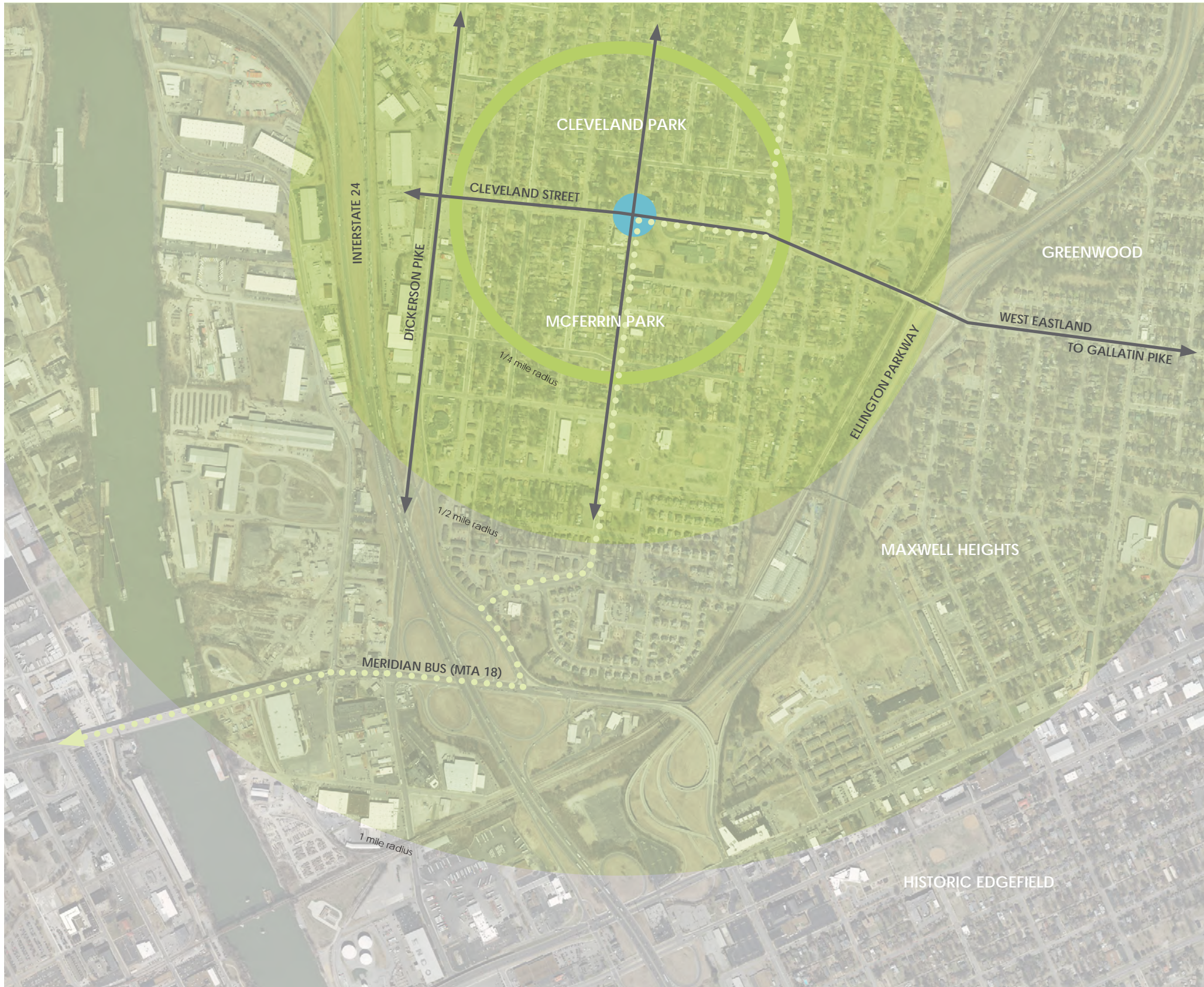




MCGAVOCK HOUSE | PRELIMINARY SPECIFIC PLAN
11 FEBRUARY 2016



CONTEXT MAP

Purpose Note

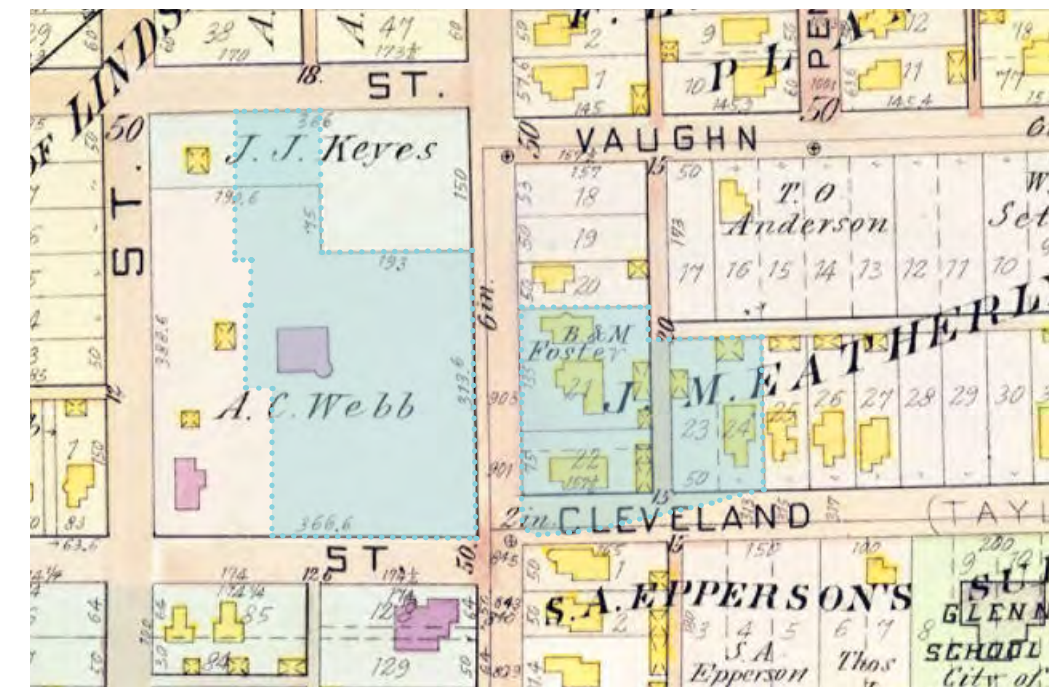
The purpose of this plan is to establish the zoning for a mixed-use development and a plan for the reuse of historic structures.

Overview of the Location

The corner of Cleveland Street and Meridian Street is the civic and institutional connection of the Cleveland Park and McFerrin Park neighborhoods. Cleveland Street is an important community street that crosses Ellington Parkway to connect Dickerson Pike with Gallatin Pike. Neighborhood transit is provided by the Meridian bus line.

This corner is also unique in that it balances civic, institutional, residential and commercial uses. The Nashville Fire Department recently invested in a new firehall. Glenn Elementary sits at the southeast corner. The northeast corner is anchored by the historic Meridian Street Methodist building, most recently home to the Ray of Hope Community Church. As seen in the 1908 Sanborn map, the site has long been civic, institutional, residential, and commercial.

In the center of the northwest block is an historic home dating to the 1840s. Ownership of the house was claimed by many important Nashville families - McGavock, Harris, Lindsley - and is significant to the history of Nashville, making it an important part of the Specific Plan zoning. The original structure of the McGavock-Harris-Gatewood-Webb House, also know as Fountain Blue, was built by James McGavock circa 1840. The house is listed on the National Register of Historic Places.



