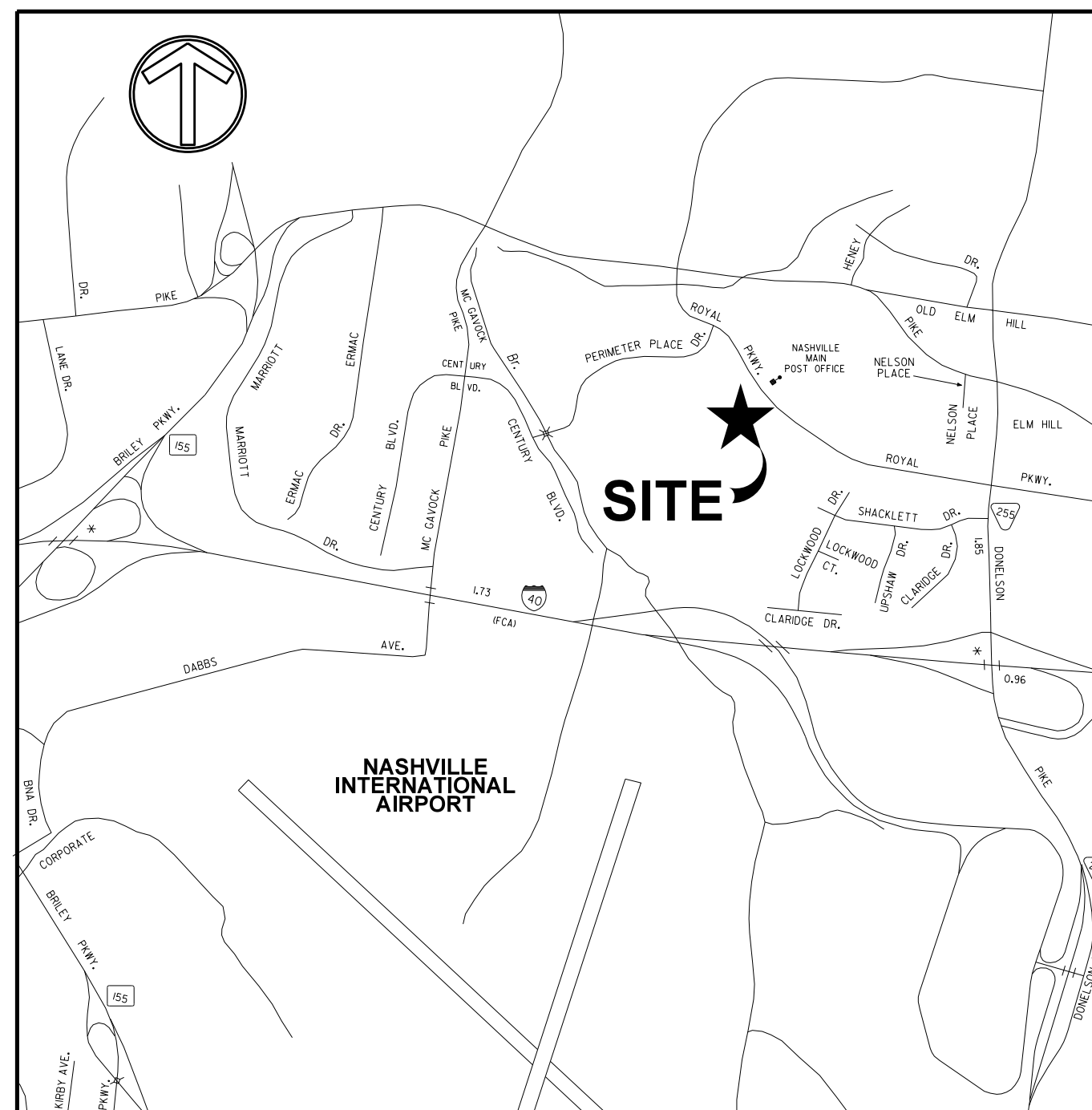


# SPECIFIC PLAN (SP) COUNCIL DEVELOPMENT PLAN FOR THE PRESERVE: SLEEP INN/MAINSTAY SUITES

2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TN

<b>PURPOSE NOTE:</b>	
THE PURPOSE OF THIS PLAN IS TO CREATE A SP FOR HOTEL USE.	
<b>SITE DATA TABLE:</b>	
MAP/PARCEL	MAP 107 / P/O PARCEL 180
SP BOUNDARY	3.6 ACRES (SP)
REMAINDER	18.4 ACRES (TO REMAIN IWD)
OWNER/DEVELOPER	CORPORATE INVESTORS PARTNERSHIP V, LLC 652 OLD EZELL ROAD NASHVILLE, TENNESSEE 37217 1-615-690-7770
SURROUNDING ZONING	IWD, ORI, CS
COUNCIL DISTRICT	15TH - MR. JEFF SYRACUSE
TOTAL AREA =	3.6 AC.
MAX ALLOWABLE FAR	MAX 0.80/ACTUAL 0.27
MAX ALLOWABLE ISR	MAX 0.90/ACTUAL 0.38
STREET SETBACK	35'
SIDE YARD	NONE REQUIRED
REAR YARD	20'
MAXIMUM HEIGHT	45' 1 1/2"
MAXIMUM ROOMS	81
NUMBER OF EMPLOYEES	20
<p>FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS SPECIFICALLY NOT SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS OF ORI ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.</p> <p>THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS.</p>	
<b>ON-SITE PARKING:</b>	
ALL USES TO BE PARKED ON SITE PER METRO ZONING ORDINANCE 91 PARKING SPACES PROPOSED	
<b>PROPOSED USES:</b>	
HOTEL/MOTEL	
<b>PUBLIC WORKS NOTES:</b>	
THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.	
APPROVAL OF BRIDGE DESIGN AND PRECONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A GRADING PERMIT.	

<b>GENERAL SP NOTES:</b>	
<p>THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO RESPOND TO BASIC DEVELOPMENT OF DESIGN INTENT, UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.</p> <p>AS THE DESIGN OF THE PROJECT CONTINUES TO PROGRESS, THE DEVELOPER MAY FIND IT NECESSARY TO MAKE MINOR ADJUSTMENTS TO ITEMS SUCH AS BUILDING FOOTPRINT, BUILDING ELEVATIONS AND COMPOSITION OF FENESTRATION AND OTHER FACADE ELEMENTS, OR THOSE AS NECESSITATED BY STRUCTURAL, MECHANICAL, OR ELECTRICAL DESIGN DEVELOPMENT.</p> <p>DEVELOPER RESERVES THE RIGHT TO MAKE ADDITIONAL ADJUSTMENTS TO ADDRESS REQUIREMENTS OF OR REVISIONS TO BUILDING CODES AND OTHER REGULATIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.</p>	



**VICINITY MAP**  
N.T.S.

<b>DEVELOPMENT TEAM:</b>	
<b>CIVIL:</b>	
BARGE CAUTHEN & ASSOCIATES 6606 CHARLOTTE PIKE SUITE 210 NASHVILLE, TENNESSEE 37209 CONTACT: SETH SPARKMAN PHONE: 615-356-9911	
<b>ARCHITECTURE:</b>	
H. MICHAEL HINDMAN ARCHITECTS, P.C. 1607 WESTGATE CIRCLE, SUITE 100 BRENTWOOD, TN 37027 PHONE: 615-370-3252 FAX: 615-373-1450	
<b>LANDSCAPE ARCHITECTURE:</b>	
HAWKINS PARTNERS, INC; LANDSCAPE ARCHITECTS 105 BROADWAY, SUITE 300 NASHVILLE, TENNESSEE 37201 PHONE: 615-255-5218 FAX: 615-254-1424	
<b>OWNER / DEVELOPER</b>	
CORPORATE INVESTORS PARTNERSHIP V, LLC 652 OLD EZELL ROAD NASHVILLE, TENNESSEE 37217 PHONE: 615-399-0777	

<b>SHEET INDEX:</b>	
<b>CIVIL:</b>	
C0.0	COVER SHEET
C1.0	SITE DEVELOPMENT PLAN
C2.0	GRADING DEVELOPMENT PLAN
C3.0	UTILITIES DEVELOPMENT PLAN
<b>LANDSCAPE:</b>	
L1.0	LANDSCAPE DEVELOPMENT PLAN
L1.1	LANDSCAPE DETAILS
L2.0	IRRIGATION PLAN

**FEMA NOTE:**  
NO PORTION OF THIS PARCEL DESCRIBED HEREON LIES WITHIN A FLOOD HAZARD AREA IN ACCORDANCE WITH INSURANCE RATE MAP PANEL NUMBER 47037C0264 F, DATED: APRIL 20, 2001.

**OWNER**  
CORPORATE INVESTORS PARTNERSHIP V, LLC  
652 OLD EZELL ROAD  
NASHVILLE, TENNESSEE 37217

**SURVEYOR**  
VOLUNTEER LAND SURVEYING SERVICES  
P.O. BOX 100310  
NASHVILLE, TENNESSEE 37224-310

**CIVIL ENGINEER**  
BARGE CAUTHEN & ASSOCIATES, INC.  
6606 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209

**MAP 107, PARCEL 180  
ZONED IWD**

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CASE NO. 2016SP-012-001

Planners  
Architects  
Civil Engineers

**Barge  
Cauthen  
& ASSOCIATES**

6606 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209  
PHONE: 615.356.9911  
FAX: 615.352.6737 F. A. X.

**COVER SHEET**

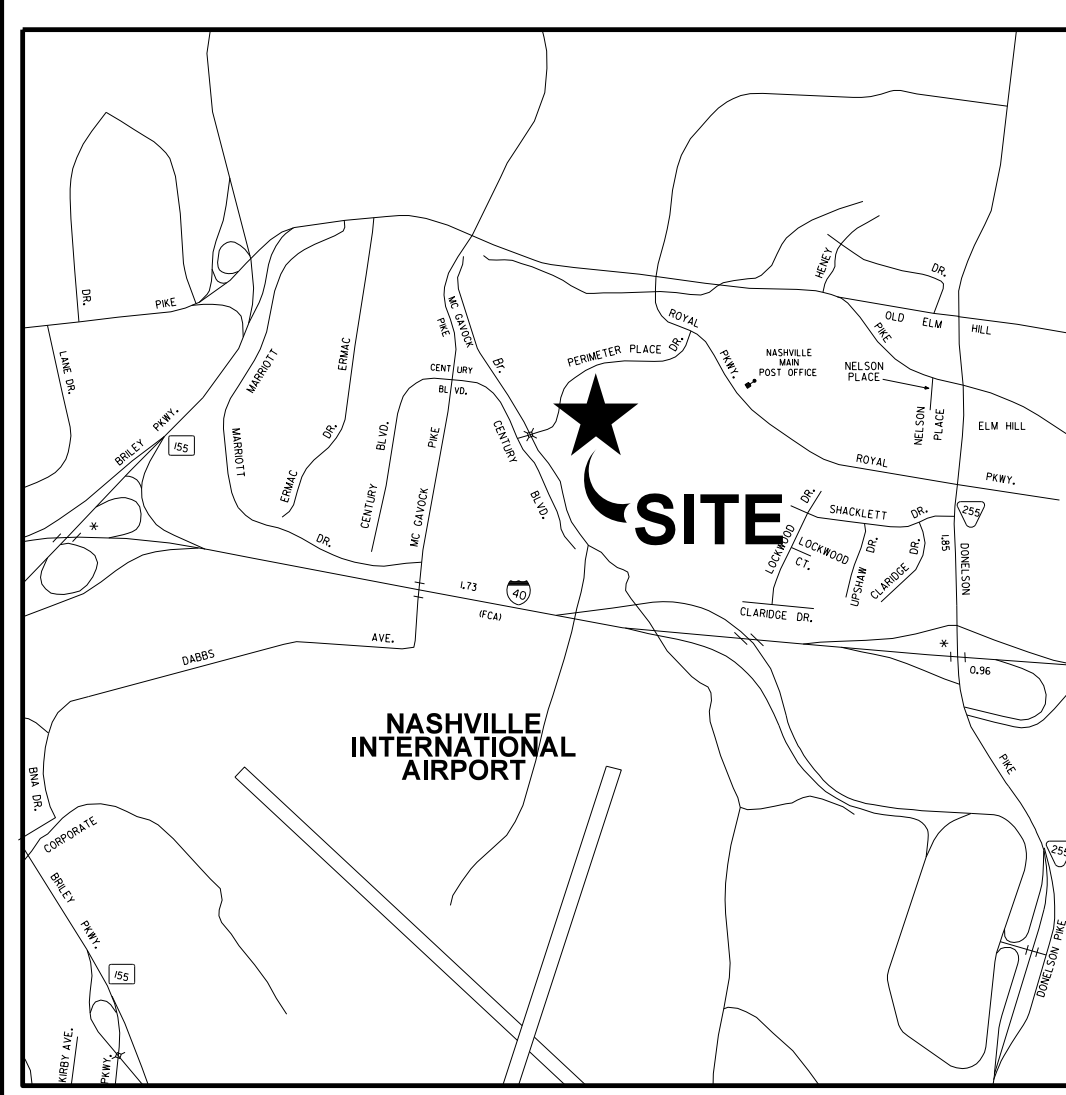
**SLEEP INN/MAINSTAY SUITES**  
THE PRESERVE  
2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	CHK.	DATE	DESCRIPTION
1	SHS	12/31/15	PRELIMINARY SP SUBMITTAL
2	SHS	02/16/16	PRELIMINARY SP RESUBMITTAL

