR THE NEIGHBORING COMMUNITY AS WELL AS THE RESIDENTIAL PORTION OF THIS DEVELOPMENT. THE STREETScape ALONG PORTER ROAD IS PROPOSED TO BE PRESERVED (BY MAINTAINING THE BIKE LANE AND RELOCATING THE EXISTING SIDEWALK) AND FURTHER ENHANCED THROUGH SHALLOW STREET SETBACKS AND ONSTREET PARKING. THIS IN CONJUNCTION WITH THE WELL PLANNED SITE LAYOUT AND APPROPRIATE LAND USES, WILL ENSURE COMPATIBILITY AND CONSISTENCY WITH BOTH THE NC POLICY.

STANDARD SP NOTES

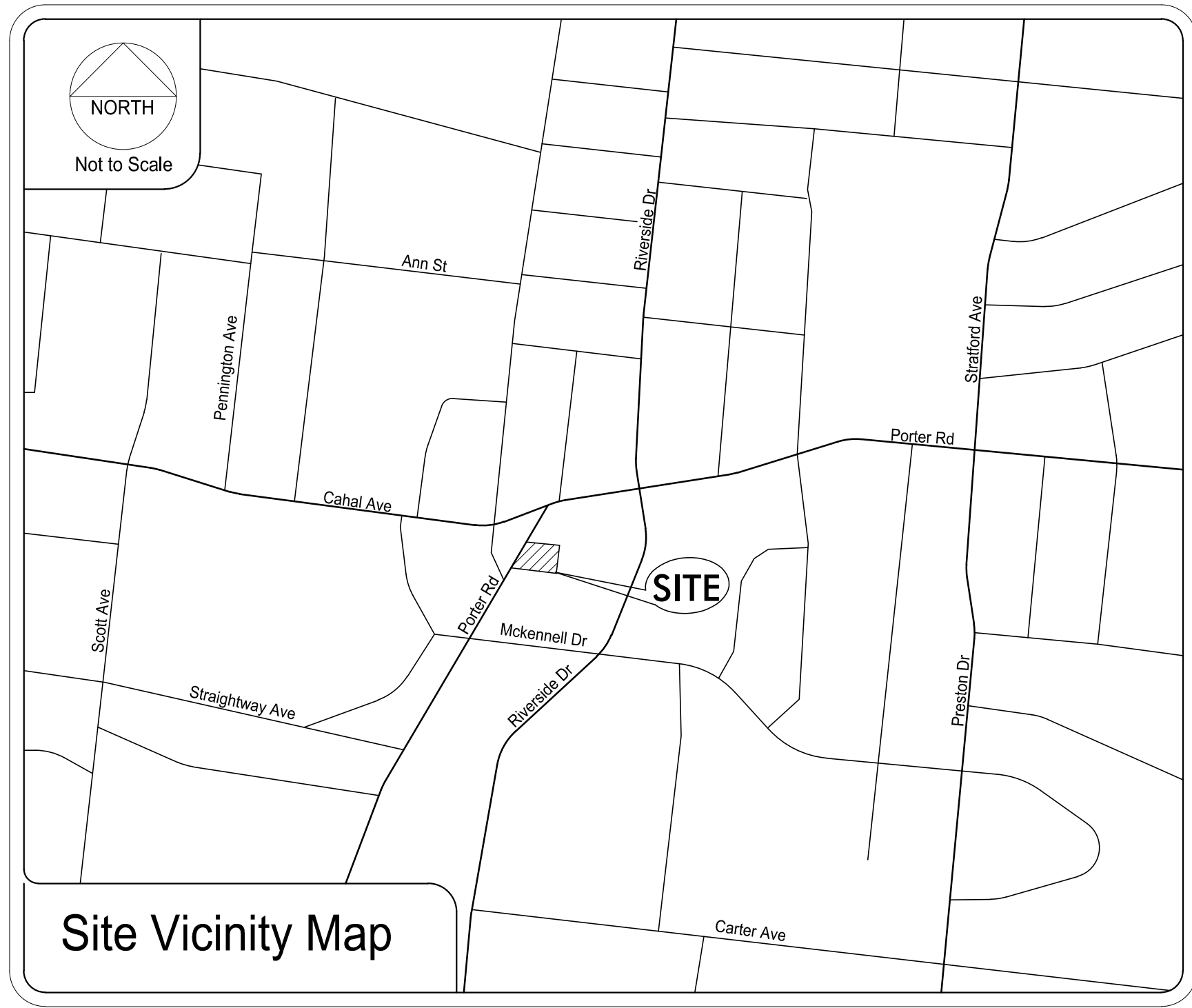
- 1) THE PURPOSE OF THIS SP IS FOR PRELIMINARY APPROVAL TO AMMEND PREVIOUSLY APPROVED SP TO ADD PARCEL 237 & REVISE LAYOUT FOR MIXED USE.
- 2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- 3) THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0228F DATED APRIL 20, 2001.
- 4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.
- 5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.
- 6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.
- 7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15' CMP).
- 8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- 9) INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH UNIT.
- 10) SOLID WASTE PICKUP TO BE PROVIDED BY DUMPSTERS SHOWN ON THIS PLAN.
- 11) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.

12) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS AND REQUIREMENTS OF THE MULA ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

14) DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT, AS IT PERTAINS TO STORMWATER APPROVAL COMMENTS ONLY. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE STORMWATER REGULATIONS AT THE TIME OF FINAL APPLICATION.

15) THE FINAL SITE PLAN/BUILDING PERMIT SITE PLAN SHALL DEPICT A MINIMUM 5 FOOT CLEAR PATH OF TRAVEL FOR PEDESTRIAN WAYS, INCLUDING PUBLIC SIDEWAYS, AND THE LOCATION OF ALL EXISTING AND PROPOSED OBSTRUCTIONS. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING OBSTRUCTIONS WITHIN THE PATH OF TRAVEL SHALL BE RELOCATED TO PROVIDE A MINIMUM OF 5 FEET OF CLEAR ACCESS.

PHASE 2	
MAXIMUM RESIDENTIAL UNITS:	28
MINIMUM NON RESIDENTIAL USE:	2,000 SF
MAXIMUM NON RESIDENTIAL USE:	7,400 SF
SP NOTE	
THE SP SHOWN HEREIN ACCOUNTS FOR THE SPECIFICS SHOWN WITHIN THE BULK STANDARDS SHOWN ON THIS SHEET. IT IS REQUESTED THAT DEVELOPMENT FLEXIBILITY BE ALLOWED FOR ALTERNATE MIXED USE DEVELOPMENT TO CONSIST OF BETWEEN 10 & 28 RESIDENTIAL UNITS AND BETWEEN 2,000 SF OF COMMERCIAL SPACE & 7,400 SF OF COMMERCIAL SPACE. AT NO TIME SHALL THE TOTAL SQUARE FOOTAGE OF THE PROPOSED STRUCTURE BE INCREASED. AT ALL TIMES THE PARKING WILL ABIDE BY THE UZO GUIDELINES.	



USE - CHAPTER 17.08 & 17.16	
SPECIFIC PLAN DEVELOPMENT SUMMARY	
DETERMINE THE USE	Multifamily (Attached Single Family Dwellings)
PROPERTY ZONING	SP
OVERLAY(S)	UZO
SURROUNDING ZONING	R6, RM20, CN
USE CHARTS:	PERMITTED
SITE CRITERIA	
SUBDIVISION PLAT	Not Applicable
MINIMUM LOT SIZE	Not Applicable (as shown herein)
FAR (PHASE 1)	0.60 MAX / 0.39 Proposed (Phase 1 Only)
FAR (PHASE 2)	0.80 MAX / 0.73 Proposed (Phase 2 Only)
ISR - Adjustments / Slopes over 15% (PHASE 1)	0.70 MAX / 0.51 Proposed Herein (Phase 1 Only)
ISR - Adjustments / Slopes over 15% (PHASE 2)	0.70 MAX / 0.54 Proposed (Phase 2 Only)
STREET SETBACKS:	5' From Right Of Way *
SIDE YARD	5' From Property Line
REAR YARD	20' From Property Line
HEIGHT STANDARDS	3 Stories In 45 Feet Maximum (Measured from Ave Ground)
PARKING AND ACCESS - CHAPTER 17.20	
RAMP LOCATION AND NUMBER	1 Access On Porter Road
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	140' South
DISTANCE TO INTERSECTION	155' South
	50' MINOR STREET 100' COLLECTOR
	185' ARTERIAL STREET 250' CONTROLLED ACCESS RAMP
REQUIRED PARKING BASED ON USES (PHASE 1)	33 Stalls (22 Units @ 1.5 Stalls Per Unit) 48 Proposed (5 Onstreet Porter Rd Not Included)
REQUIRED PARKING BASED ON USES (PHASE 2)	Residential (10 Units @ 1.5 Stalls Per Unit) 15 Stalls Reqd Residential (18 Units @ 1 Stalls Per Unit) 18 Stalls Reqd 2,000 Sq Ft Commercial/Restaurant (Take Out) 0 Stalls Reqd
TOTAL UNADJUSTED PARKING REQUIRED	33 Stalls
ADJUSTED PARKING REQUIRED (10% PEDESTRIAN ACCESS)	30 Stalls
PROPOSED PARKING (PHASE 2)	32 Proposed
SPACE SIZES, AISLE WIDTHS, ANGLE DATA (PHASE 1)	30 Garage Stalls, 7 8.5x18' Offstreet, 11 Parallel Stalls
SPACE SIZES, AISLE WIDTHS, ANGLE DATA (PHASE 2)	29 - 90' Offstreet, 3 Onstreet (Porter Rd, 50% Counted)
REQUIRED LOADING BASED ON USES	None Required
SURFACING OVER 5 SPACES 1,750 SQ. FT.	Provided
QUEUEING LANES	N/A
OVER 10 SPACES 20' QUEUEING AT EXIT	Provided
NUMBER OF COMPACT SPACES / %	None
NUMBER OF ACCESSIBLE SPACES	None
SIDEWALKS REQUIRED	Public Sidewalks Proposed along Porter Rd
LANDSCAPING STANDARDS - CHAPTER 17.24	
REQUIRED BUFFERYARDS	A-3 South, C-5 East and North
BUFFERYARD ADJUSTMENT	Modified Per Prelim. SP
PERIMETER LANDSCAPING	Provided
STANDARD FOR 4 OR MORE LANES	
SIDE LINES ADJACENT TO PARKING AREAS 5' MINIMUM WITH TREES-2.5' WITH TREE ISLANDS	
INTERIOR LANDSCAPING MINIMUM 8% AREA	
OPAQUE FENCE ADJACENT TO RESIDENTIAL PARKING AREA	
SCREENING AROUND DUMPSTERS (NO CHAIN LINK FENCE PERMITTED)	
TREE DENSITY	See Landscape Compliance Plan

*NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP: MINOR ENCROACHMENTS OF COMMERCIAL STRUCTURES NOT EXCEEDING 10% OF THE BUILDING'S FAÇADE MAY ENCRACH UP TO 3 FT INTO STREET SETBACK

Sheet Schedule

- 1 C1.0 Notes & Project Standards
- 2 C2.0 Existing Conditions & Layout
- 3 C3.0 Utility & Landscape Plans

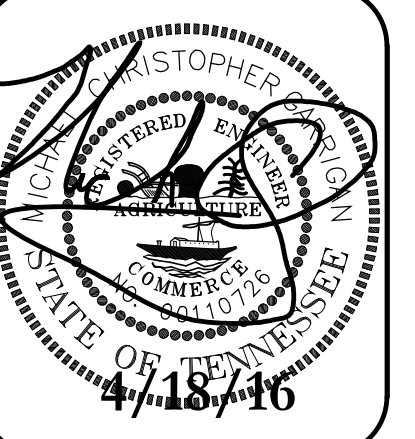
Notes & Project Standards



REVISIONS:

Preparation Date: MAR 2016

Porter Road, Phase 2 SP
Amended Preliminary Specific Plan
 Being Parcels 237 & 356 on Tax Map 72-15
 1505 & 1507 Porter Road
 Nashville, Davidson County, Tennessee