1908 SANBORN MAP

Community Character Policy

The McGavock House Specific Plan site is currently guided by T4 Neighborhood Maintenance (T4 NM) and T4 Neighborhood Evolving (T4 NE) policy of the Community Character Manual (CCM).

The site is one parcel removed from T4 Neighborhood Center policy, and that parcel is a civic use. This application seeks to extend the T4 NC policy to the McGavock House SP properties, or utilize a special policy determined by Planning staff through the community planning process.

The McGavock House SP site is in the heart of Cleveland Park, and less than three miles from the heart of Downtown Nashville. Cleveland Street is important connection to transit, services, and jobs on Dickerson Road and Gallatin Pike. The Meridian bus line (MTA 28) stops at the corner of Cleveland and Meridian. MTA 28 an unusual neighborhood route that connects residences directly to the jobs and services in Downtown, and Music City Central.

The McGavock House SP site is very near parks and community assets such as Glenn Elementary, Cleveland Park and Community Center, McFerrin Park and Community Center, and the Magness-Potter Community Center.

The site includes a historic house (dating to 1840) and open space, a historic church and associated parking, and houses. The site is directly across the street from a fire hall and elementary school and on an important connector street. Just beyond the fire hall and school is a block of commercial zoning and neighborhood center policy. This application requests the extension of the neighborhood center policy to include the parcels included in the rezoning. The change in policy will allow uses needed to adaptively reuse the house, church, and open space, all of which are important features in the neighborhood.

Both T4 NM and T4 NE allow missing middle housing such as townhouses within urban neighborhoods. The site is ideally located for the strategic integration of multi-family housing; it is near commercial and civic uses, on a collector street, and on a neighborhood bus line.

The change in policy will allow new construction of multi-family housing. In an established neighborhood of single-family homes, the addition of multi-family housing in a neighborhood center, will provide housing choice in an ideal location – on a connector street and on a transit line.



EAST FACADE OF THE MCGAVOCK HOUSE



THE CHURCH BUILDING

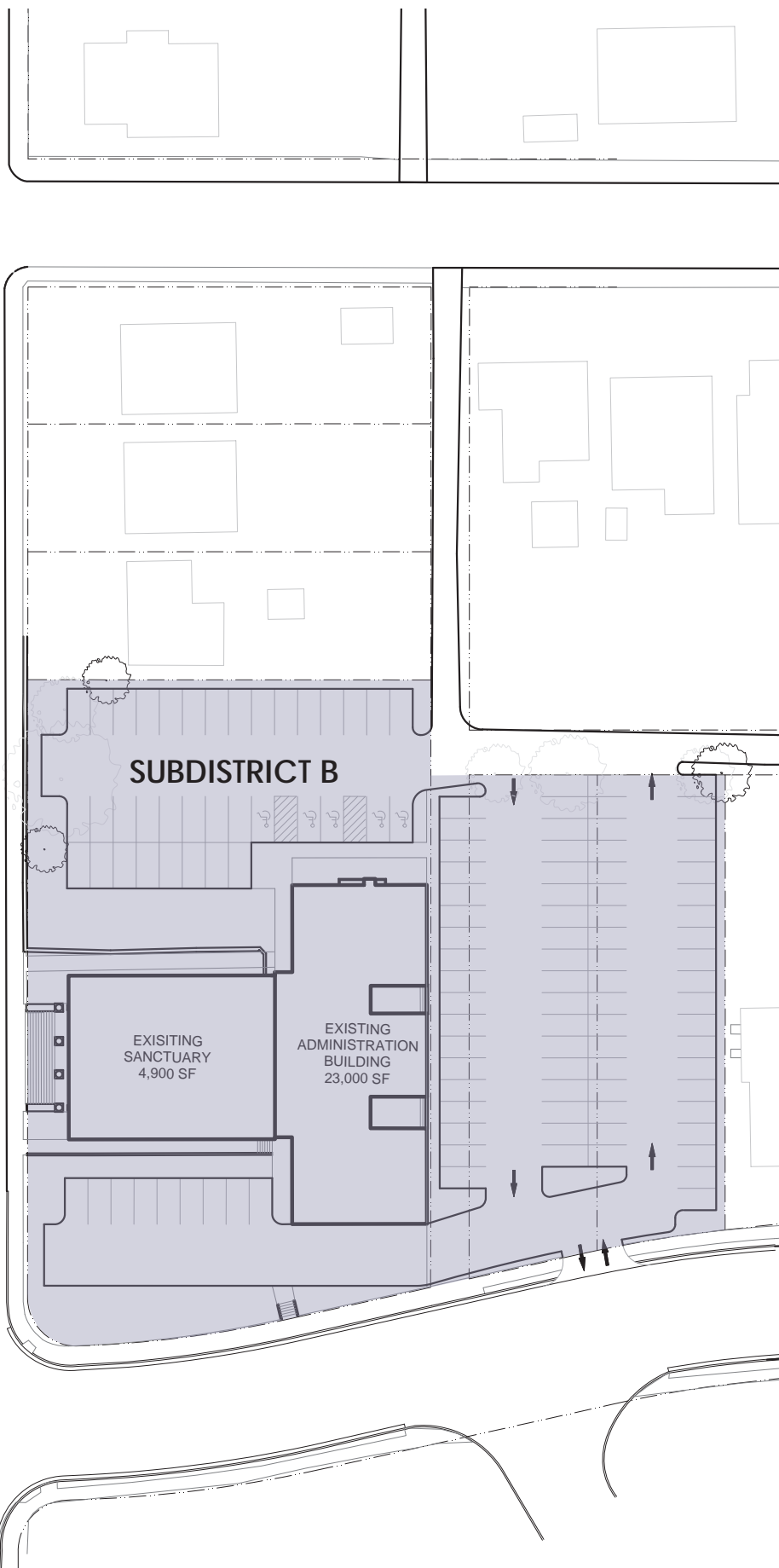
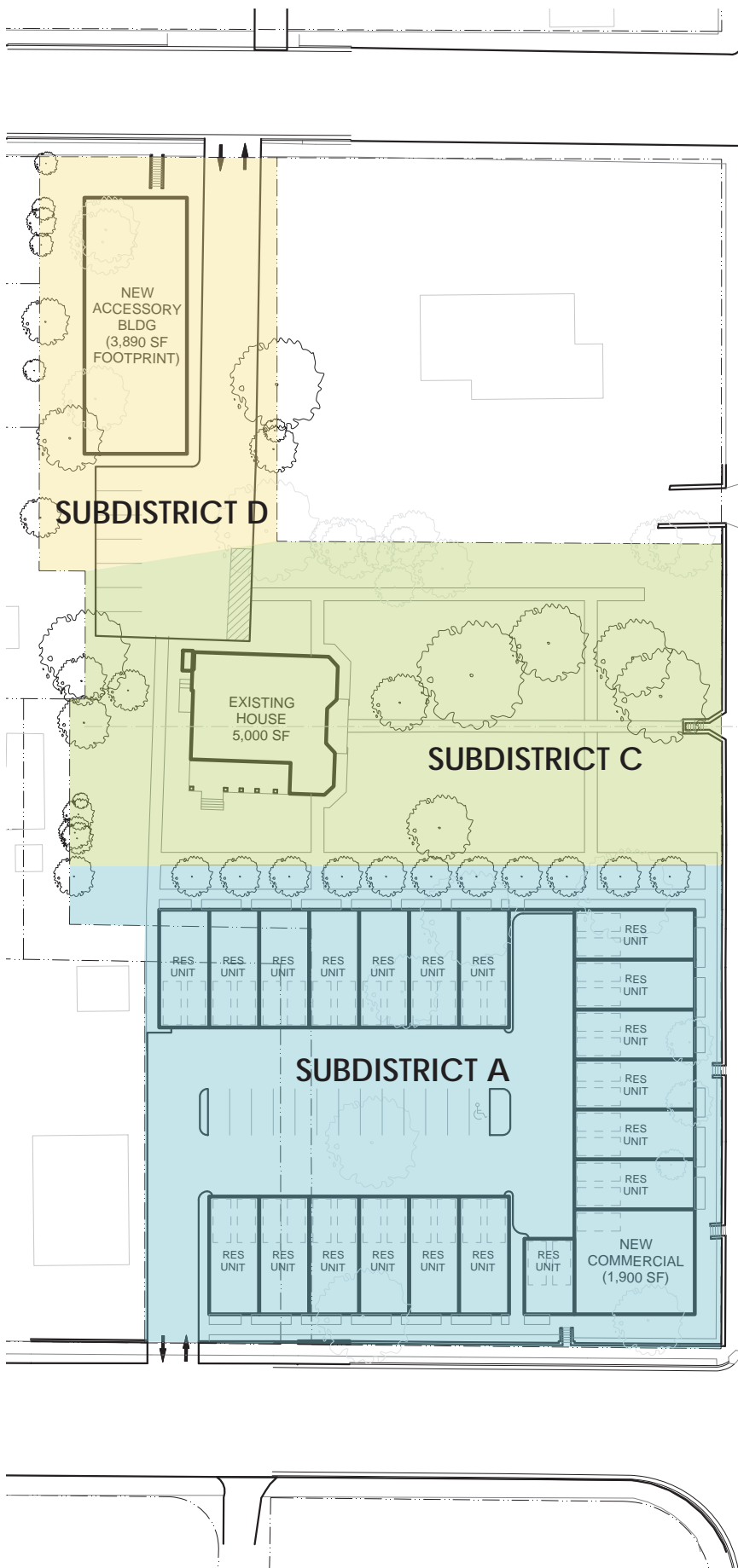