**NOT  
FOR  
CONSTRUCTION**

**C0.0**  
BCA FILE NO. 2598-04

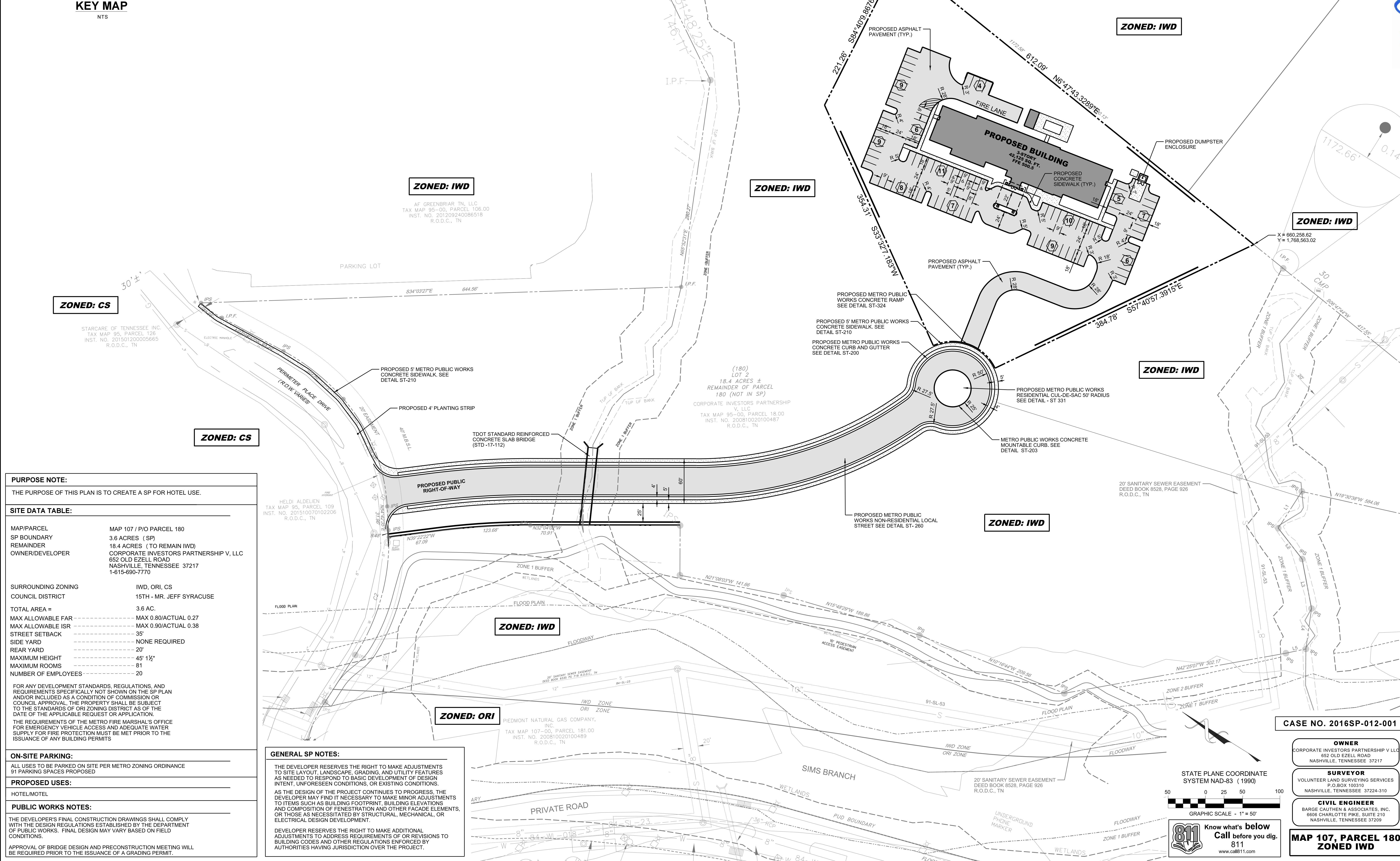




**KEY MAP**  
NTS

**GENERAL CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
7. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
10. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
13. NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNER'S APPROVAL.
14. CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION.
15. CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT, ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
16. NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
17. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
18. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.



**PURPOSE NOTE:**  
THE PURPOSE OF THIS PLAN IS TO CREATE A SP FOR HOTEL USE.

**SITE DATA TABLE:**

MAP/PARCEL	MAP 107 / P/O PARCEL 180
SP BOUNDARY	3.6 ACRES (SP)
REMAINDER	18.4 ACRES (TO REMAIN IWD)
OWNER/DEVELOPER	CORPORATE INVESTORS PARTNERSHIP V. LLC 652 OLD EZELL ROAD NASHVILLE, TENNESSEE 37217 1-615-690-7770
SURROUNDING ZONING	IWD, ORI, CS
COUNCIL DISTRICT	15TH - MR. JEFF SYRACUSE
TOTAL AREA =	3.6 AC.
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MAX ALLOWABLE ISR	MAX 0.90/ACTUAL 0.38
STREET SETBACK	35'
SIDE YARD	NONE REQUIRED
REAR YARD	20'
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MAXIMUM ROOMS	81
NUMBER OF EMPLOYEES	20

**FOR ANY DEVELOPMENT STANDARDS, REGULATIONS, AND REQUIREMENTS SPECIFICALLY NOT SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS OF ORI ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.**

**THE REQUIREMENTS OF THE METRO FIRE MARSHAL'S OFFICE FOR EMERGENCY VEHICLE ACCESS AND ADEQUATE WATER SUPPLY FOR FIRE PROTECTION MUST BE MET PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS**

**ON-SITE PARKING:**  
ALL USES TO BE PARKED ON SITE PER METRO ZONING ORDINANCE  
51 PARKING SPACES PROPOSED

**PROPOSED USES:**  
HOTEL/MOTEL

**PUBLIC WORKS NOTES:**  
THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.  
APPROVAL OF BRIDGE DESIGN AND PRECONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO THE ISSUANCE OF A GRADING PERMIT.

**GENERAL SP NOTES:**

THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO RESPOND TO BASIC DEVELOPMENT OF DESIGN INTENT, UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.

AS THE DESIGN OF THE PROJECT CONTINUES TO PROGRESS, THE DEVELOPER MAY FIND IT NECESSARY TO MAKE MINOR ADJUSTMENTS TO ITEMS SUCH AS BUILDING FOOTPRINT, BUILDING ELEVATIONS AND COMPOSITION OF FENESTRATION AND OTHER FACADE ELEMENTS, OR THOSE AS NECESSITATED BY STRUCTURAL, MECHANICAL, OR ELECTRICAL DESIGN DEVELOPMENT.

DEVELOPER RESERVES THE RIGHT TO MAKE ADDITIONAL ADJUSTMENTS TO ADDRESS REQUIREMENTS OF OR REVISIONS TO BUILDING CODES AND OTHER REGULATIONS ENFORCED BY AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.

Planners  
Architects  
Civil Engineers

**Barge Cauthen & ASSOCIATES**

6005 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209  
615.356.9111 PHONE  
615.352.6737 F.A.X.

**SITE DEVELOPMENT PLAN**

**SLEEP INN/MAINSTAY SUITES**  
THE PRESERVE

2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	CHK.	DATE	DESCRIPTION
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2	SHS	02.16.16	PRELIMINARY SP RESUBMITTAL

**OWNER**  
CORPORATE INVESTORS PARTNERSHIP V LLC  
652 OLD EZELL ROAD  
NASHVILLE, TENNESSEE 37217

**SURVEYOR**  
VOLUNTEER LAND SURVEYING SERVICES  
P.O. BOX 100310  
NASHVILLE, TENNESSEE 37224-310

**CIVIL ENGINEER**  
BARGE CAUTHEN & ASSOCIATES, INC.  
6005 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209

**MAP 107, PARCEL 180**  
**ZONED IWD**

**NOT FOR CONSTRUCTION**

**C1.0**  
BCA FILE NO. 2598-04

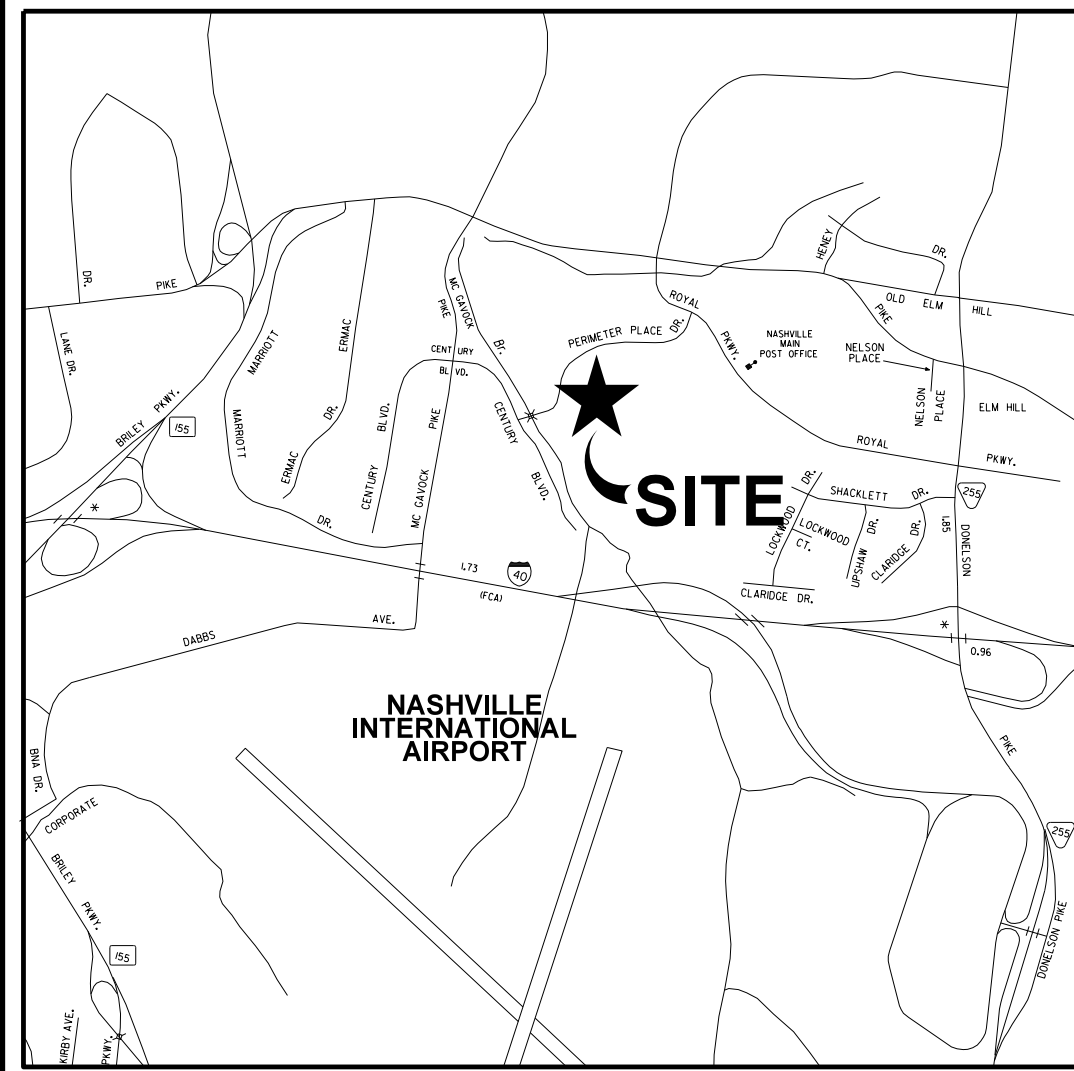
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STATE PLANE COORDINATE SYSTEM NAD-83 (1990)

