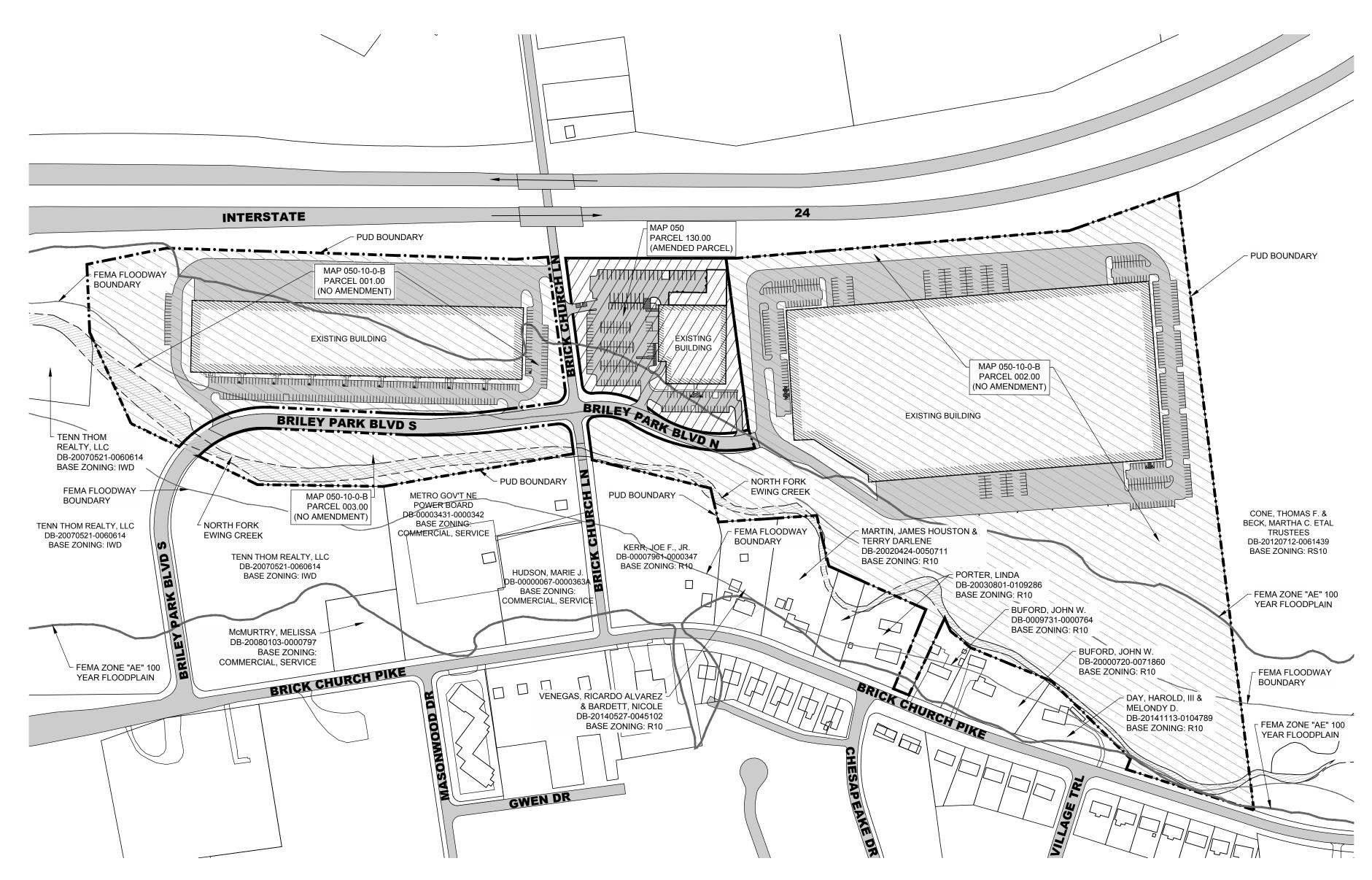
REVISION TO THE PRELIMINARY PUD

NASHVILLE, DAVIDSON COUNTY, TENNESSEE



REVISED MAP & PARCEL #:	MAP 050 PARCEL 130.00
NO REVISION PARCEL #'S:	MAP 050-10-0-B PARCEL 001.00 MAP 050-10-0-B PARCEL 002.00 MAP 050-10-0-B PARCEL 003.00