SOUTH FACADE OF THE MCGAVOCK HOUSE

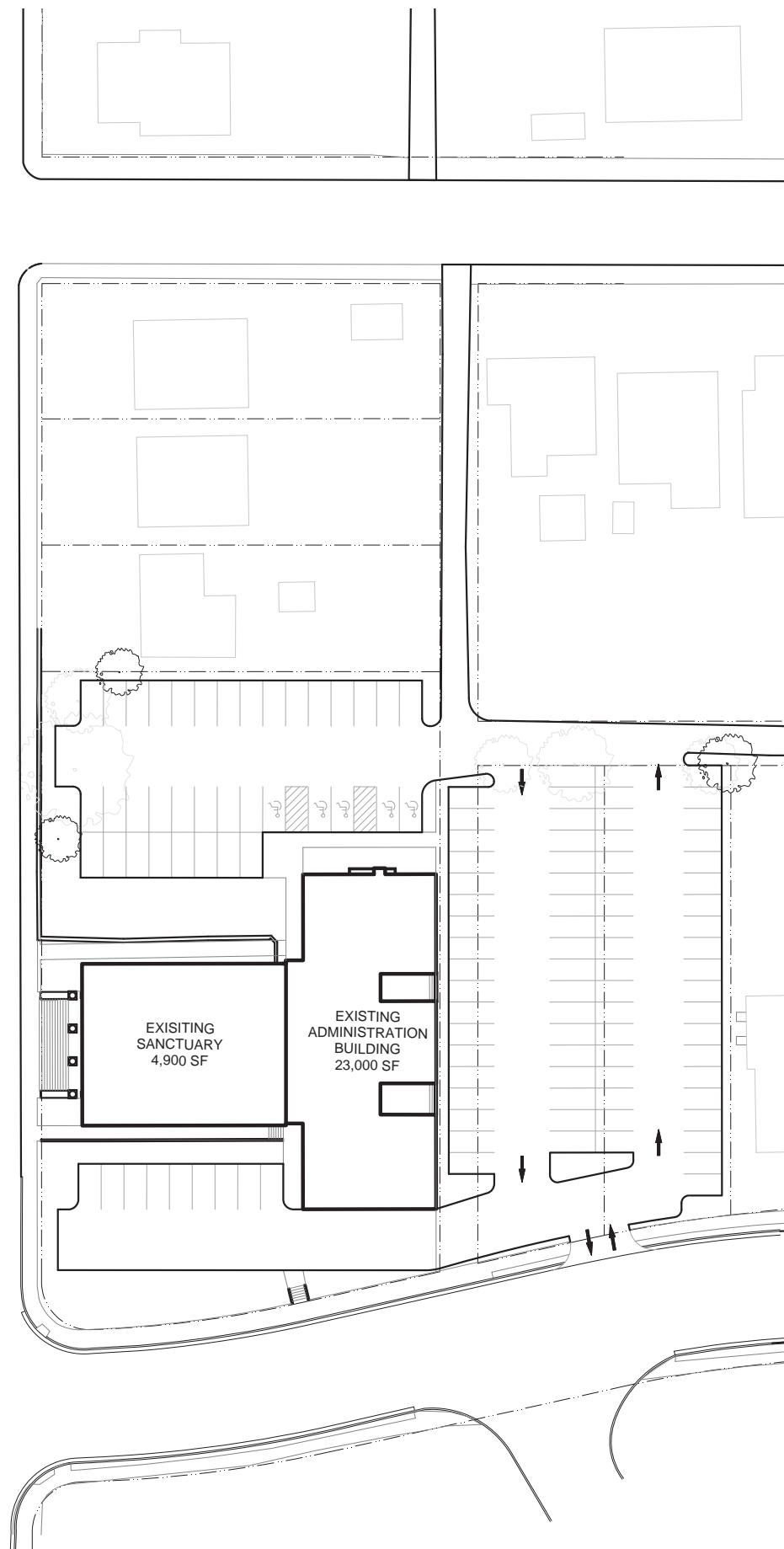
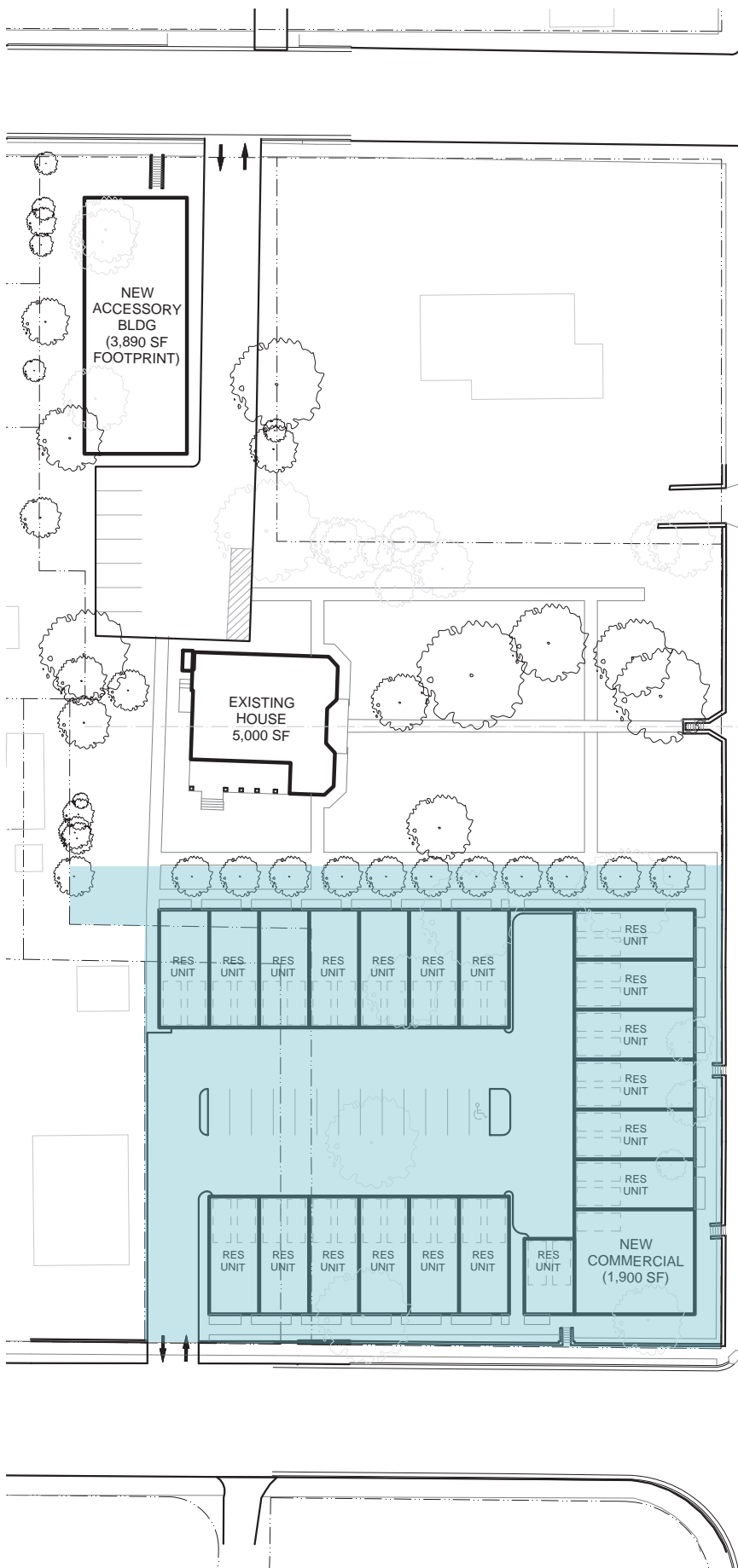