GRAPHIC SCALE - 1" = 50'

CASE NO. 2016SP-012-001

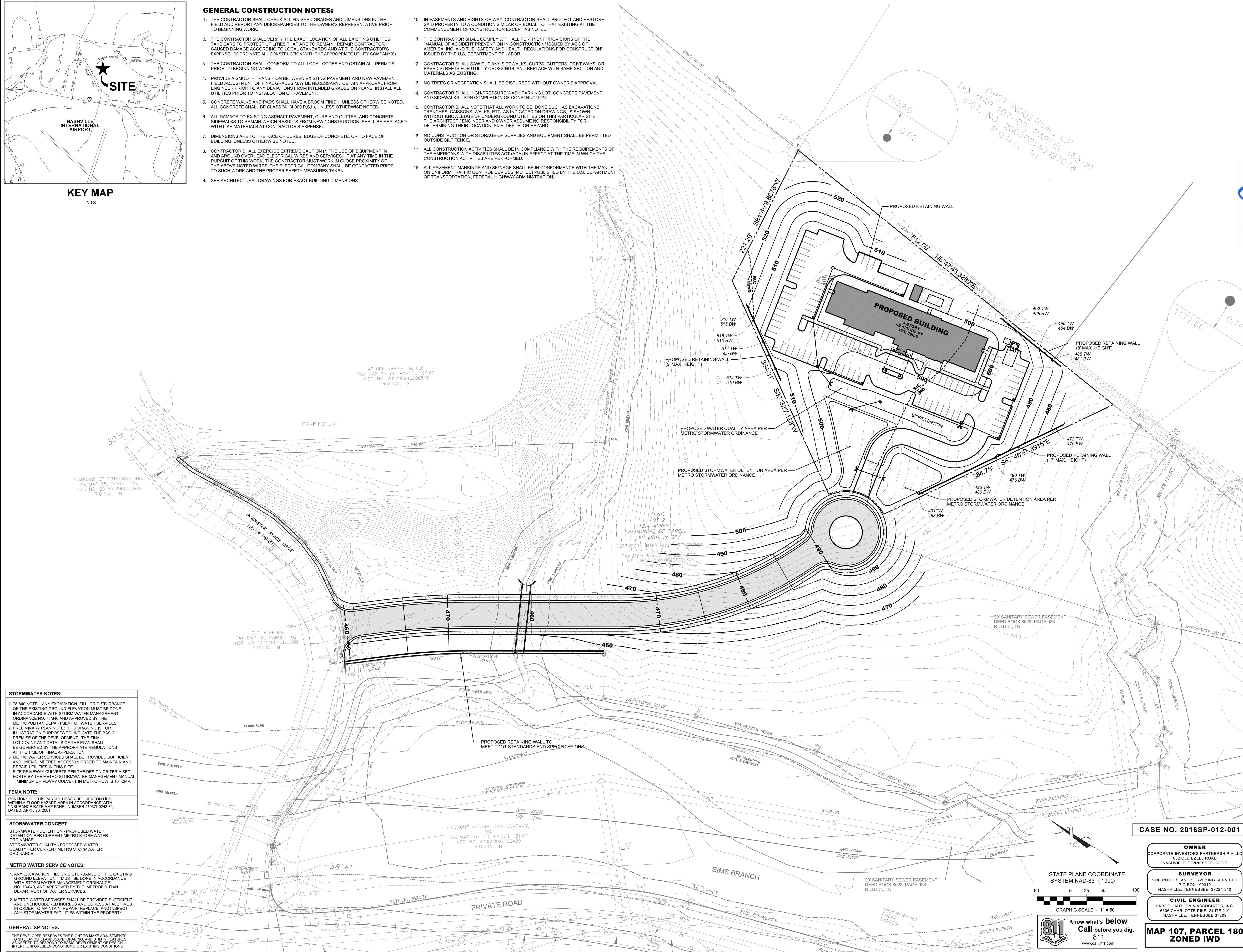




**KEY MAP**  
NTS

**GENERAL CONSTRUCTION NOTES:**

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5. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
7. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
10. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
13. NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNER'S APPROVAL.
14. CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION.
15. CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CAISSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
16. NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
17. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
18. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.



- STORMWATER NOTES:**
1. 78-840 NOTE: ANY EXCAVATION, FILL, OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  2. PRELIMINARY PLAN NOTE: THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
  3. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
  4. SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).
- FEMA NOTE:**  
PORTIONS OF THIS PARCEL DESCRIBED HEREON LIES WITHIN A FLOOD HAZARD AREA IN ACCORDANCE WITH INSURANCE RATE MAP PANEL NUMBER 4703C0243 P, DATED: APRIL 20, 2001.
- STORMWATER CONCEPT:**  
STORMWATER DETENTION - PROPOSED WATER DETENTION PER CURRENT METRO STORMWATER ORDINANCE  
STORMWATER QUALITY - PROPOSED WATER QUALITY PER CURRENT METRO STORMWATER ORDINANCE
- METRO WATER SERVICE NOTES:**
1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840, AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
  2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.
- GENERAL SP NOTES:**  
THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO MAINTAIN THE QUALITY OF DESIGN OR INTENT UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.

STATE PLANE COORDINATE SYSTEM NAD-83 (1990)

GRAPHIC SCALE - 1" = 50'

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**CASE NO. 2016SP-012-001**

**OWNER**  
CORPORATE INVESTORS PARTNERSHIP V LLC  
692 OLD EZEEL ROAD  
NASHVILLE, TENNESSEE 37217

**SURVEYOR**  
VOLUNTEER LAND SURVEYING SERVICES  
P.O. BOX 100310  
NASHVILLE, TENNESSEE 37224-310

**CIVIL ENGINEER**  
BARGE CAUTHEN & ASSOCIATES, INC.  
6906 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209

**MAP 107, PARCEL 180 ZONED IWD**

**GRADING DEVELOPMENT PLAN**

**SLEEP INN/MAINSTAY SUITES**  
THE PRESERVE  
2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

**NOT FOR CONSTRUCTION**

**C2.0**

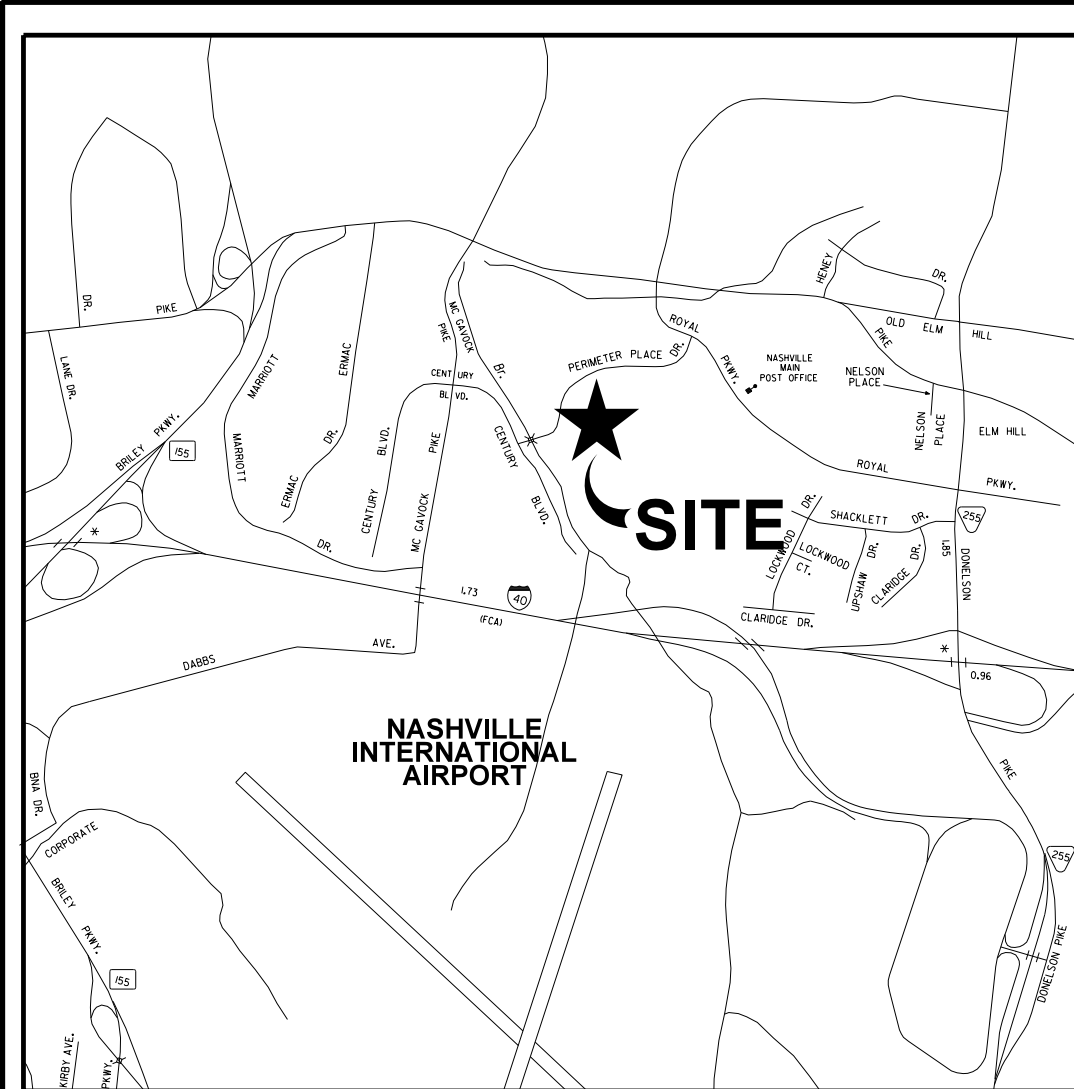
BCA FILE NO. 2598-04

Planners  
Architects  
Civil Engineers

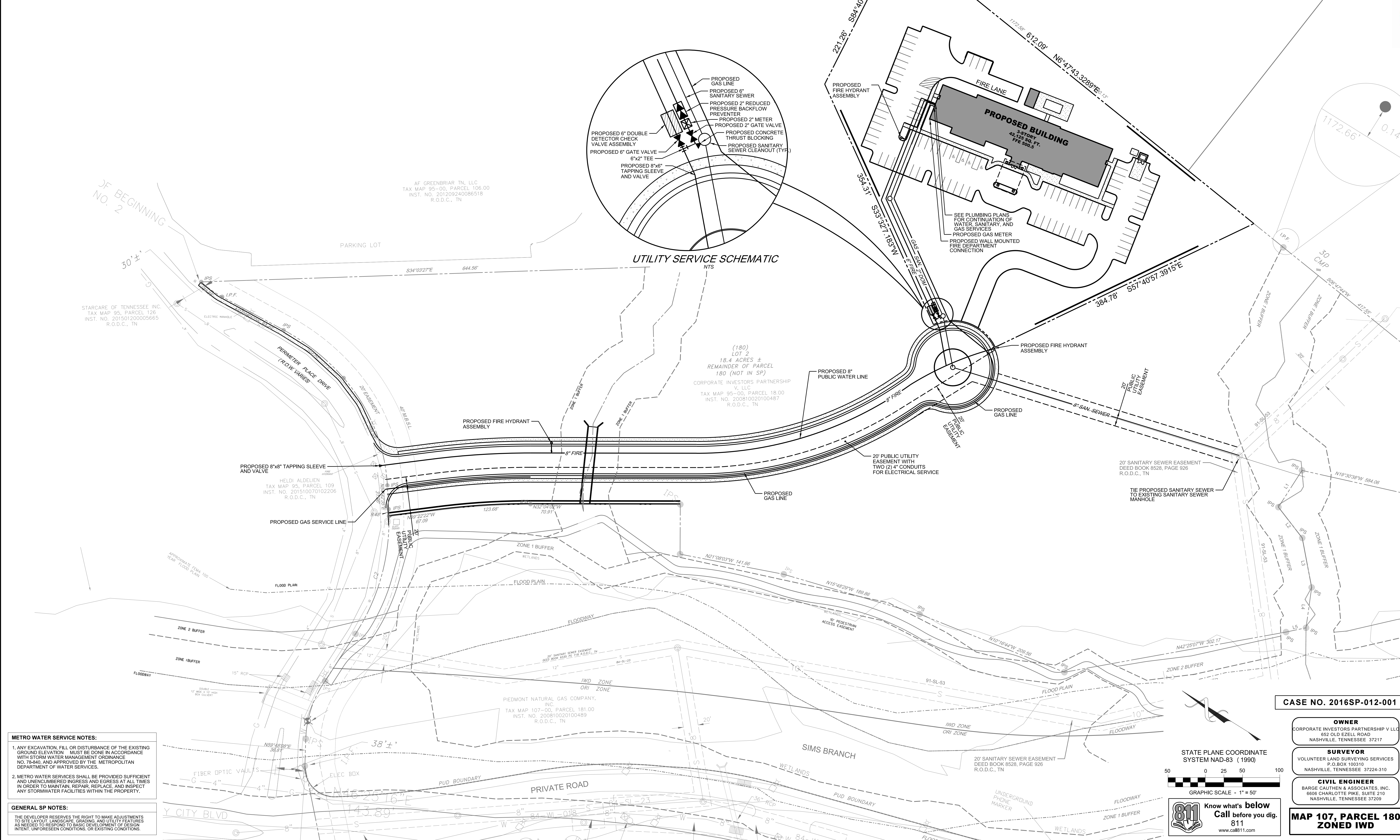
**Barge Cauthen & Associates**  
6906 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209  
615.356.9911 PHONE  
615.352.6737 F. A. X.