DEVELOPMENT	SUMMARY
COUNCIL DISTRICT NUMBER / COUNCIL MEMBER:	DISTRICT 03 / BRENDA HAYWOOD
OWNER OF RECORD:	CINTAS CORPORATION NO. 1 6800 CINTAS BLVD. MASON, OHIO 45040 PH: (513) 544-5562
OVERLAY DISTRICT NAME:	OV-IWD, INDUSTRIAL PUD OVERLAY
PUD NAME:	NASHVILLE BUSINESS CENTER
CASE NUMBER:	47-86P-001
CLUSTER-LOT RESIDENTIAL PUD - YES/NO	NO
PLAN REPARATION DATE:	3/29/2016
SCALE:	AS NOTED ON SHEETS
DESIGN PROFESSIONAL:	JEFF HOOPER, P.E. BARGE CAUTHEN & ASSOCIATES, INC. 6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TENNESSEE 37209 PH: (615) 356-9911 FAX: (615) 352-6737
U.S. FEMA FIRM NUMBER:	47037C0206 F - EFF DATE: APRIL 20, 2001

FLOOD ZONE:

BUILDINGS:

ACREAGE OF OVERALL PUD:

ACREAGE OF FINAL PUD:

PROPOSED FINAL PUD FAR:

PROPOSED FINAL PUD ISR:

ZONE "AE" 60.38 ACRES ACREAGE OF PARCELS IN FINAL PUD: 60.38 ACRES 60.38 ACRES 0.29 SEE SITE DATA TABLE SEE SITE DATA TABLE SEE SITE DATA TABLE SEE SITE DATA TABLE PROPOSED FINAL PUD BUILDING SF:

PUD DATA TABLE

PARCEL

MAP 050 /

PARCEL 001.00

MAP 050-10-B /

PARCEL 002.00

MAP 050-10-B /

PARCEL 003.00

PARCEL 130.00

ZONE

DUTY WAREHOUSE

075 - BUSINESS CENTER

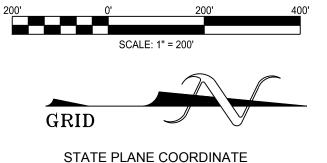
070 - VACANT INDUSTRIAL

LOT AREA (Ac.)

4.95

13.75

763,733



SYSTEM NAD-83 (1990)

EXISTING BUILDING	PROPOSED BUILDING COVERAGE (S.F.)	EXISTING PAVEMENT AREA (S.F.)	PROPOSED PAVEMENT AREA (S.F.)	EXISTING ISR	PROPOSED ISR	EXISTING FLOOR AREA (S.F.)	PROPOSED FLOOR AREA (S.F.)	EXISTING PARKING		PROPOSED PARKING	
COVERAGE (S.F.)								REQUIRED	PROVIDED	REQUIRED	PROVIDED
41,907	51,714	100,423	90,616	0.66	0.66	41,907	51,714	63	184	69	180
201,000	201,000	206,264	206,264	0.68	0.68	201,000	201,000	201	226	201	226
511,019	511,019	395,600	395,600	0.54	0.54	511,019	511,019	260	420	260	420

753,926

APPLICANT:

BARGE CAUTHEN & ASSOCIATES, INC. 6606 CHARLOTTE PIKE, SUITE 210 NASHVILLE, TENNESSEE 37209 CONTACT: JEFF HOOPER, P.E. JEFF@BARGECAUTHEN.COM

OWNER:

CINTAS CORPORATION NO. 1 6800 CINTAS BLVD MASON, OHIO 45040

GENERAL CONTRACTOR:

3110 WOODCREEK DRIVE DOWNERS GROVE, ILLINOIS 60515

CIVIL ENGINEER:

6606 CHARLOTTE PIKE, SUITE 210 CONTACT: JEFF HOOPER, P.E. PH: (615) 356-9911 JEFF@BARGECAUTHEN.COM

ARCHITECT:

GMA ARCHITECTS 3110 WOODCREEK DRIVE DOWNERS GROVE, ILLINOIS 60515

LANDSCAPE ARCHITECT:

AL WILKINSON - LANDSCAPE ARCHTIECT 3057 LIGHTS CHAPEL ROAD GREENBRIER, TENNESSEE 37073

METRO CASE # 47-86P-001

PURPOSE NOTE:

THE PURPOSE OF THIS PUD AMENDMENT IS TO PERMIT FOR A 9,807 SQUARE FOOT ADDITION TO AN EXISTING BUILDING LOCATED AT 3400 BRILEY PARK BLVD. N..