SANCTUARY ENTRANCE

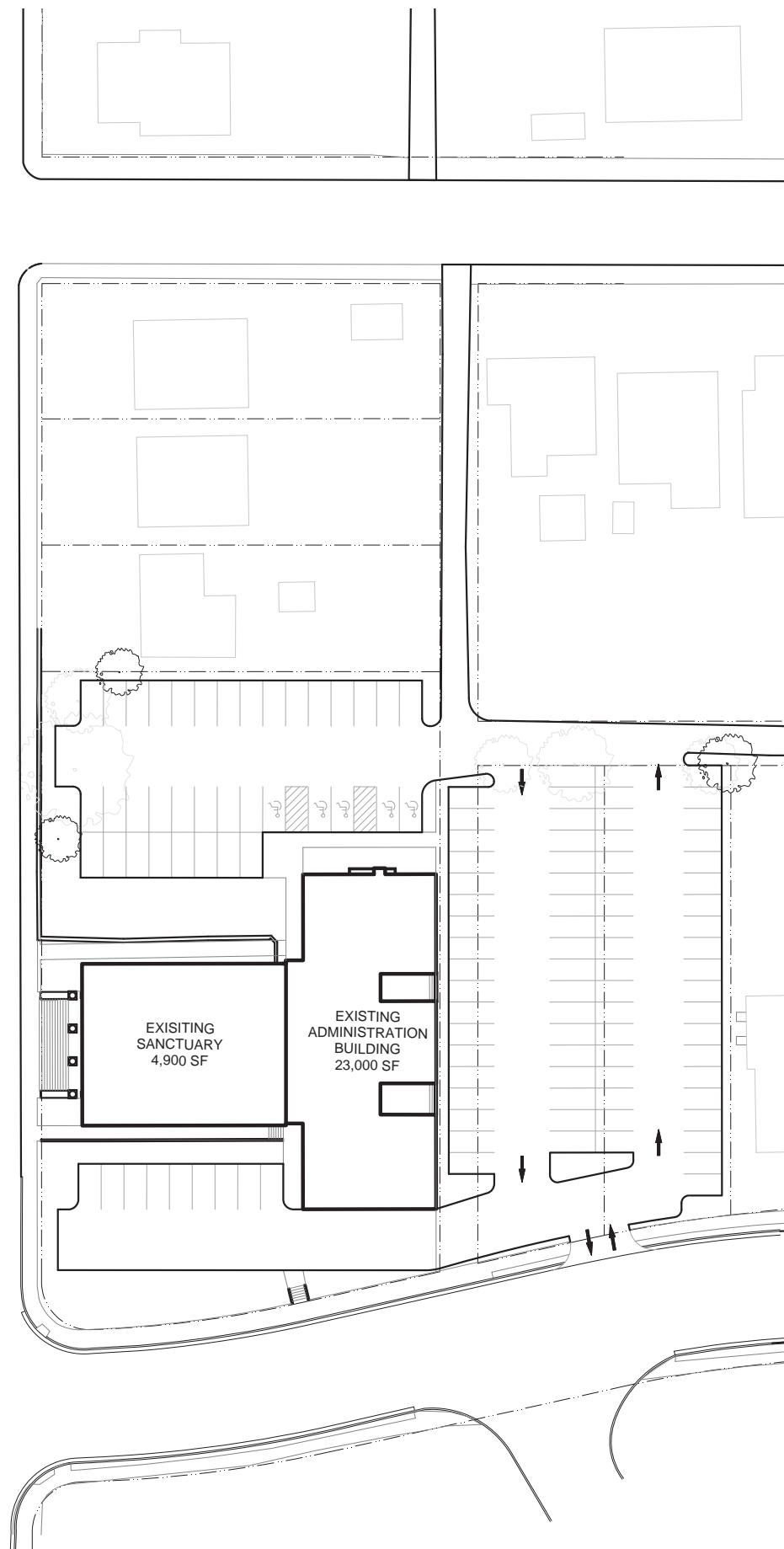
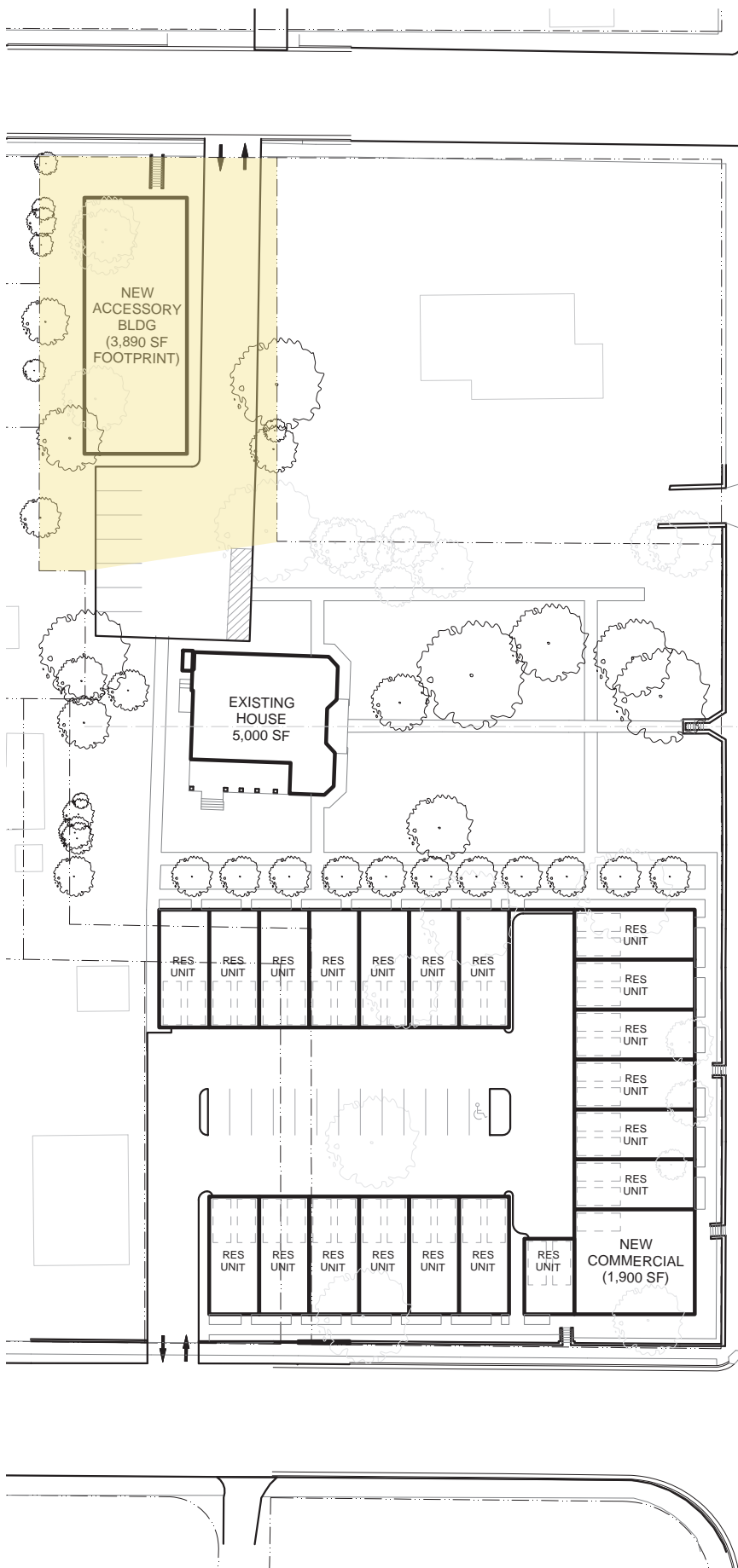