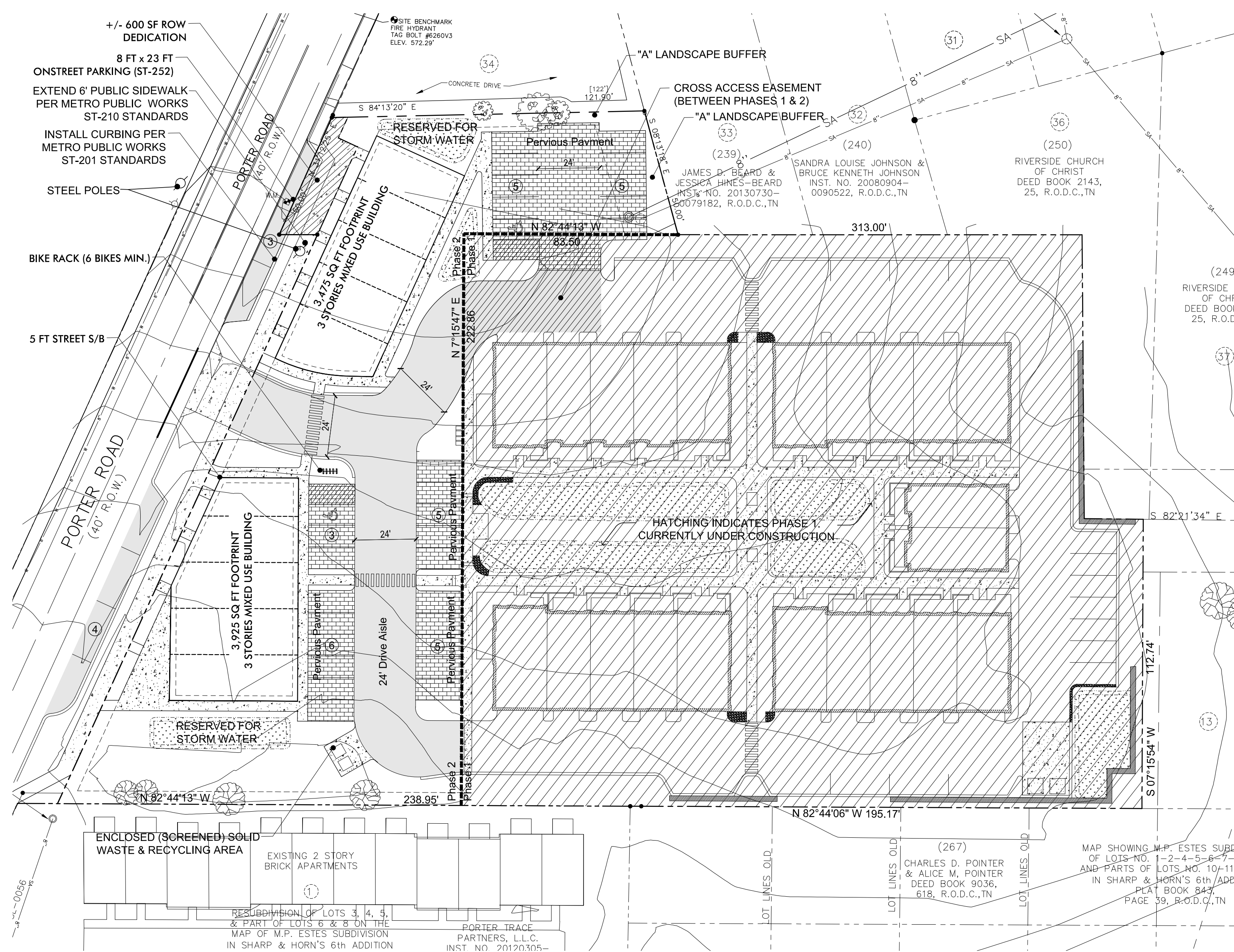
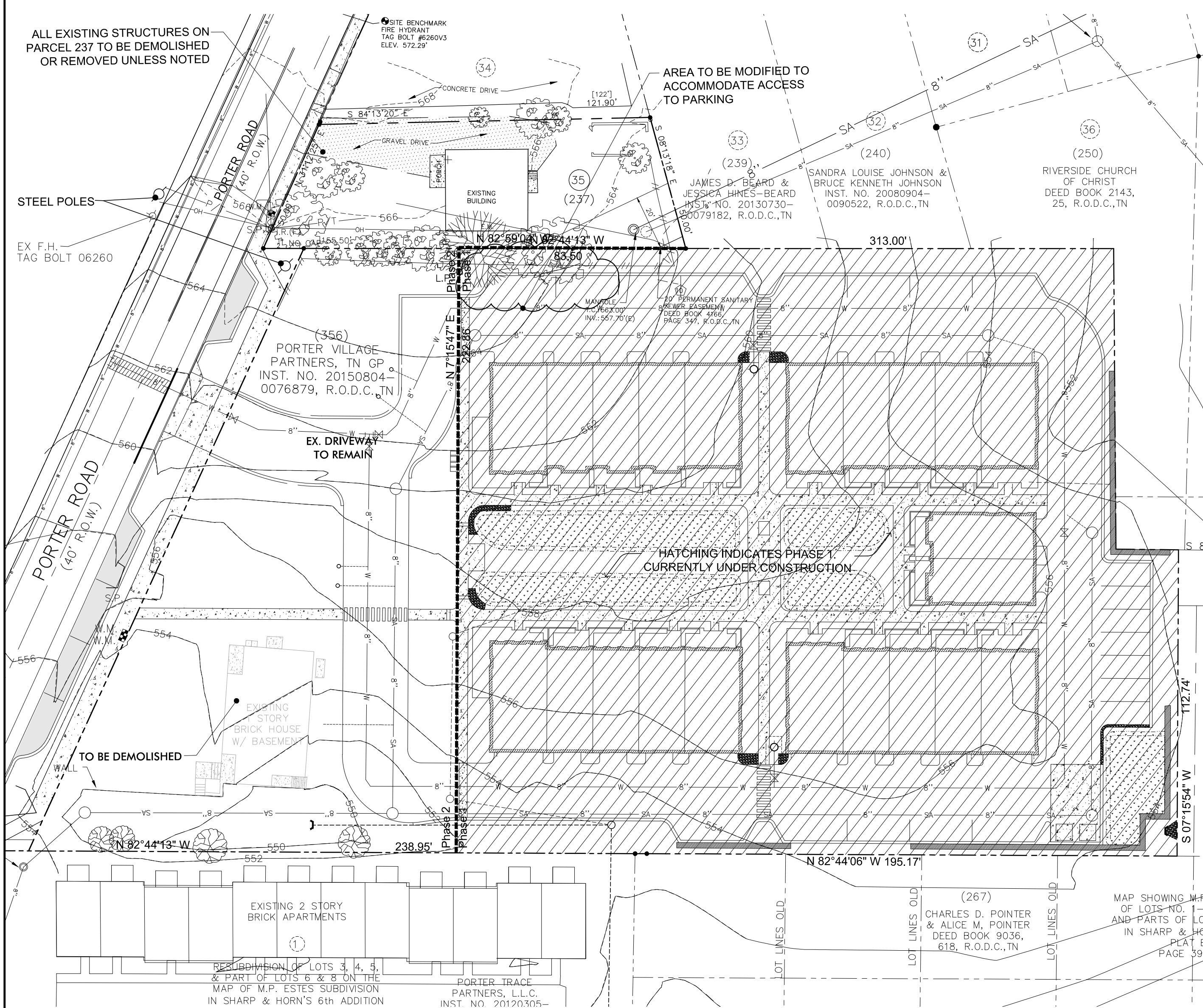