NO.	CHK.	DATE	DESCRIPTION
1	SHS	12.31.15	PRELIMINARY SP SUBMITTAL
2	SHS	02.16.16	PRELIMINARY SP RESUBMITTAL





**KEY MAP**  
NTS

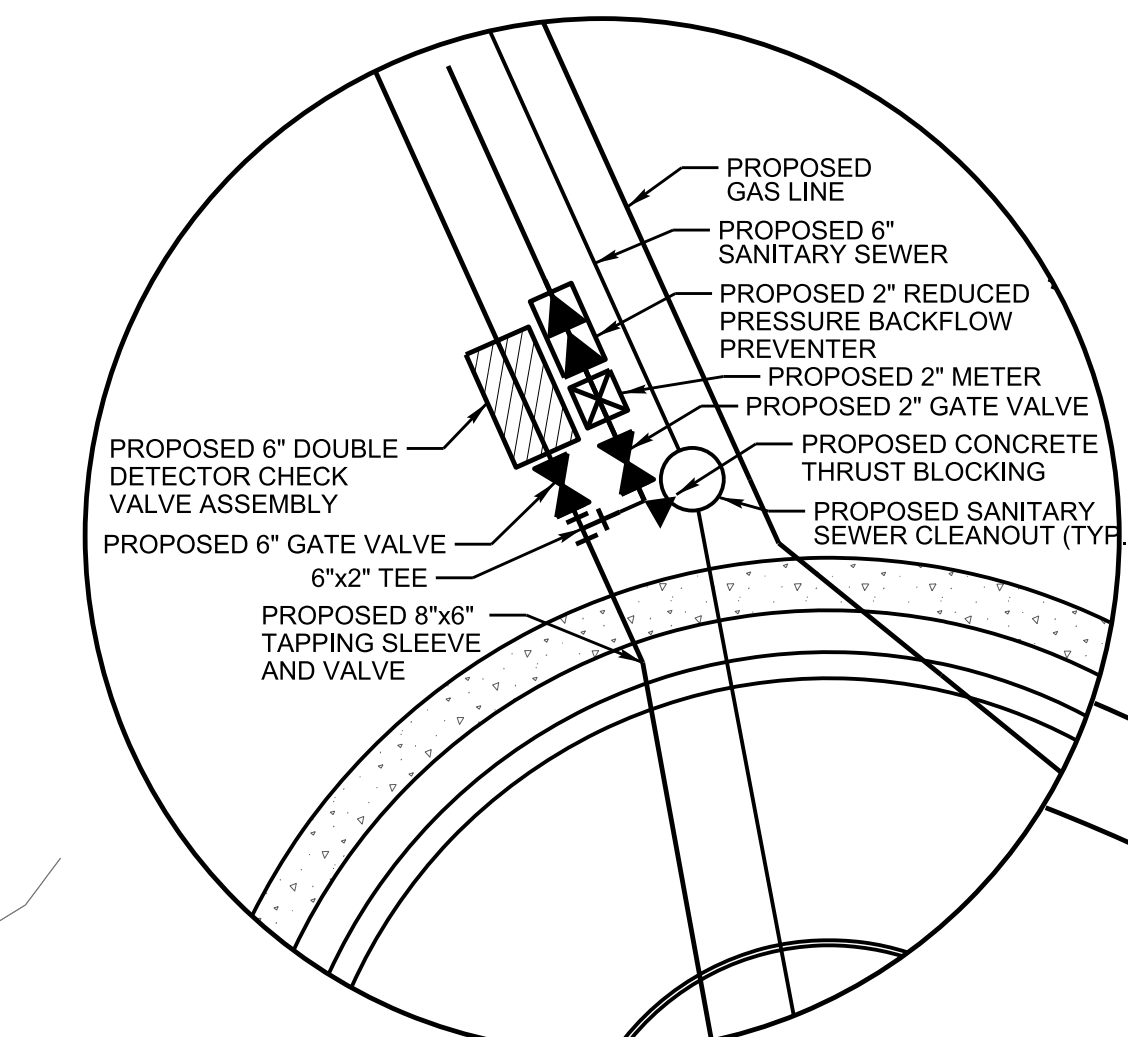


**METRO WATER SERVICE NOTES:**

1. ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
2. METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

**GENERAL SP NOTES:**

THE DEVELOPER RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO SITE LAYOUT, LANDSCAPE, GRADING, AND UTILITY FEATURES AS NEEDED TO RESPOND TO BASIC DEVELOPMENT OF DESIGN INTENT, UNFORESEEN CONDITIONS, OR EXISTING CONDITIONS.



FIRST INDUSTRIAL, L.P.  
TAX MAP 107-00, PARCEL 163.00  
INST. NO. 200708140097038  
R.O.D.C., TN

Planners  
Architects  
Civil Engineers

**Barge Cauthen & ASSOCIATES**

6005 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209  
615.356.9911 PHONE  
615.352.6737 F.A.X.

**UTILITIES DEVELOPMENT PLAN**

**SLEEP INN/MAINSTAY SUITES**  
THE PRESERVE

2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	CHK.	DATE	DESCRIPTION
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2	SHS	02.16.16	PRELIMINARY SP RESUBMITTAL

**NOT FOR CONSTRUCTION**

**C3.0**

BCA FILE NO. 2598-04

**CASE NO. 2016SP-012-001**

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CORPORATE INVESTORS PARTNERSHIP V LLC  
692 OLD EZZELL ROAD  
NASHVILLE, TENNESSEE 37217

**SURVEYOR**  
VOLUNTEER LAND SURVEYING SERVICES  
P.O. BOX 100310  
NASHVILLE, TENNESSEE 37224-3110

**CIVIL ENGINEER**  
BARGE CAUTHEN & ASSOCIATES, INC.  
6005 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209

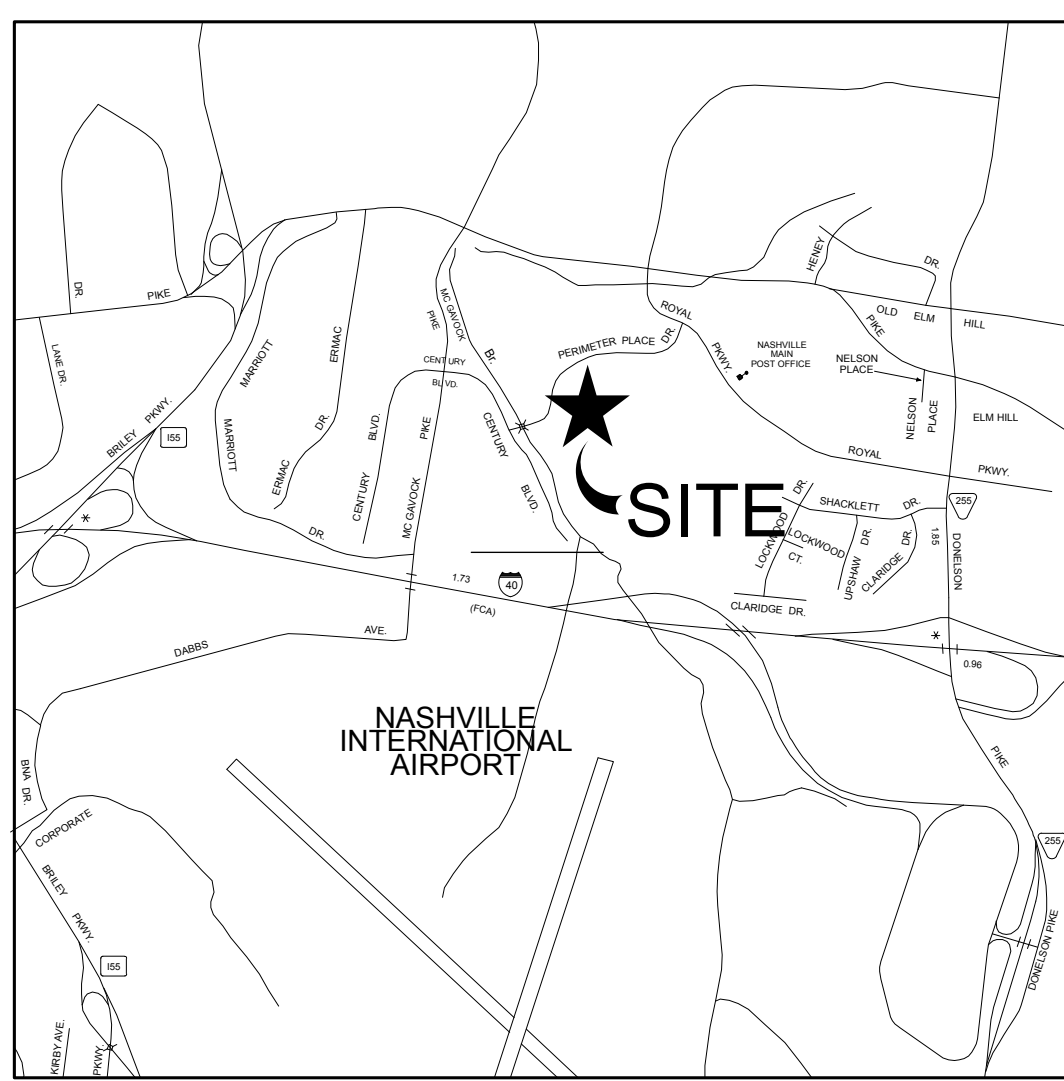
**MAP 107, PARCEL 180 ZONED IWD**

STATE PLANE COORDINATE SYSTEM NAD-83 (1990)

GRAPHIC SCALE - 1" = 50'