Base Zoning	The standards of this SP shall follow MUL-A zoning district in the UZO except where standards in this document are more specific or change the standards of MUL-A.
FAR	1.0, to be calculated cumulatively across all subdistricts and used in any subdistrict.
ISR	0.90, to be calculated cumulatively across all subdistricts.
Bicycle Parking Requirements	According to 17.20.135 of the zoning code.
Parking	According to MUL-A, UZO allowances, and all allowances in the zoning code. Parking may be shared between subdistricts regardless of ownership.
Notes	In order to preserve the historic wall along the back of the sidewalks on Cleveland Street and Meridian Street, any changes required to be made to the width of the sidewalk shall be made by moving the curb. Additional standards are provided by subdistrict.



Goals	Introduce new multi-family residential and neighborhood-scaled commercial to support the reuse of the church building and the McGavock House. Provide missing-middle housing in Cleveland Park. Frame and enhance the open space in front of the McGavock House with residential. Preserve the historic wall along Cleveland Street and Meridian Street. Provide parking for residential and commercial uses.
Minimum Rear Setback	West property line: 5'
Minimum Street Setback	10' from the back of the historic wall
Minimum Side Setback	None required
Maximum Dwelling Units	25
Maximum Height	Rooftop terraces are allowed on all structures. For the measurement of maximum height, enclosed staircases needed to access rooftop terraces are not considered a story.
Cleveland Street	3 stories
Meridian Street	3 stories
Open Space	2.5 stories
Urban Design: Residential	Front doors to residential units shall be oriented toward the street or open space. Minimum ground floor glazing shall be 15%.
Urban Design: Commercial	Maximum sill height shall be 4' from grade. Minimum ground floor glazing shall be 40%.
Uses	Multi-family, restaurant, retail, office

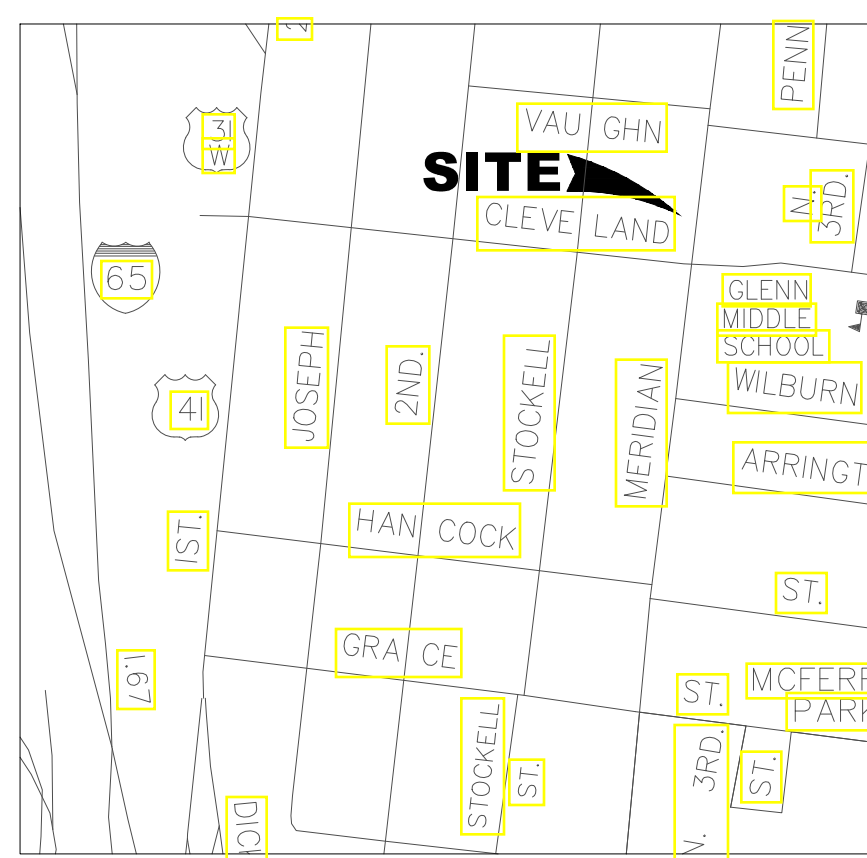


Goals	Support the preservation and restoration the McGavock House for reuse by allowing new construction for support uses associated with the house. Provide parking and loading needed for the reuse of the McGavock House.
Minimum Rear Setback	None required
Minimum Street Setback	15'
Minimum Side Setback	15'
Buffer	To be provided where parking is adjacent to a home not associated with this SP. A 3' wide buffer with 2.5 canopy trees, 1 understory, and 8 shrubs per 100'.
Maximum Height	45' as measured from grade at the established street setback.
Urban Design	Sloped roof required.
Uses	Ancillary uses such as storage and production for uses within the historic house, parking