Dale & DD Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Landscape Architecture
 Surveying

MPC Case Number
2016SP-030-003

D&A Project #13041
Porter Road, Phase 2 SP

C1.0
Sheet 1 of 3



Existing Conditions (1"=30')

Layout (1"=30')

Adjacent Fire Hydrant Flow Test Results
 Existing Fire Hydrants Tag Bolt Numbers 06259 (Porter Road and Cahal) & 06260 were Flow Tested by Metro Water Services on May 9, 2013.
 Below is a Summary of the Flow Results:

Static Pressure: 114 psi
 Residual Pressure: 105 psi
 Flow: 1,653 gpm
 Calculated Flow at 20 psi: 5,868 gpm

Per NFPA, 1,000 GPM @ 20 PSI Must be Provided by Adjacent Hydrant to satisfy the fire flow requirements for the residential units in Phase 1 (assumes each unit is less than 3,600 sq ft). Based on the Above Results, the Units shown here in are NOT Required for the residential dwellings.

Property Information
 Porter Road (Map 72-15, Parcel 356)
 Nashville, Tennessee 37206
 24,393.6 Square Feet or 0.56 Total Acres
 Council District 7 (Anthony Davis)

1509 Porter Road (Map 72-15, Parcel 237)
 Nashville, Tennessee 37206
 6,098.4 Square Feet or 0.14 Total Acres
 Council District 7 (Anthony Davis)

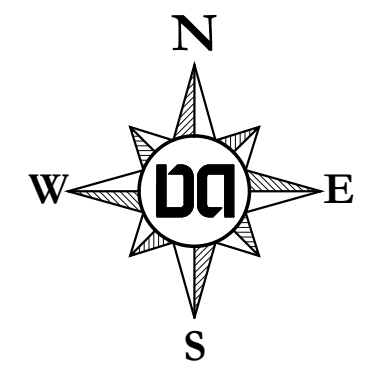
Civil Engineer
 Dale & Associates
 516 Heather Place
 Nashville, Tennessee 37204
 Contact: Michael Garrigan, PE
 Phone: 615.297.5166
 Email: michael@daleandassociates.net

Owners of Record
 Porter Road (Map 72-15, Parcel 356)
 Porter Village Partners
 5250 Virginia Way STE 100
 Nashville, Tennessee 37027

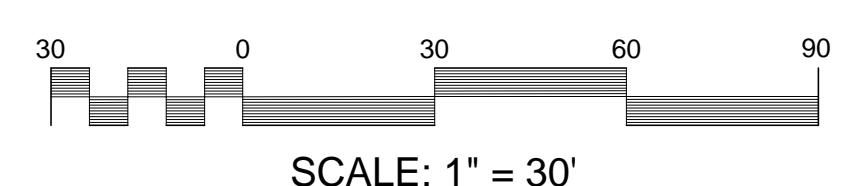
1509 Porter Road (Map 72-15, Parcel 237)
 1509 Porter, LLC
 4803 Gallatin RD
 Nashville, Tennessee 37216

Floodnote
 This property is not located within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C0228F. Dated April 20, 2011.

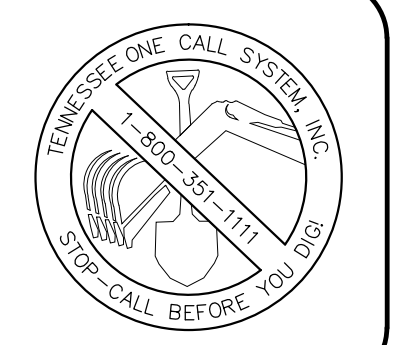
Developer
 The Porter Village Partners
 Contact: John Howard
 4803 Gallatin Pike
 Nashville, TN 37216
 Phone: 615.712.8455
 Email: johnh@hannahconstructors.com



TOTAL AREA = 2.04 ACRES
 = 88,881.678 S.F.