**811** Know what's below  
Call before you dig.  
811  
www.call811.com

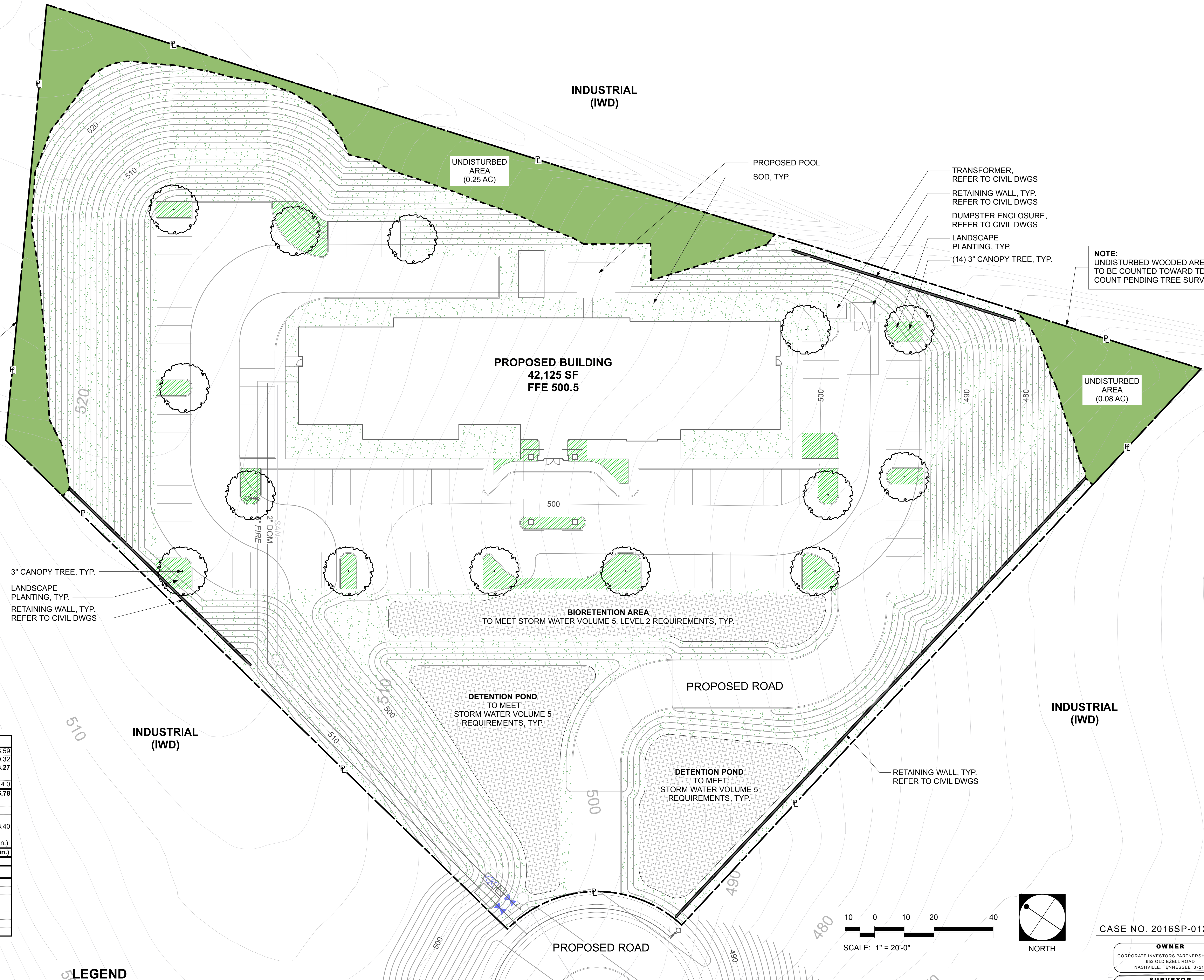




KEY MAP  
NTS

INDUSTRIAL (IWD)

NOTE:  
UNDISTURBED WOODED AREA  
TO BE COUNTED TOWARD TDU  
COUNT PENDING TREE SURVEY



NOTE:  
UNDISTURBED WOODED AREA  
TO BE COUNTED TOWARD TDU  
COUNT PENDING TREE SURVEY

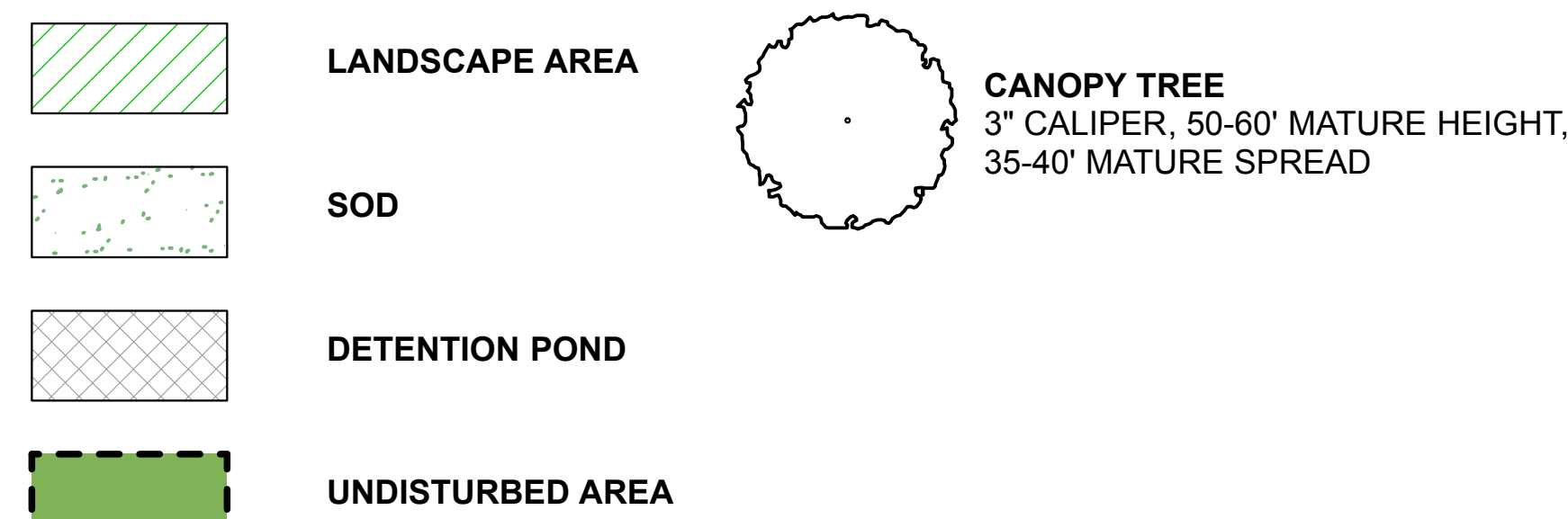
3" CANOPY TREE, TYP.  
LANDSCAPE PLANTING, TYP.  
RETAINING WALL, TYP. REFER TO CIVIL DWGS

Tree Density Worksheet		
Site Acreage		3.59
Building Coverage:		0.32
<b>Total Open Space(Acres):</b>		<b>3.27</b>
Units/Ac. Required:		14.0
<b>Total Units Required:</b>		<b>45.78</b>
<b>Total Units Provided:</b>		
Replacement Trees: (Qty., CAL)	Value	Total
(14) 3" Canopy Shade Trees (Interior)	0.60	8.40
Undisturbed areas (pending tree survey) and/or supplemental interior trees	TBD	37.38 (min.)
<b>Total Units Provided:</b>		<b>45.78 (min.)</b>
<b>Interior Parking Area: New Lot Only</b>		
Total Interior Area: Square Feet (Acres)	14976 sf (0.34 ac)	
<b>Greenspace Required(8%)</b>	<b>1198.00</b>	
<b>Greenspace Provided</b>	<b>2688.00</b>	
Parking Spaces	92	
<b>Trees Required (1/15 Spaces)</b>	<b>6</b>	
Shade Tree (2.5-3")	14	
<b>Trees Provided</b>	<b>14</b>	

NOTES

- REFER TO CIVIL DWG. FOR ALL ROADWAYS, SITE GRADING AND SIDEWALK LAYOUT.
- ALL NEW IRRIGATION AREAS TO RECEIVE HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM.
- PROVIDE SLEEVING UNDER PAVEMENT FOR ROUTING OF IRRIGATION PIPE.
- SEED AND STRAW ALL DISTURBED AREAS.
- TREE PROTECTION FENCING TO BE INSTALLED AROUND EXISTING TREES PRIOR TO ALL SITE DEVELOPMENT ACTIVITIES.

LEGEND

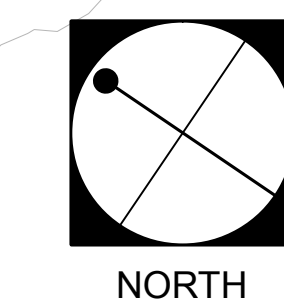
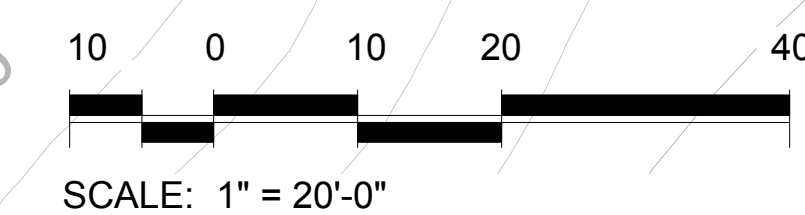


**TREES - 48" SOIL DEPTH**  
EXCAVATE ALL PLANTING AREAS TO 48" DEPTH AND BACKFILL WITH TOPSOIL. REFER TO LANDSCAPE DETAILS.

**SHRUBS - 24" SOIL DEPTH**  
EXCAVATE ALL PLANTING AREAS TO 24" DEPTH AND BACKFILL WITH TOPSOIL. REFER TO LANDSCAPE DETAILS.

**GROUNDCOVER/PERENNIALS - 12" SOIL DEPTH**  
EXCAVATE ALL PLANTING AREAS TO 12" DEPTH AND BACKFILL WITH TOPSOIL. REFER TO LANDSCAPE DETAILS.

**SOD - 8" SOIL DEPTH**  
EXCAVATE ALL PLANTING AREAS TO 8" DEPTH AND BACKFILL WITH TOPSOIL.



CASE NO. 2016SP-012-001

NO.	DATE	DESCRIPTION
1	12.31.15	PRELIMINARY SP SUBMITTAL
2	02.16.16	PRELIMINARY SP RESUBMITTAL

**OWNER**  
CORPORATE INVESTORS PARTNERSHIP V LLC  
652 OLD EZZELL ROAD  
NASHVILLE, TENNESSEE 37217

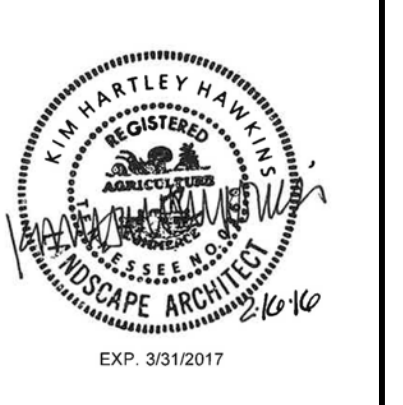
**SURVEYOR**  
VOLUNTEER LAND SURVEYING SERVICES  
P O BOX 100310  
NASHVILLE, TENNESSEE 37224-3110

**CIVIL ENGINEER**  
BARGE CAUTHEN & ASSOCIATES, INC.  
6606 CHARLOTTE PIKE, SUITE 210  
NASHVILLE, TENNESSEE 37209

**LANDSCAPE ARCHITECT**  
HAWKINS PARTNERS, INC.  
105 BROADWAY, SUITE 309  
NASHVILLE, TENNESSEE 37201

MAP 107, PARCEL 180  
ZONED IWD

**Hawkins Partners, Inc.**  
105 Broadway  
Suite 100  
Nashville, TN 37201  
615.255.5218  
Fax: 615.254.1424  
www.hawkinspartners.com



**LANDSCAPE ORDINANCE PLAN**  
**SLEEP INN/MAINSTAY SUITES**  
THE PRESERVE  
2535 PERIMETER PLACE DRIVE  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE