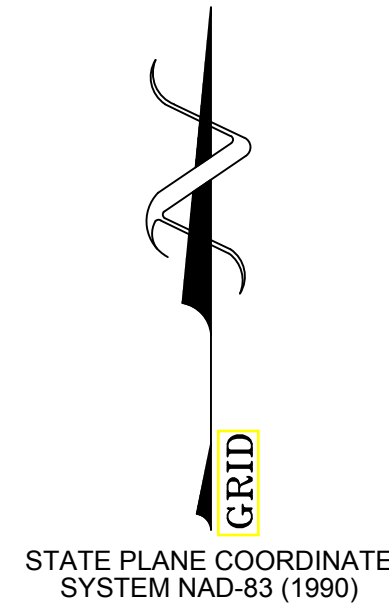








VICINITY MAP
NTS



GENERAL STANDARDS	
Base Zoning	The standards of this SP shall follow MUL-A zoning district in the UZO except where standards in this document are more specific or change the standards of MUL-A.
FAR	1.0, to be calculated cumulatively across all subdistricts and used in any subdistrict.
ISR	0.90, to be calculated cumulatively across all subdistricts.
Bicycle Parking Requirements	According to 17.20.135 of the zoning code.
Parking	According to MUL-A, UZO allowances, and all allowances in the zoning code. Parking may be shared between subdistricts regardless of ownership.
Notes	In order to preserve the historic wall along the back of the sidewalks on Cleveland Street and Meridian Street, any changes required to be made to the width of the sidewalk shall be made by moving the curb. Additional standards are provided by subdistrict.
SUBDISTRICT A	
Goals	Introduce new multi-family residential and neighborhood-scaled commercial to support the reuse of the church building and the McGavock House. Provide missing-middle housing in Cleveland Park. Frame and enhance the open space in front of the McGavock House with residential. Preserve the historic wall along Cleveland Street and Meridian Street. Provide parking for residential and commercial uses.
Minimum Rear Setback	West property line: 5'
Minimum Street Setback	10' from the back of the historic wall
Minimum Side Setback	None required
Maximum Dwelling Units	25
Maximum Height	Rooftop terraces are allowed on all structures. For the measurement of maximum height, enclosed staircases needed to access rooftop terraces are not considered a story. 3 stories 3 stories
Cleveland Street Meridian Street Open Space	2.5 stories
Urban Design: Residential	Front doors to residential units shall be oriented toward the street or open space. Minimum ground floor glazing shall be 15%.
Urban Design: Commercial	Maximum sill height shall be 4' from grade. Minimum ground floor glazing shall be 40%.
Uses	Multi-family, restaurant, retail, office
SUBDISTRICT B	
Goals	Preserve the existing sanctuary and administration building for reuse. Add needed parking for the reuse of the church building, and the McGavock House, and nearby new construction.
Minimum Alley Setback	5'
Minimum Street Setback	Cleveland Street: 16' Meridian Street: 20'
Minimum Side Setback	5'
Buffer	To be provided where parking is adjacent to a home not associated with this SP. A 3' wide buffer with 2.5 canopy trees, 1 understory, and 8 shrubs per 100'.
Uses	Multi-family, restaurant, bed and breakfast inn, hotel, community education, office, retail, parking
SUBDISTRICT C	
Goals	Preserve and restore the McGavock House for reuse. Preserve the open space between the McGavock House and Meridian Street. Preserve the historic wall along Meridian Street. Provide parking and loading needed for the reuse of the McGavock House.
Uses	Restaurant, bed and breakfast inn, office, parking
SUBDISTRICT D	
Goals	Support the preservation and restoration the McGavock House for reuse by allowing new construction for support uses associated with the house. Provide parking and loading needed for the reuse of the McGavock House.
Minimum Rear Setback	None required
Minimum Street Setback	15'
Minimum Side Setback	15'
Buffer	To be provided where parking is adjacent to a home not associated with this SP. A 3' wide buffer with 2.5 canopy trees, 1 understory, and 8 shrubs per 100'.
Maximum Height	45' as measured from grade of the established street setback.
Urban Design	Sloped roof required.
Uses	Ancillary uses such as storage and production for uses within the historic house, parking



GENERAL SP NOTES:

THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO RESPOND TO BASIC DEVELOPMENT OF DESIGN INTENT, UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.

AS THE DESIGN OF THE PROJECT CONTINUES TO PROGRESS, THE DEVELOPER MAY FIND IT NECESSARY TO MAKE MINOR ADJUSTMENTS TO ITEMS SUCH AS BUILDING FOOTPRINT, BUILDING ELEVATIONS AND COMPOSITION OF FENESTRATION AND OTHER FACADE ELEMENTS, OR THOSE AS NECESSITATED BY STRUCTURAL, MECHANICAL, OR ELECTRICAL DESIGN DEVELOPMENT.

DEVELOPER RESERVES THE RIGHT TO MAKE ADDITIONAL ADJUSTMENTS TO ADDRESS REQUIREMENTS OF OR REVISIONS TO BUILDING CODES AND OTHER REGULATIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

NOTE:
PORTIONS OF ALLEY #328 & ALLEY #330 TO BE CLOSED.

FEMA NOTE:
THE SUBJECT PROPERTIES ARE NOT LOCATED WITHIN A FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. FLOOD INSURANCE RATE MAP PANEL NUMBERS 47037C0209F & 47037C0217F - EFFECTIVE: APRIL 20, 2001.