METRO WATER SERVICES - STORMWATER NOTES:

. ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES. 2. THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL, VOLUME 1

3. SIZE DRIVE CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW

4. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF THE FINAL

5. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

GENERAL NOTES:

. ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: http:\\www.ada.gov\U.S. Justice Dept: http:\\www.justice.gov/crt/housing/fairhousing/aboutfairhousingact.htm 2. ALL PROPOSED PUBLIC UTILITIES AND SERVICES SHALL BE INSTALLED

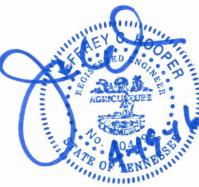
. TRASH AND RECYCLING SERVICES ARE TO BE CONTRACTED BETWEEN THE

DEVELOPER / OWNER AND A PRIVATE HAULER. 4. BUILDING SETBACK SHALL BE PER METRO ZONING CODE.

5. NOTE TO OWNERS, YOU ARE STRONGLY ADVISED TO CONTACT METRO WATER SERVICES ENGINEERING DIVISION (DEVELOPMENT SERVICES) TO DETERMINE ADEQUACY OF PUBLIC WATER AND SEWER FACILITIES FOR INTENDED DEVELOPMENT

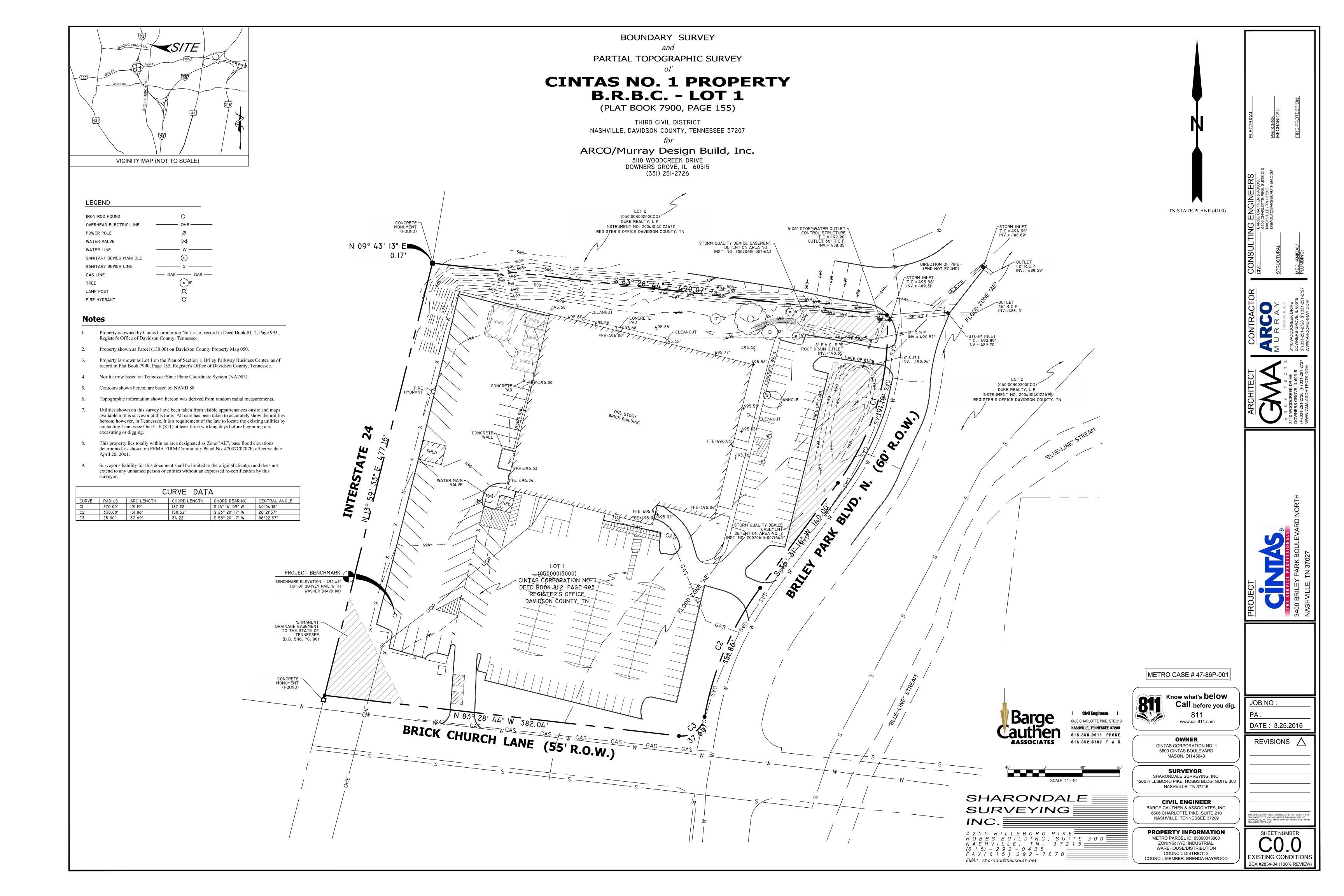
6. INDIVIDUAL WATER AND/OR SEWER SERVICE LINES ARE REQUIRED FOR EACH

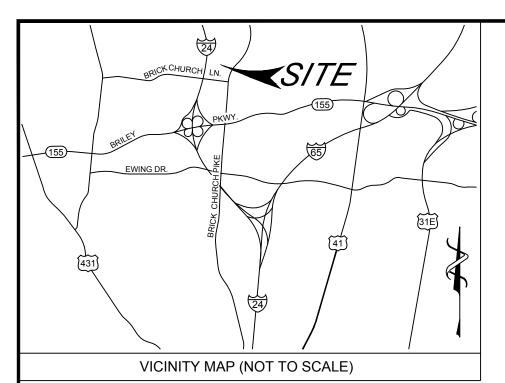