**NOT FOR CONSTRUCTION**  
LANDSCAPE ORDINANCE PLAN

**L1.0**



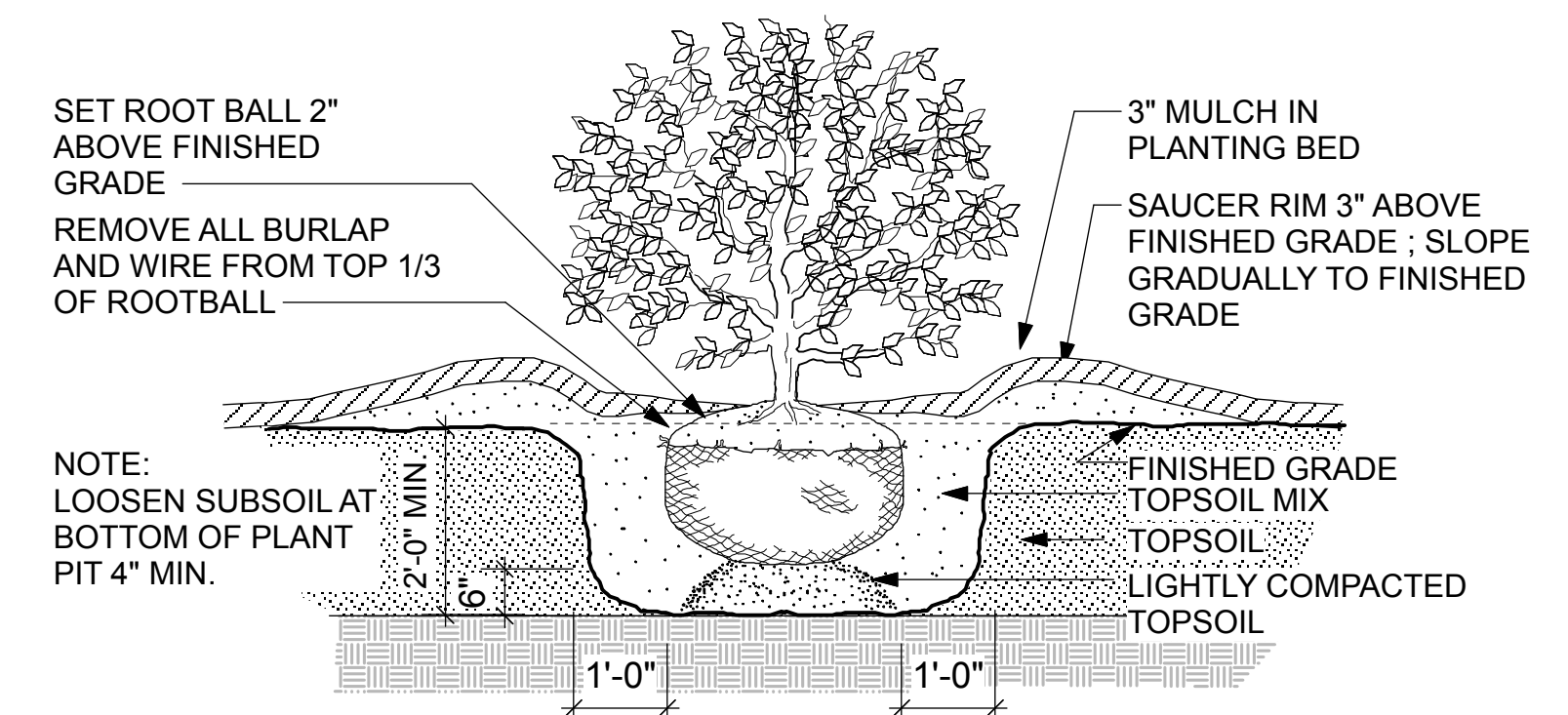
**PLANTING NOTES**

1. Refer to all written specifications; adhere to Plans and Specifications for all phases of the Work.
2. Verify all utility locations in the field before beginning work. Repair damaged utilities to Owner's satisfaction at no additional cost.
3. Verify quantities on plans with plant schedule before pricing work.
4. All materials are subject to the approval of the Landscape Architect and Owner at any time.
5. Once unloaded from the truck, immediately stand all trees up. Do NOT lie the trees down. This will reduce the risk of sunscald.
6. Plants shall meet specifications/special provisions. Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. Main leaders of all trees shall remain intact.
7. Mulch plant pits and planting beds with specified mulch to the depth indicated on the Drawings.
8. Prepare all topsoil used in tree and shrub pits and in groundcover beds in accordance with the specifications.
9. Remove from the site any material which turns brown or defoliates within five (5) days after planting. Replace immediately with approved specified material.
10. Maintain and water all plant material and sodding until project is accepted in full by the Landscape Architect, unless otherwise specified.
11. Guarantee all workmanship and materials for a period of one calendar year.
12. Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
13. Provide topsoil and engineered topsoil depths as called for in the drawings. Refer to specific root ball size for the minimum diameter tree pit.
14. If trees are staked, the tree stakes and guys shall be regularly monitored to ensure there are no detrimental effects to the tree. All tree stakes and guys shall be removed **no later than one growing season** after planting.
15. Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. Landscape Architect reserves the right to reject plant material in the field, at the growing location, or at the job site at any time during the project.

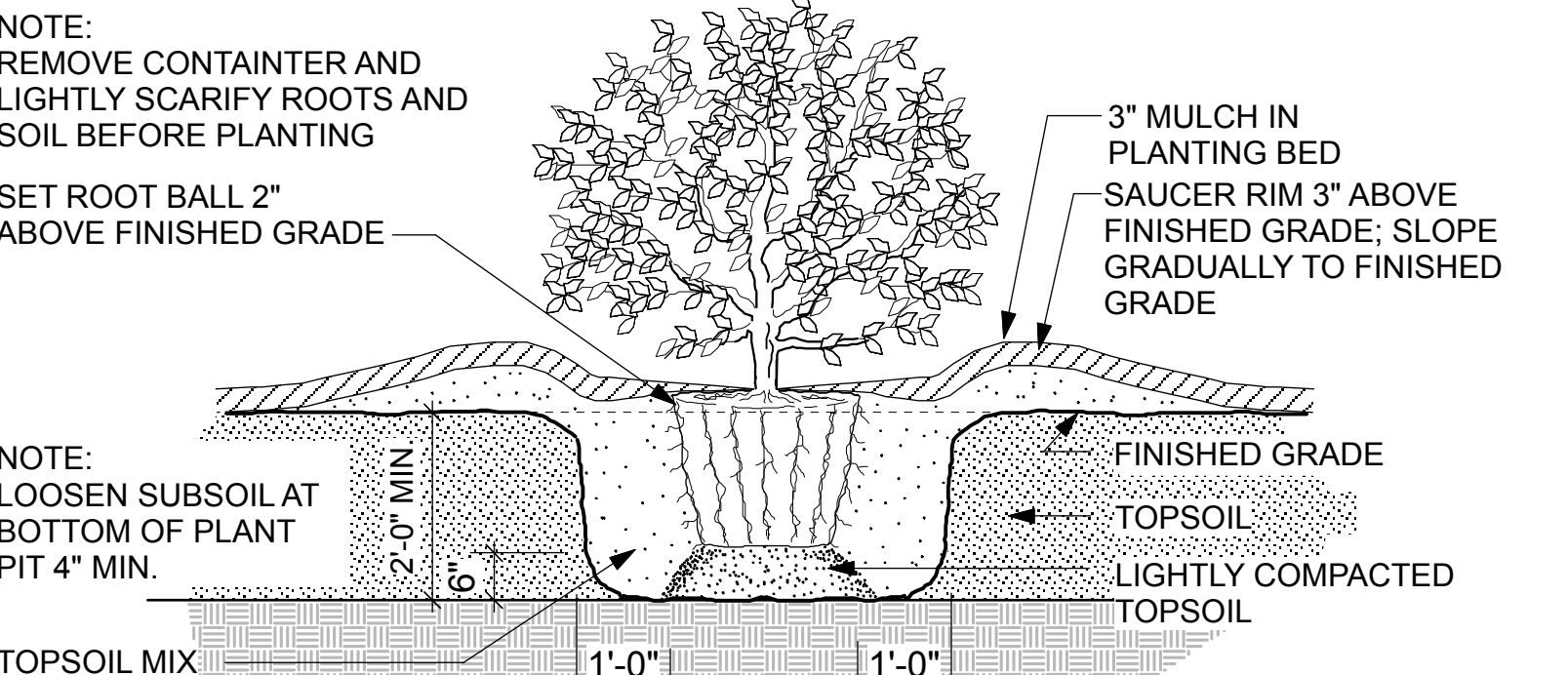
FOR QUALITY CONTROL, SHADE AND ORNAMENTAL TREES FOR THIS PROJECT SHALL BE SELECTED FROM ONE OF THE FOLLOWING TREE NURSERIES OR EQUAL AS APPROVED IN ADVANCE BY THE LANDSCAPE ARCHITECT. SUBMIT THE LIST OF TREE SOURCES TO THE LANDSCAPE ARCHITECT FOR REVIEW AND COMMENT PRIOR TO BID.

**Bold Springs, Monroe, GA 770.267.9196**  
**Hunter Trees, Alpine, AL (866)348-6837**  
**Moon's Tree Farm, Loganville, GA 770/ 554-6849**  
**Plantation Tree Service, Selma, AL 800/848-5064**  
**Select Trees, Athens, GA. 706/769-9879**

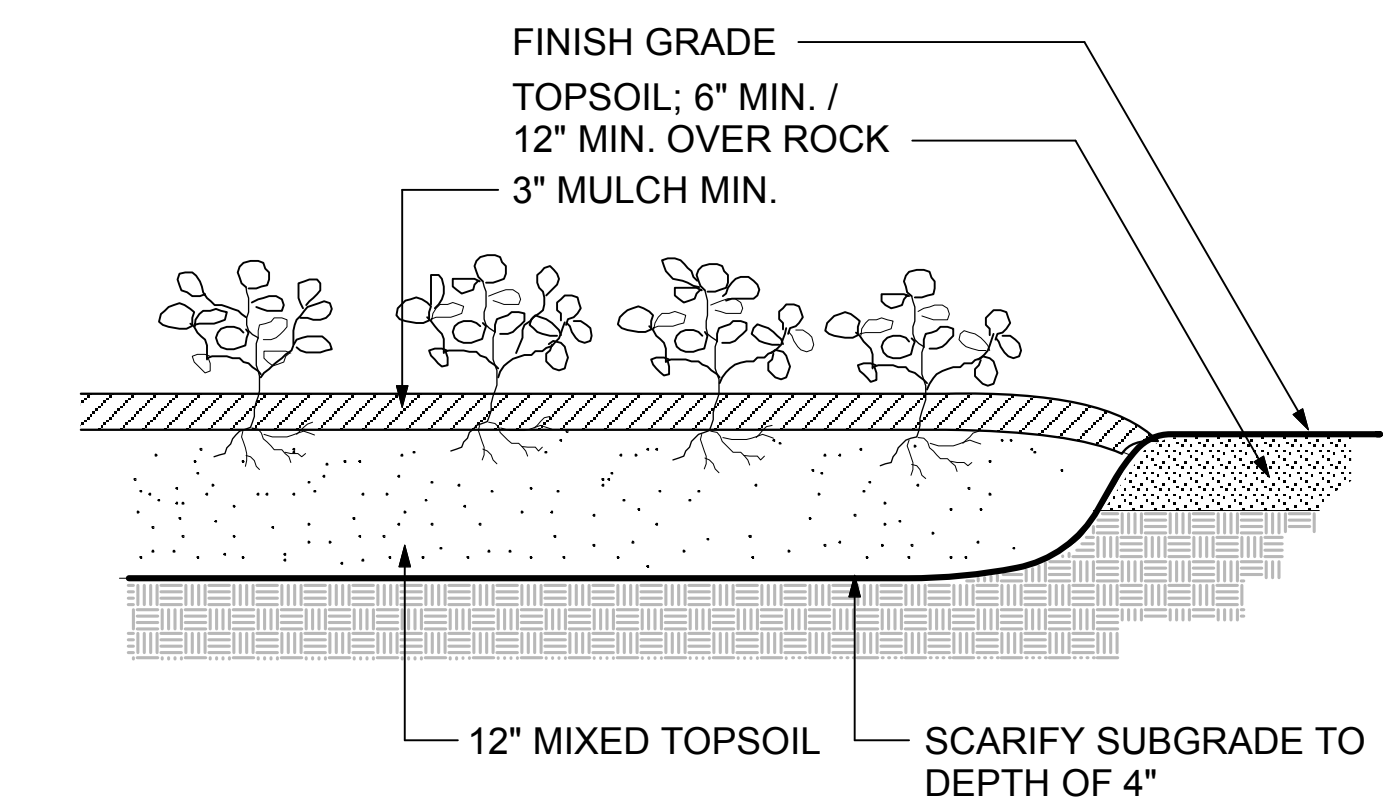
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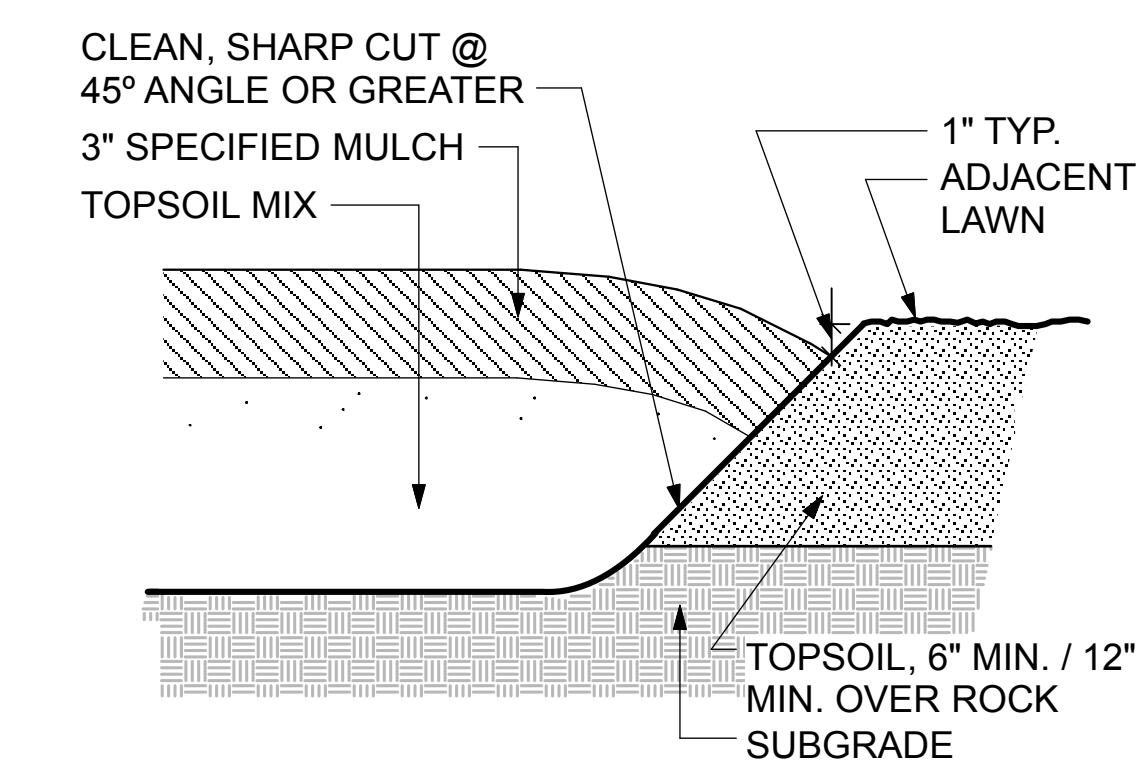
5 SECTION: B & B SHRUB  
N.T.S.