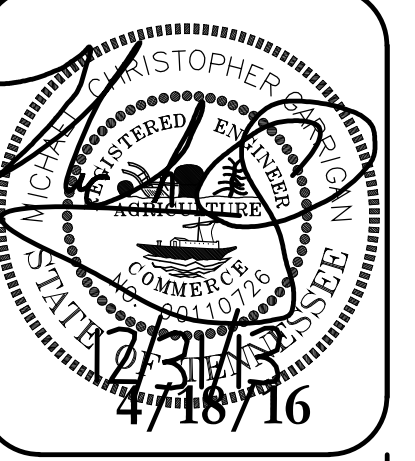


Existing Conditions & Layout Plan



REVISIONS:

Porter Road, Phase 2 SP
 Amended Preliminary Specific Plan
 Being Parcels 237 & 356 on Tax Map 72-15
 1505 & 1507 Porter Road
 Nashville, Davidson County, Tennessee

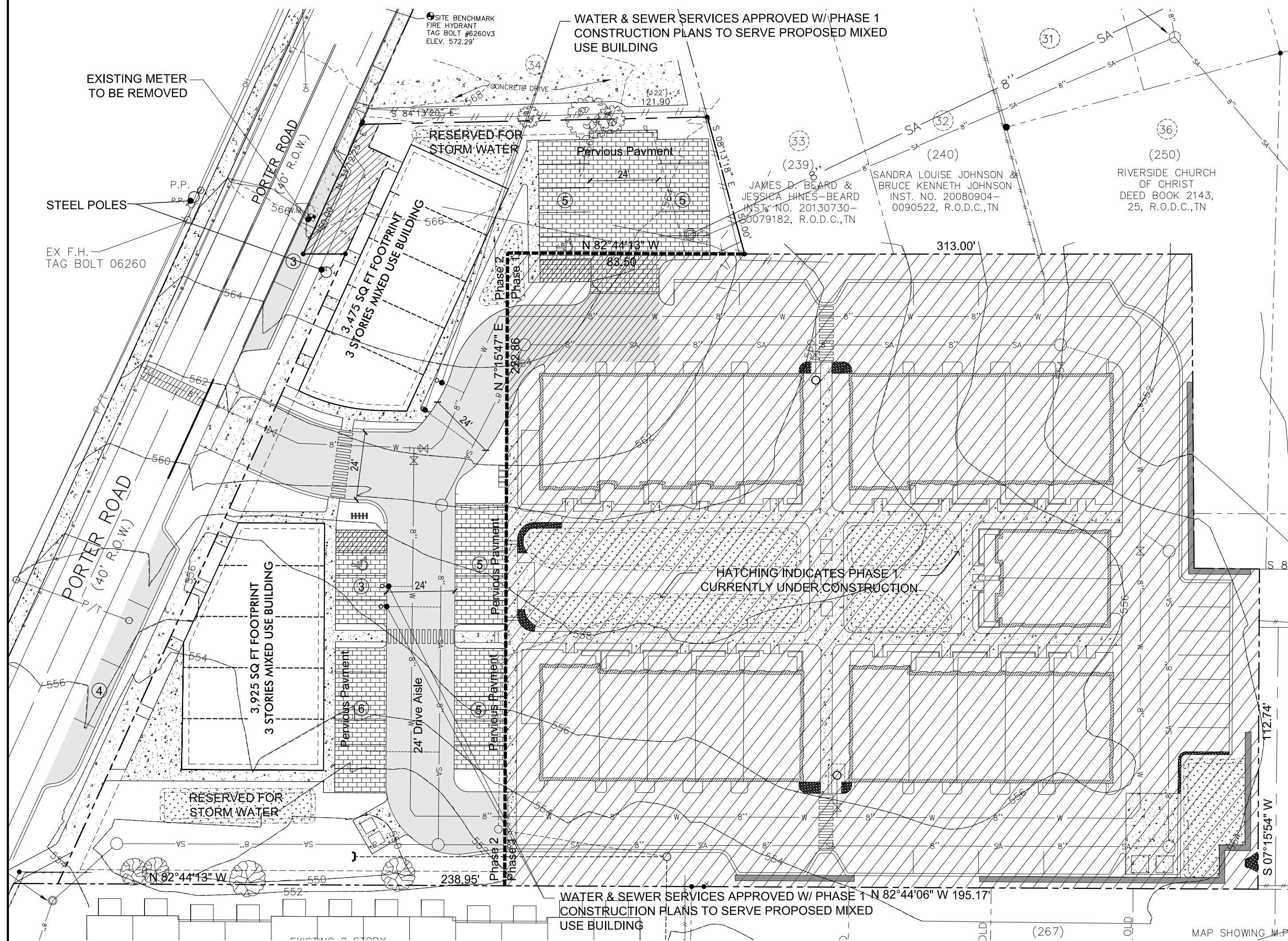


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 Surveying

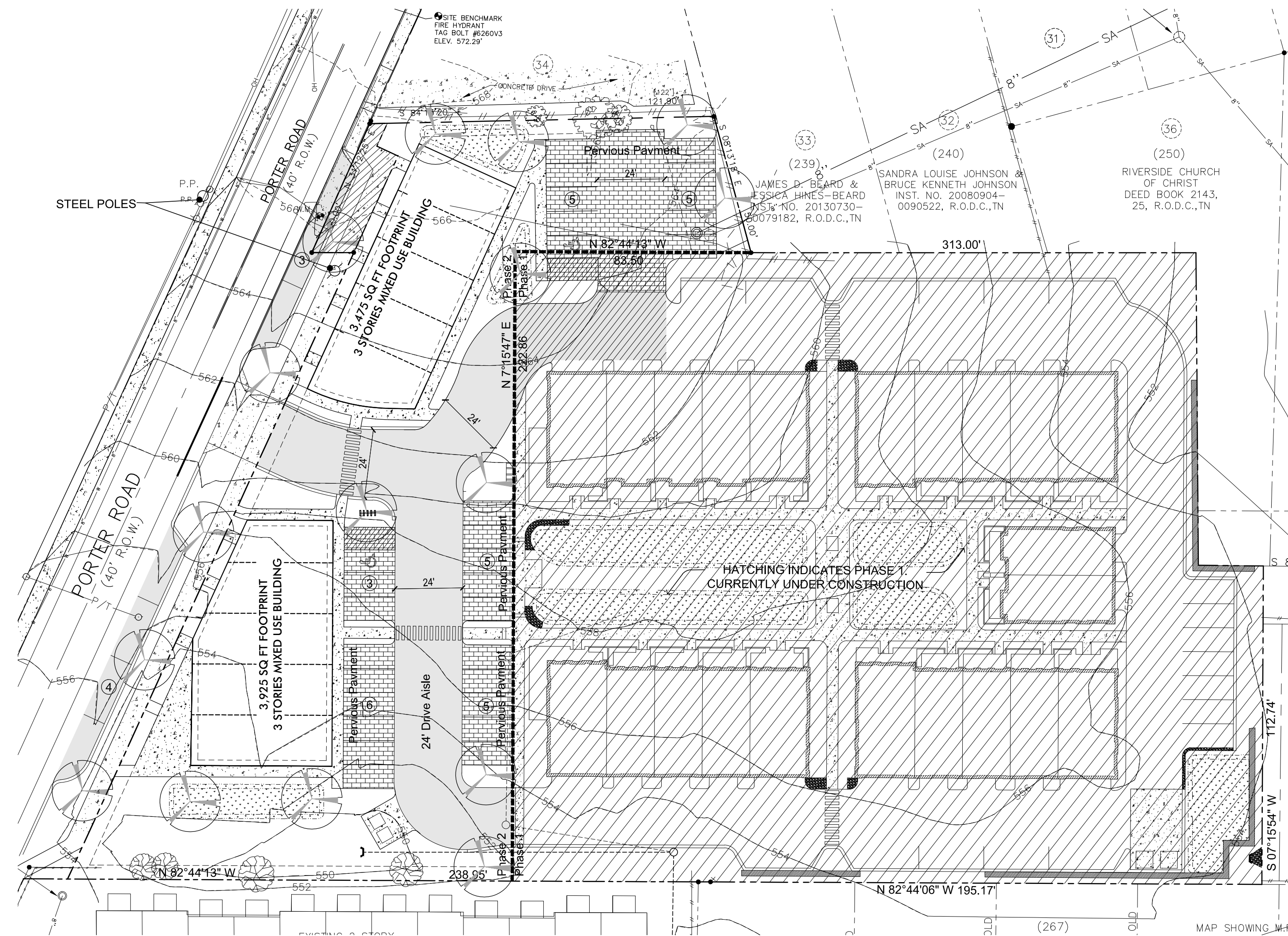
MPC Case Number
 2016SP-030-003

D&A Project #13041
 Porter Road, Phase 2 SP
C2.0
 Sheet 2 of 3

516 Heather Place
 Nashville, Tennessee 37204
 (615) 297-5166



Grading & Utilities (1"=30')



Landscape (1"=30')

WATER QUALITY CALCULATIONS

PRELIMINARY CALCULATIONS SHOW THAT 1,438 CF OF WQV STORAGE WILL BE REQUIRED & CONCEPTUALLY WILL BE PROVIDED IN THE PROPOSED POCKET RAIN GARDENS/BIORETENTION BASINS (80% TSS BMP) SHOWN ON THIS PLAN. PERVIOUS PAVEMENT IS ALSO BEING PROPOSED IN A FEW AREAS TO HELP ACHIEVE WATER QUALITY AND QUANTITY AS SHOWN

PRELIMINARY DESIGN PROPOSES THREE RAIN GARDENS OR BIORETENTION BASINS AND PERVIOUS PAVEMENT MEET THE WATER QUANTITY OR PRE/POST DETENTION RELEASE RATE REQUIREMENTS.