DESCRIPTION				
DATE				

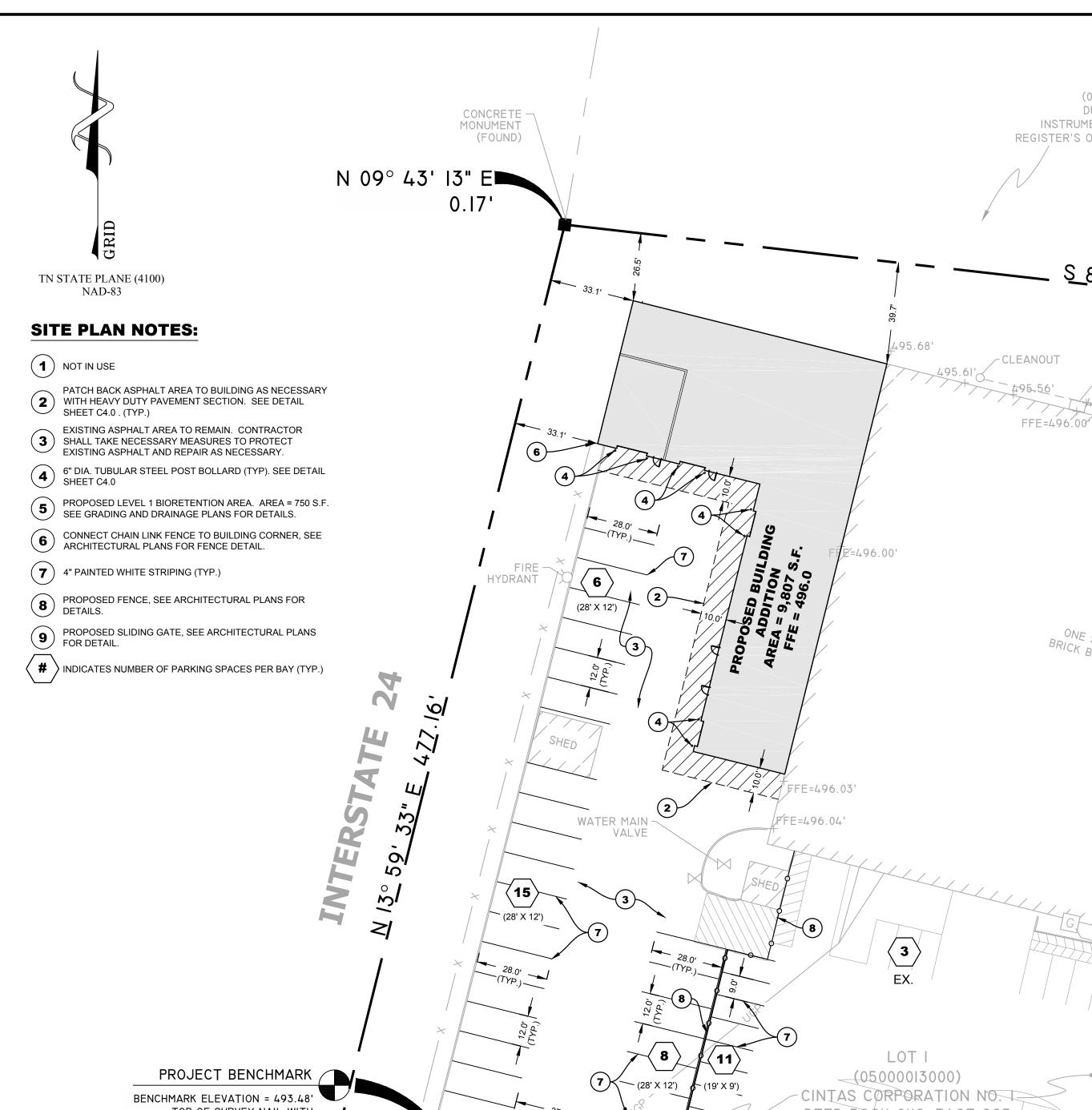


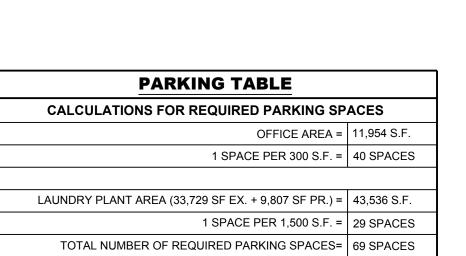




GENERAL CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND
- NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNER'S APPROVAL . CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION.
- CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
- NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
- ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF CONSTRUCTION ACTIVITIES ARE PERFORMED. LALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL
- ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
- PROVIDE STANDARD BUFFER SIGNS ALONG STREAM BUFFER TO MEET METRO STORMWATER REQUIREMENTS. SIGNS SHALL BE INSTALLED 100' MAXIMUM CENTER TO CENTER SPACING. 5 SIGNS TOTAL NEEDED.
- THE EASEMENTS, BUFFER YARDS AND SETBACKS SHOWN ON THIS PLAN ARE BASED ON THE METRO ZONING CODE FOR IR ZONING AND OTHER INFORMATION AVAILABLE AS OF THE DATE OF THIS DRAWING. THE LOCATION & WIDTH OF THE EASEMENTS, BUFFER YARDS AND SETBACKS MUST BE VERIFIED BY CONTRACTOR WITH METRO BUILDING AND CODES BEFORE CONSTRUCTION OR PLANNING OF ANY KIND BEGINS.