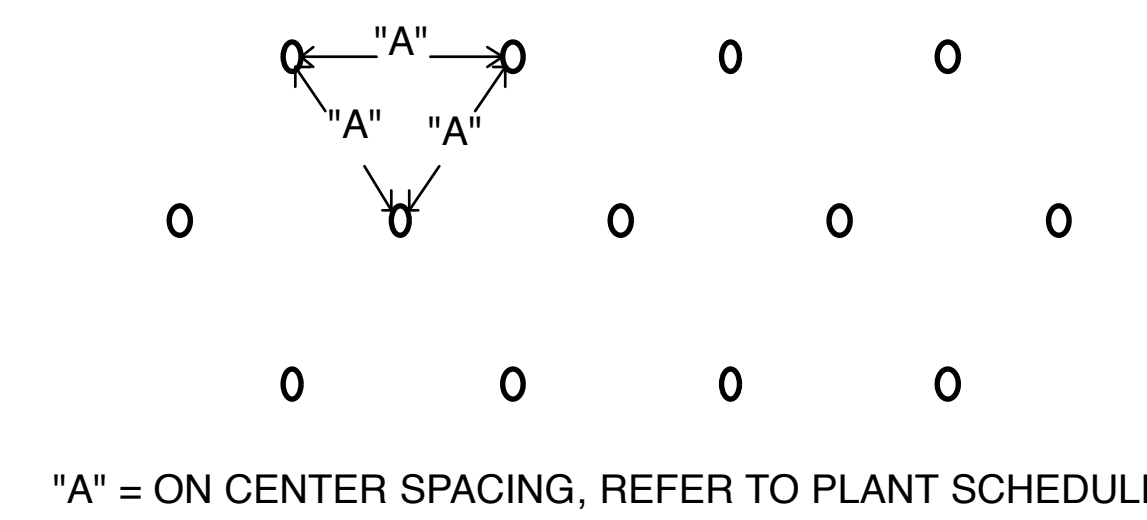
4 SECTION: CONTAINER SHRUB  
N.T.S.



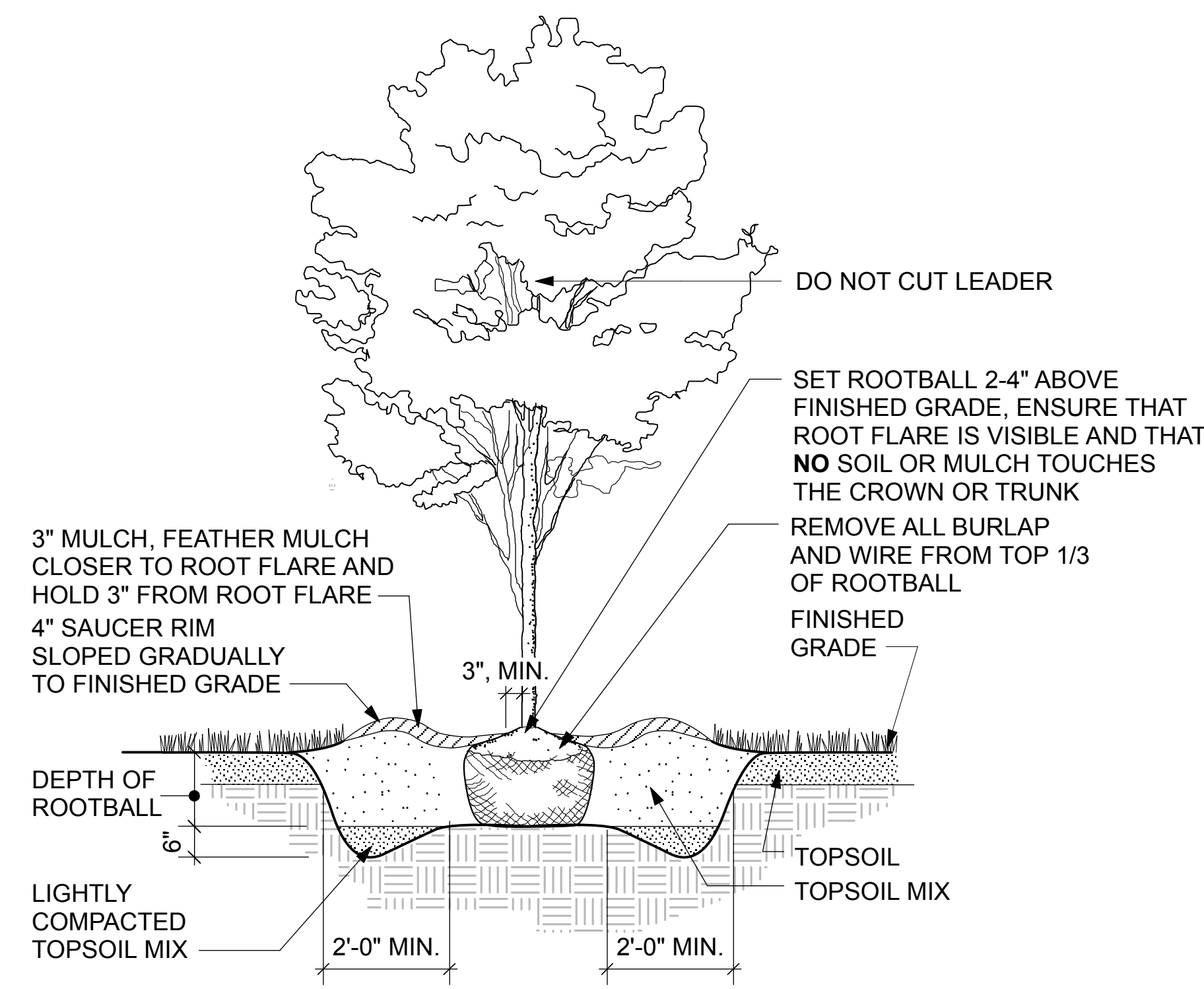
3 SECTION: GROUNDCOVER/ PERENNIAL BED  
N.T.S.



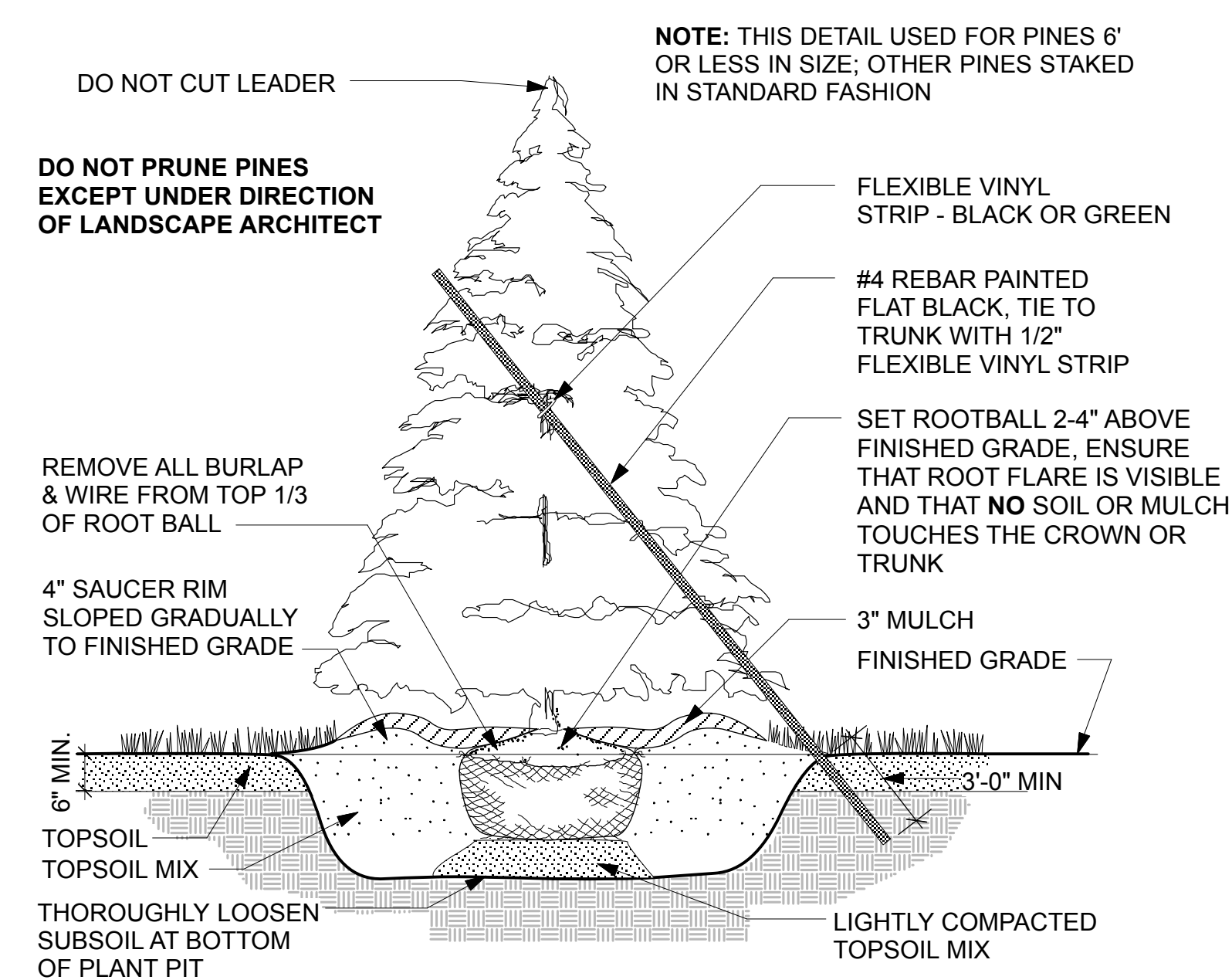
2 SECTION: PLANTING BED EDGE  
N.T.S.