MAP 082-03
PARCELS 227, 228,
229, 231, 415, 416,
417 & 551

HASTINGS
ARCHITECTURE ASSOCIATES, LLC

ARCHITECTURE • INTERIORS
PLANNING • SUSTAINABILITY

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PRELIMINARY SP APPLICATION

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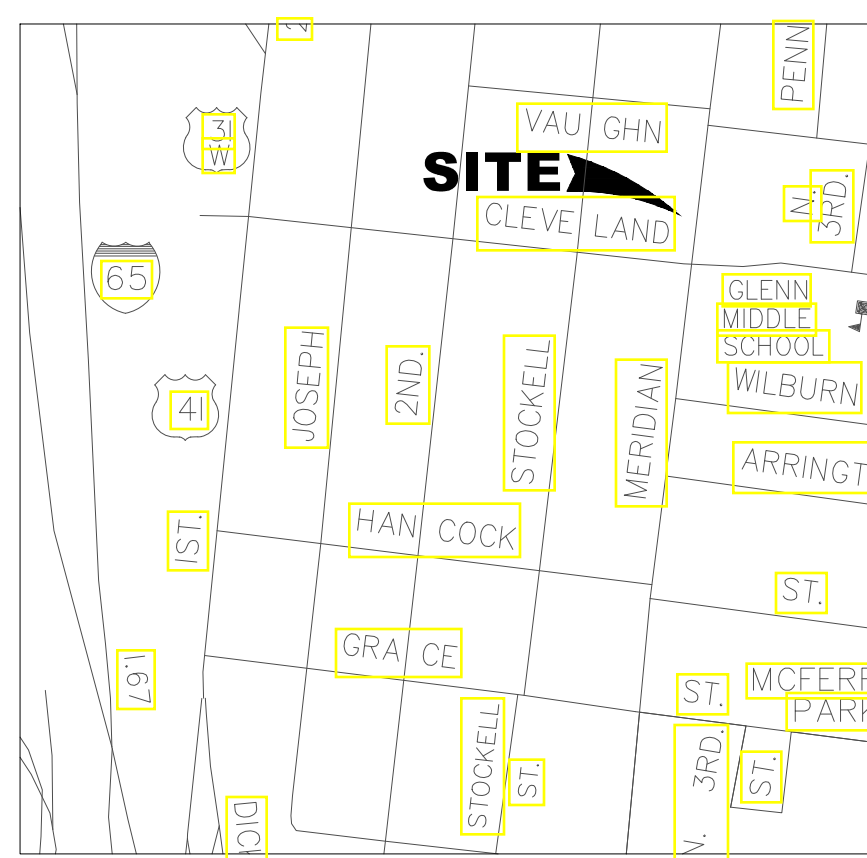
RAY OF HOPE /
McGAVOCK HOUSE

901 & 908 MERIDIAN ST | NASHVILLE | TN 37207

REVISION INFORMATION

2016.02.11
INITIAL SITE PLAN

SP01



VICINITY MAP
NTS

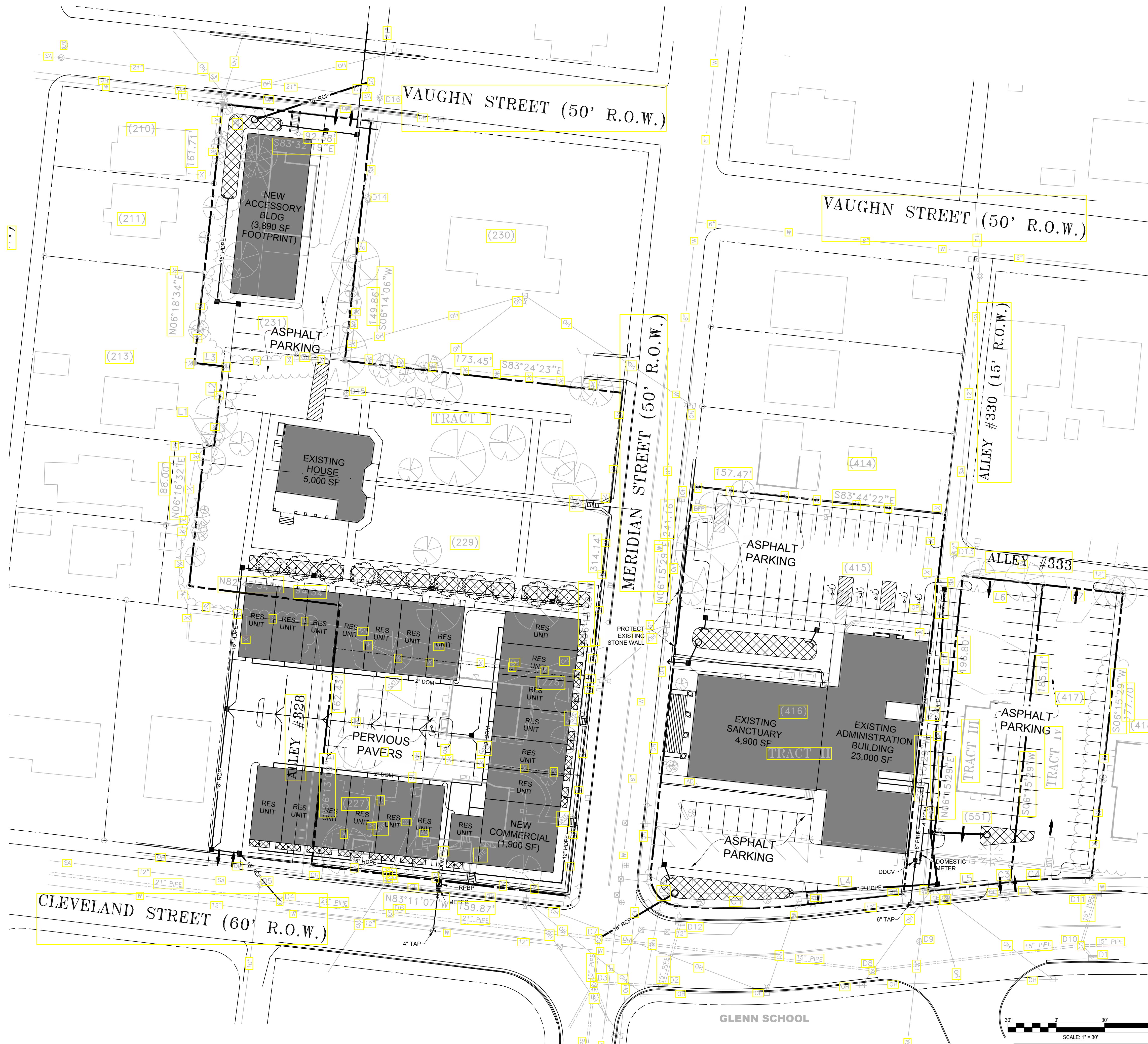
STATE PLANE COORDINATE
SYSTEM NAD-83 (1990)

GENERAL SP NOTES:

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MAP 082-03
PARCELS 227, 228,
229, 231, 415, 416,
417 & 551



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PRELIMINARY SP
APPLICATION

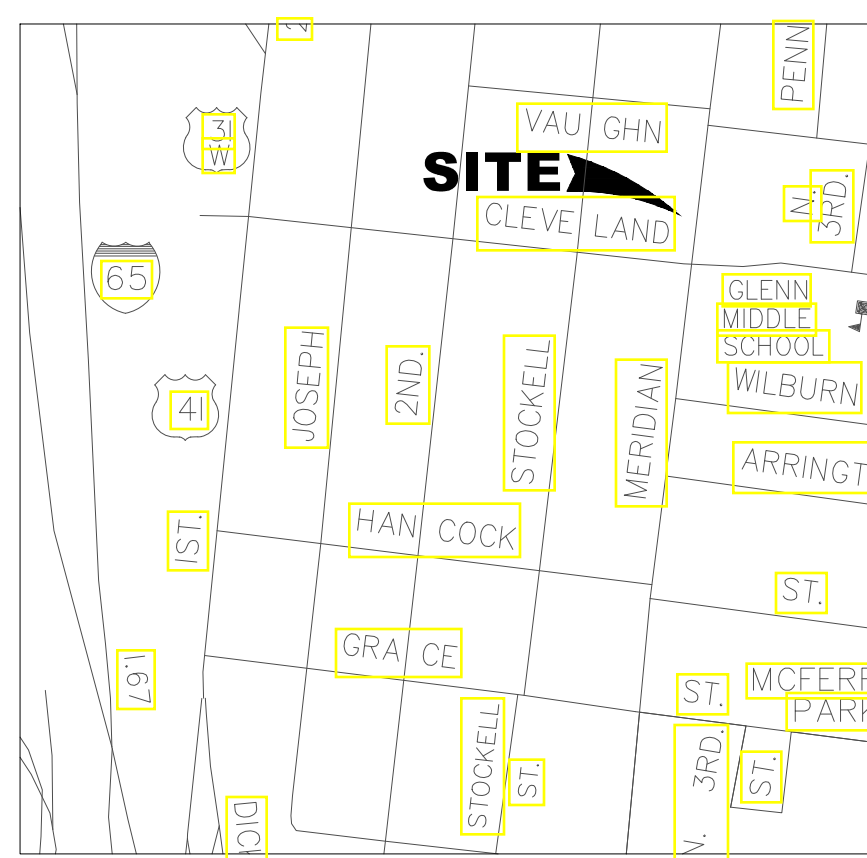
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BCA PROJECT NO. 1085-17