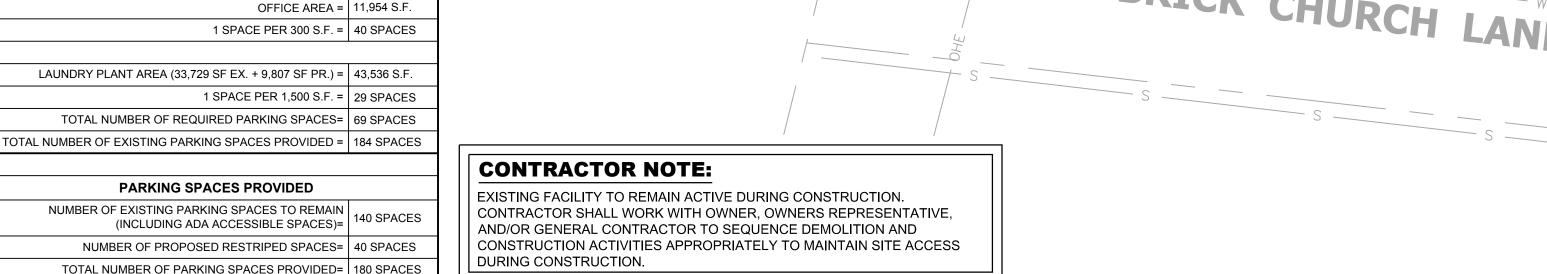




PARKING SPACES PROVIDED

NUMBER OF EXISTING PARKING SPACES TO REMAIN (INCLUDING ADA ACCESSIBLE SPACES)= 140 SPACES

TOTAL NUMBER OF PARKING SPACES PROVIDED= 180 SPACES



PERMANENT

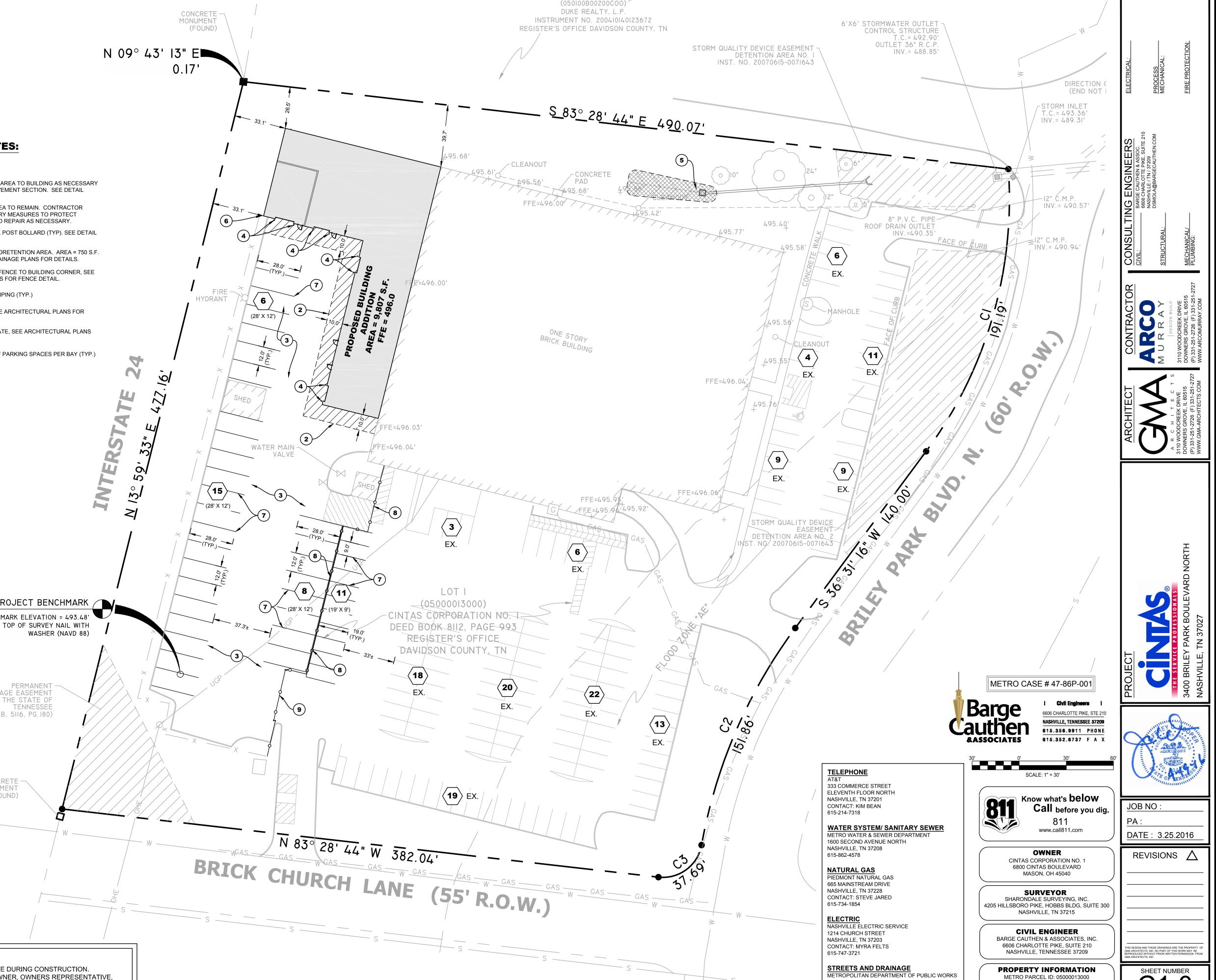
TENNESSEE

DRAINAGE EASEMENT TO THE STATE OF

CONCRETE

MONUMENT (FOUND)

(D.B. 5116, PG.180)



720 SOUTH FIFTH STREET

NASHVILLE, TN 37206

615-862-8760

CONTACT: MARK MACY

ZONING: IWD: INDUSTRIAL,

WAREHOUSE/DISTRIBUTION

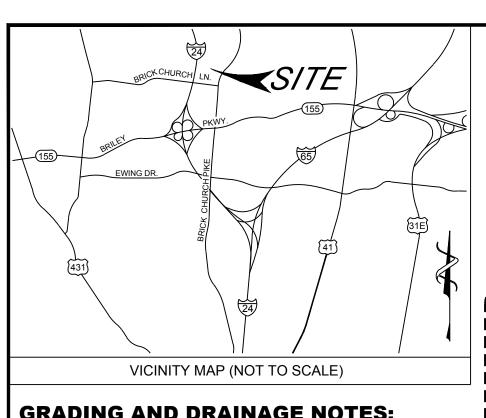
COUNCIL DISTRICT: 3

COUNCIL MEMBER: BRENDA HAYWOOD

SITE PLAN

BCA #2834-04 (100% REVIEW)

LOT 2



GRADING AND DRAINAGE NOTES:

- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY OWNER'S
- TOPSOIL IS TO BE STRIPPED FROM ALL DISTURBED AREAS, STOCKPILED AND REDISTRIBUTED TO A MINIMUM OF 6".
- ALL GRADED AREAS, INCLUDING SLOPES, ARE TO BE MULCHED AND SEEDED WITHIN 15 DAYS AFTER GRADING IS COMPLETED.
- CONSTRUCT EROSION CONTROL AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS, FOR TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO REMAIN.
- CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS PRIOR TO BEGINNING WORK. THIS PROJECT SHALL MEET THE METRO NASHVILLE TREE ORDINANCE PRIOR TO RECEIVING A USE AND OCCUPANCY PERMIT.
- IN THE EVENT OF DISCREPANCIES THE RECOMMENDATIONS OF THE ENGINEER
- ALL GRADING OPERATIONS, EXCAVATION, FILL, COMPACTION TESTING AND BACKFILL SHALL BE OBSERVED AND TESTED BY A QUALIFIED SOILS ENGINEER.
- 0. NO FILL SHALL BE PLACED PRIOR TO APPROVAL OF THE SUBGRADE BY THE SOILS ENGINEER.
- 1. COMPACTION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS OF A SOILS ENGINEER.
- 2. COMPACTION TESTS SHALL BE DONE FOR EACH TWO FEET OF FILL, BUT NOT LESS THAN ONE TEST FOR EVERY 500 CUBIC YARDS, OR MORE FREQUENTLY IF REQUIRED BY A SOILS ENGINEER. RESULTS OF THE TESTS SHALL BE SUPPLIED TO SITE ENGINEER.
- . THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL COSTS INCURRED FOR INSPECTION AND TESTING OF SOILS DUE TO FAILURE TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE SOILS ENGINEER.
- . ALL GRADING OPERATIONS SHALL BE STAKED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR APPROVED BY THE OWNER.
- 5. UPON COMPLETION OF GRADING, THE SOILS ENGINEER SHALL PROVIDE OWNER WITH A LETTER INDICATING THAT THE SITE AND BUILDING PAD WERE PREPARED IN DIRECT CONFORMANCE WITH HIS RECOMMENDATIONS.
- 6. CONTRACTOR TO PROVIDE AND INSTALL A MINIMUM OF 6" OF TOPSOIL IN ALL LANDSCAPE BEDS PRIOR TO LANDSCAPE INSTALLATION. IN AREAS WHERE ROCK IS PRESENT. TOPSOIL DEPTH SHALL BE 12" MINIMUM. ALL CONSTRUCTION DEBRIS TO BE REMOVED PRIOR TO INSTALLATION OF TOPSOIL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL GRADES I ACCORDANCE TO ENGINEERED PLANS UNLESS APPROVED BY ARCHITECT ENGINEER, OR OWNER'S REPRESENTATIVE IN WRITING DUE TO POTENTIAL VIOLATIONS OF ADA REQUIREMENTS FOR MINIMUM AND MAXIMUM ALLOWED SLOPES. ANY GRADES FOUND NOT TO BE INSTALLED TO THE ENGINEERED GRADES WILL BE REQUIRED TO BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE AT ANY TIME NOW OR IN THE FUTURE. THE CONTRACTOR SHALL CONSTRUCT SIDEWALKS AND HANDICAP ACCESSIBLE AREAS IN SUCH A MANNER NOT TO EXCEED A 2.0% CROSS SLOPE IN ANY DIRECTION. THE CONTRACTOR SHALL CONSTRUCT SIDEWALKS IN SUCH A MANNER NOT TO EXCEED A RUNNING SLOPE OF 5.0% EXCEPT WHERE RAMPS ARE INDICATED.
- ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
- 9. ALL SLOPES 3:1 OR GREATER SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S150BN STRAW EROSION CONTROL BLANKET, OR APPROVED EQUAL.
- 20. CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASHDOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING.
- 1. CONTRACTOR SHALL PROVIDE ENGINEER WITH AS-BUILT TOPOGRAPHICAL SURVEY OF STORM WATER QUALITY TREATMENT DEVICES AND COMPENSATE ENGINEER FOR ANALYSIS TO DETERMINE BASINS HAVE BEEN PROPERLY CONSTRUCTED. SURVEY SHALL BE SEALED BY A LICENSED LAND SURVEYOR.
- 2. WHEN THE TEMPORARY SOIL EROSION AND WATER POLLUTION DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE IN THE OPINION OF THE NPDES REPRESENTATIVE, THEY SHALL BE REMOVED. ALL EROSION CONTROL MEASURES ARE TO BE REMOVED PRIOR TO AS-BUILT APPROVAL.
- 23. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE. LOCATION OF AND/OR NOTES REFERRING TO THESE BMP'S SHALL BE SHOWN ON THE EPSC PLAN.