PRE/POST CALCULATIONS

PRE-DEVELOPMENT

TOTAL SITE AREA = 0.70 ACRES
 PRE-DEVELOPED IMPERVIOUS = 0.20 AC @ 98
 PRE-DEVELOPED GRASS = 0.50 AC @ 79
 COMPOSITE CN = 84.4

POST-DEVELOPMENT

TOTAL SITE AREA = 0.70 ACRES
 POST-DEVELOPED IMPERVIOUS = 0.38 AC @ 98
 POST-DEVELOPED GRASS = 0.32 AC @ 79
 COMPOSITE CN = 89.3

PRELIMINARY CALCULATIONS ABOVE SHOWS THAT THIS PROJECT WILL INCREASE THE AMOUNT OF RUNOFF GENERATED BY THIS SITE. ONSITE MITIGATION SHALL BE PROVIDED THROUGH THE PROPOSED RAIN GARDENS AND PERMEABLE PAVEMENT PRODUCTS SHOWN HEREIN.

STORMWATER NOTES

- 1) THE SOIL TYPE FOR THIS SITE IS Msd (MIMOSA-URBAN LAND COMPLEX) WHICH FALLS WITHIN THE "C" HYDROLOGICAL SOIL GROUP.
- 2) THIS SITE IS RESPONSIBLE FOR WATER QUALITY AND WATER QUANTITY. TO PROVIDE THE FULL WATER QUALITY TREATMENT OF 80% TSS REMOVAL, A WATER QUANTITY/QUALITY BMP IS PROPOSED. DESIGN OF THIS FEATURE WILL BE PROVIDED DURING THE FINAL SP PROCESS.
- 3) STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED DURING THE FINAL SP PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.

UTILITY NOTES

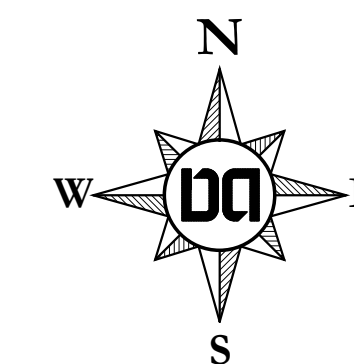
- 1) WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
- 2) WATER AND SEWER SERVICES ARE SCHEMATICALLY SHOWN. FINAL WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.
- 3) WATER SERVICE SHALL BE PROVIDED BY STUBS OR IF NECESSARY, NEW TAPS, OF EX MAIN UNDER CONSTRUCTION W/ PH 1.
- 4) SEWER SERVICE SHALL BE PROVIDED BY PUBLIC MAIN UNDER CONSTRUCTION IN PHASE 1.

TREE DENSITY NOTES

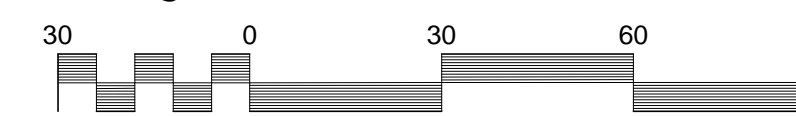
METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE.

TREE DENSITY UNITS:

0.70 AC-0.17 AC = 0.53 AC x 14 = 7.4 TDU's REQ'D
 15 PROPOSED 2" CALIPER TREES = 7.5 TDU PROV.
 (NOTE: DOES NOT INCLUDE EX. TREES TO BE PRESERVED)
 *TDU EXCEEDED



TOTAL AREA = 2.04 ACRES
 = 88,881.678 S.F.



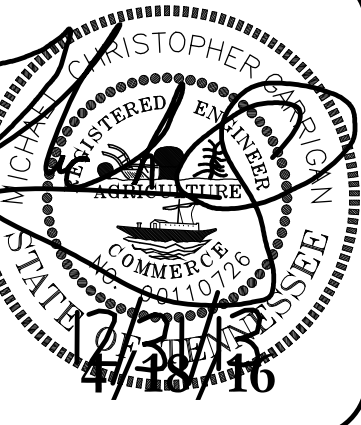
SCALE: 1" = 30'

Grading, Utilities, & Landscape Plan



REVISIONS:

Porter Road, Phase 2 SP
 Amended Preliminary Specific Plan
 Being Parcels 237 & 356 on Tax Map 72-15
 1505 & 1507 Porter Road
 Nashville, Davidson County, Tennessee



Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

MPC Case Number
 2016SP-030-003

D&A Project #13041
 Porter Road, Phase 2 SP

C3.0

Sheet 3 of 3