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MCGAVOCK HOUSE
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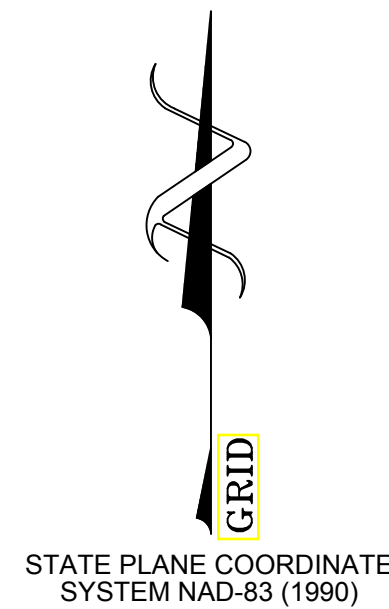
REVISION INFORMATION

2016.02.11
UTILITY PLAN

SP02



VICINITY MAP
NTS



STATE PLANE COORDINATE
SYSTEM NAD-83 (1990)

GENERAL SP NOTES:

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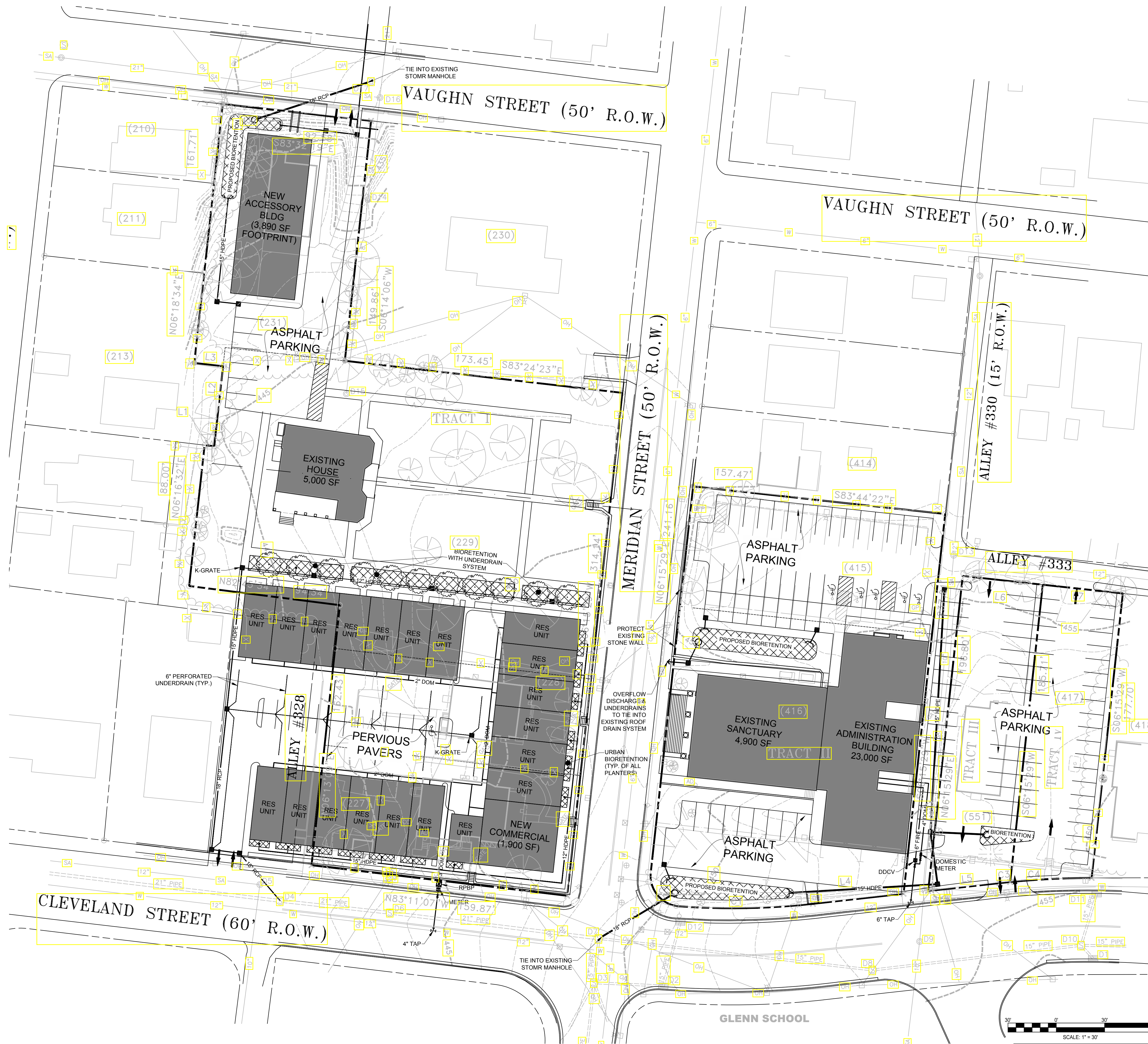
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PLAN NOTES:

1. 78-840 NOTE: ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.)
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
3. THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.
4. FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS SPECIFICALLY NOT SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS OF MUG ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.
5. THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
6. NO STEPS ARE TO BE LOCATED WITHIN RIGHT OF WAY.

STORMWATER NOTES:

1. THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND THE DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.



NOTE:
PORTIONS OF ALLEY #328 & ALLEY #330 TO BE CLOSED.

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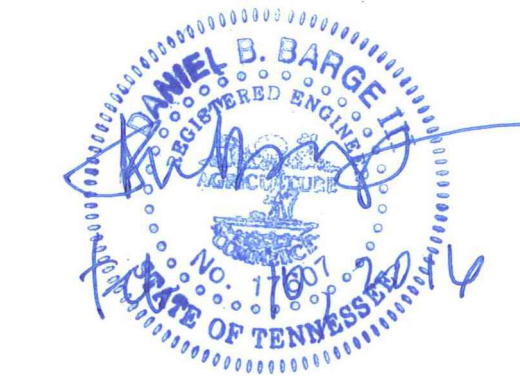
MAP 082-03
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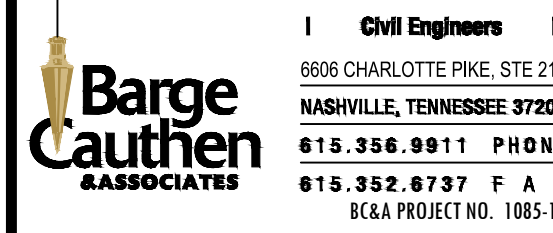
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PRELIMINARY SP
APPLICATION



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REVISION INFORMATION

2016.02.11
STORMWATER
MANAGEMENT PLAN

SP03