I hereby certify that I am the Erosion Prevention and Sediment Control Specialist for this project, until an alternate is designated

AS-BUILT NOTE:

(RECERTIFIED 2013)

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE CUT & FILL IN THE FLOODPLAINSINK HOLE ALTERATIONS

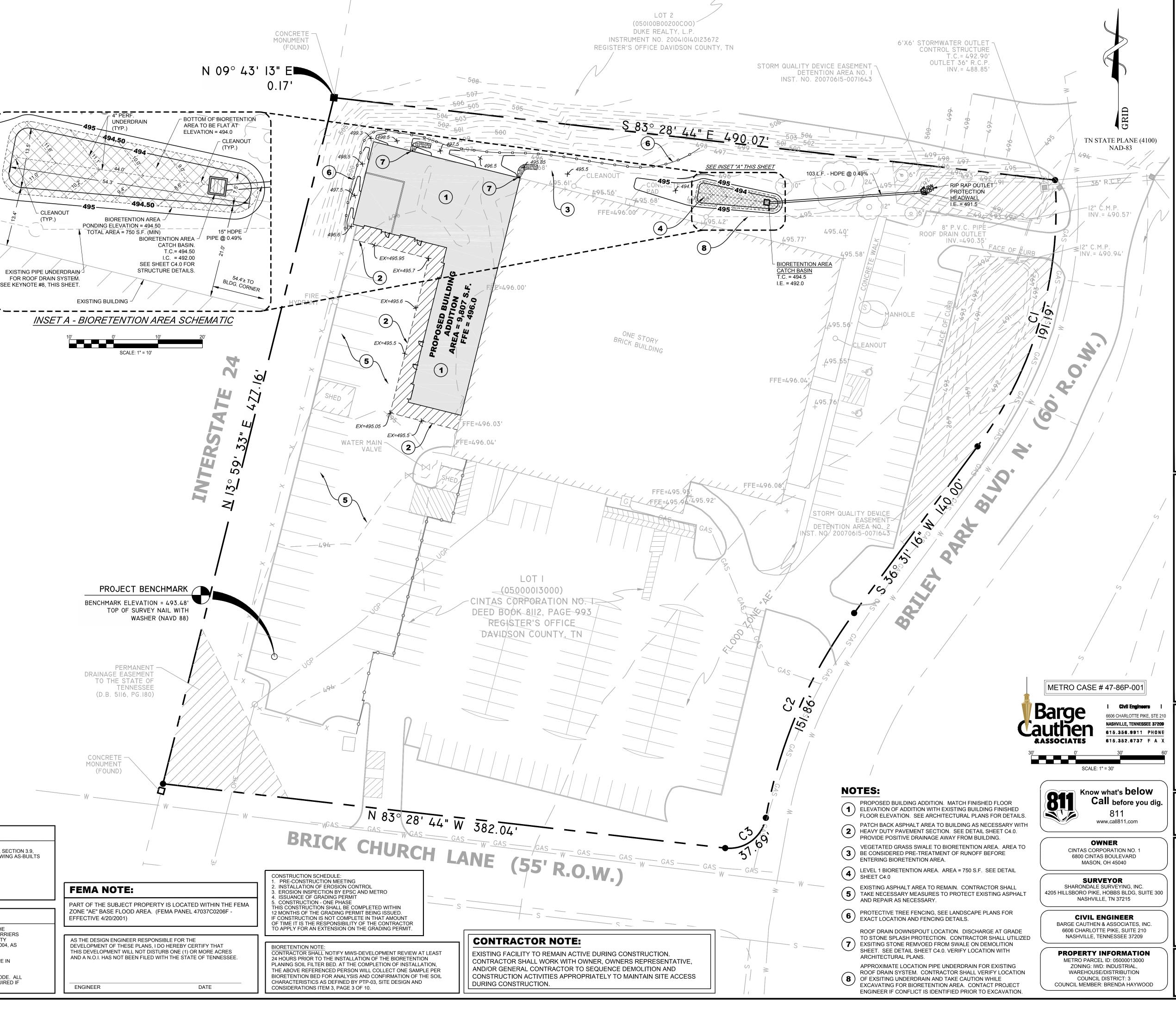
ADA NOTES:

ALL CONSTRUCTION ACTIVITIES SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICAN DISABILITIES ACT ("ADA") AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36 CFR PARTS 1190 AND 1191. ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.

ALL ADA CONCRETE RAMPS SHALL HAVE A MINIMUM 5' X 5' LEVEL (MAXIMUM 2% SLOPE IN ANY DIRECTION) LANDING AT TOP AND BOTTOM OF RAMP.

ALL SIDEWALKS ON SITE SHALL BE ADA COMPLIANT IN ACCORDANCE WITH METRO CODE. ALL SIDEWALKS SHALL HAVE 5% OR LESS RUNNING SLOPE. RAMPS, AND LANDINGS REQUIRED IF

SLOPE IS OVER 5%. MAXIMUM CROSS SLOPE ALLOWED IS 2%.



JOB NO :

DATE: 3.25.2016

REVISIONS \

SHEET NUMBER

GRADING & DRAINAGE

BCA #2834-04 (100% REVIEW)