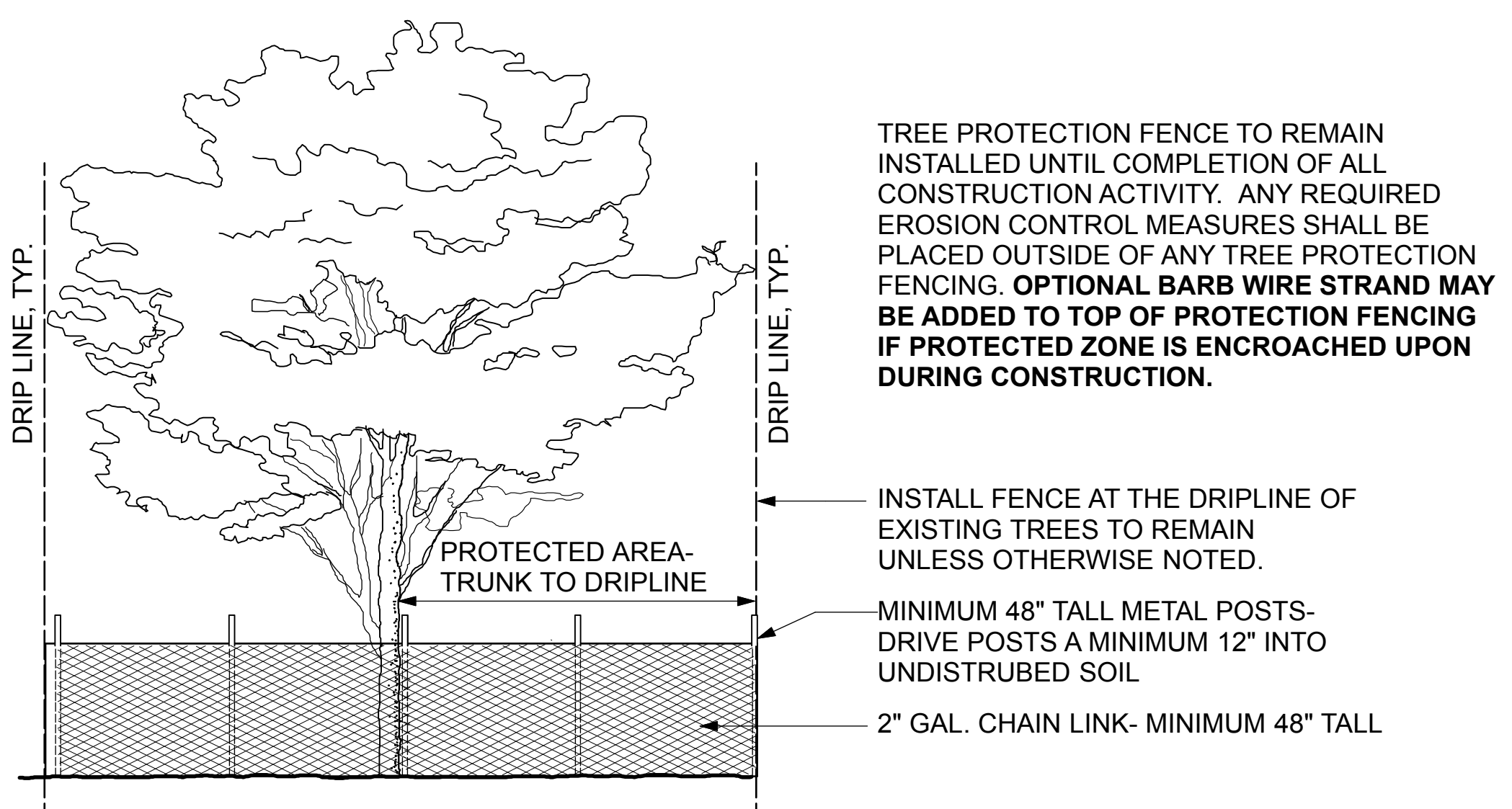
1 PLAN: PLANT SPACING DIAGRAM  
N.T.S.



7 TYP. TREE PLANTING  
N.T.S.



6 SECTION: EVERGREEN TREE  
N.T.S.



8 SECTION: TREE PROTECTION FENCING  
N.T.S.

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 Nashville, TN 37201  
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**LANDSCAPE ORDINANCE PLAN**  
**SLEEP INN/MAINSTAY SUITES**  
 THE PRESERVE  
 2535 PERIMETER PLACE DRIVE  
 NASHVILLE, DAVIDSON COUNTY, TENNESSEE

NO.	CHK.	DATE	DESCRIPTION
1	BHS	12-31-15	PRELIMINARY SP SUBMITTAL
2	BHS	02-16-16	PRELIMINARY SP RESUBMITTAL

CASE NO. 2016SP-012-001

**OWNER**  
 CORPORATE INVESTORS PARTNERSHIP V LLC  
 652 OLD EZZELL ROAD  
 NASHVILLE, TENNESSEE 37217

**SURVEYOR**  
 VOLUNTEER LAND SURVEYING SERVICES  
 P.O. BOX 100310  
 NASHVILLE, TENNESSEE 37224-310

**CIVIL ENGINEER**  
 BARGE CAUTHEN & ASSOCIATES, INC.  
 6608 CHARLOTTE PIKE, SUITE 210  
 NASHVILLE, TENNESSEE 37209

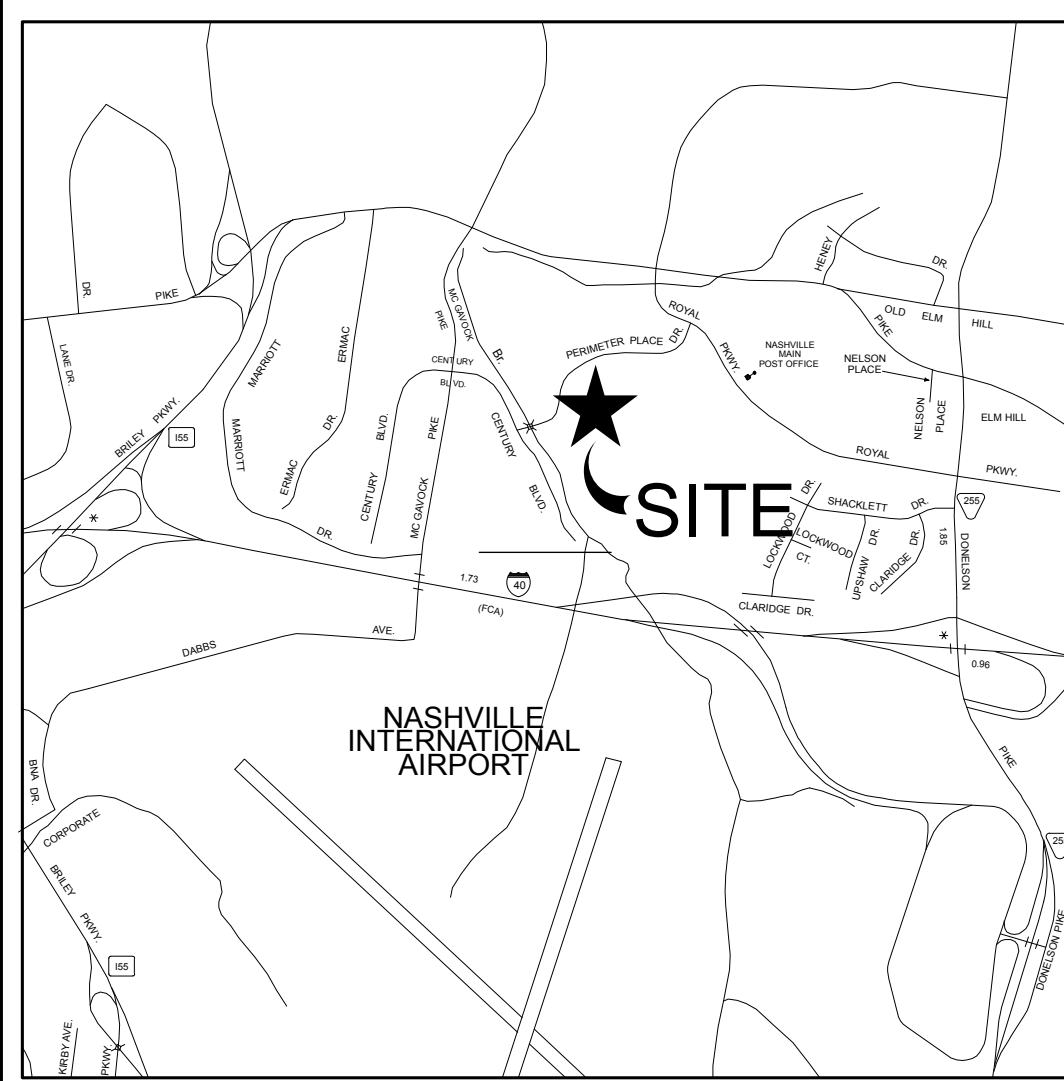
**LANDSCAPE ARCHITECT**  
 HAWKINS PARTNERS, INC.  
 105 BROADWAY, SUITE 300  
 NASHVILLE, TENNESSEE 37201

**MAP 107, PARCEL 180 ZONED IWD**

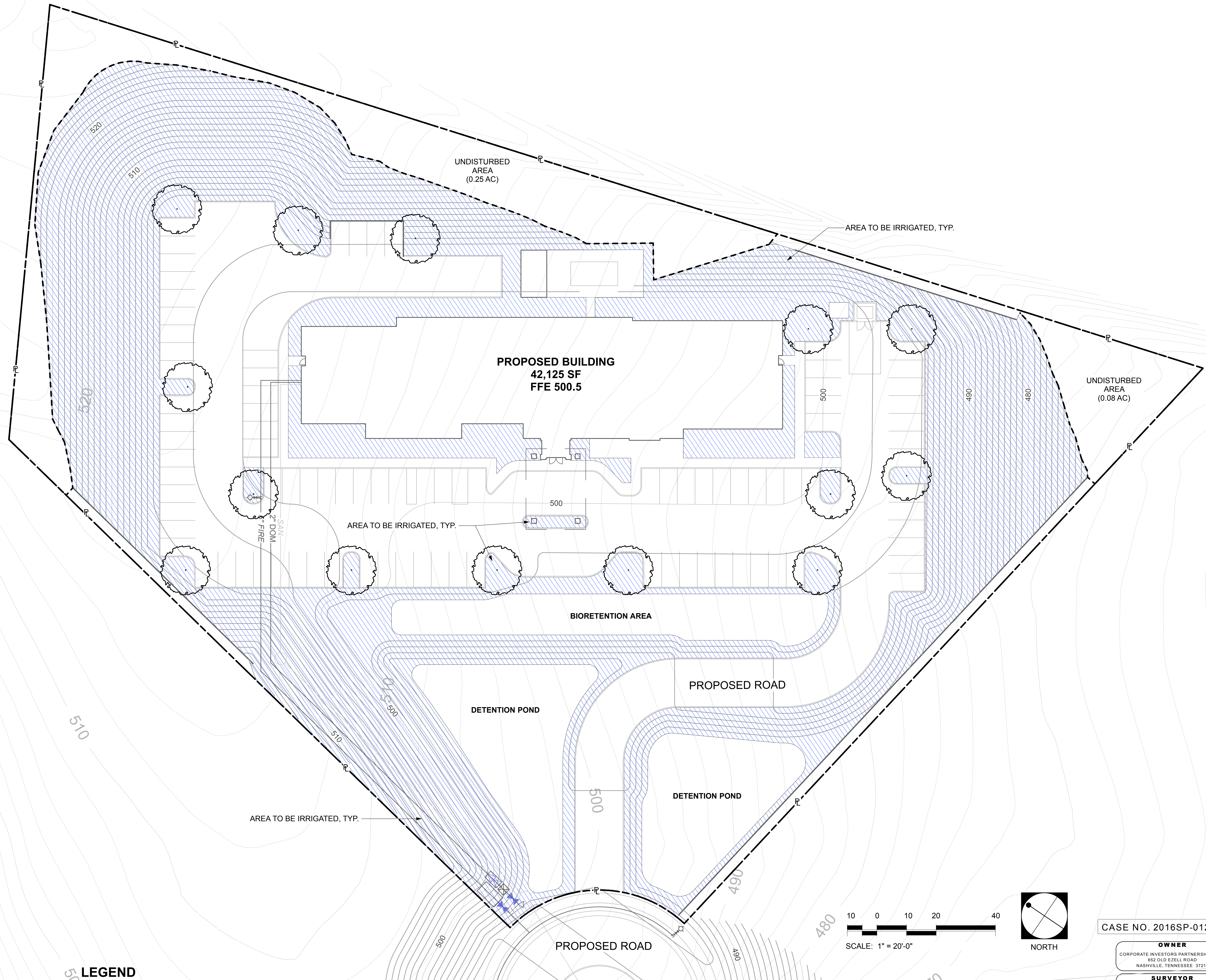
**NOT FOR CONSTRUCTION**  
 LANDSCAPE DETAILS

**L1.1**





KEY MAP  
NTS

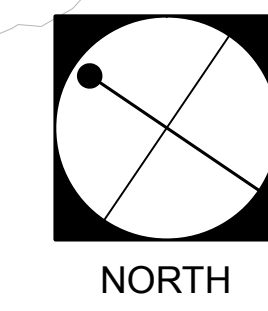
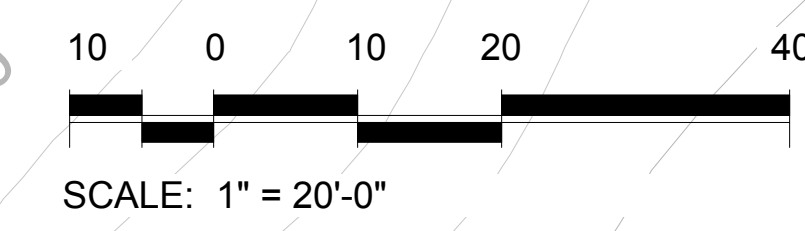


**NOTES**

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2. ALL NEW IRRIGATION AREAS TO RECEIVE HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM.
3. PROVIDE SLEEVING UNDER PAVEMENT FOR ROUTING OF IRRIGATION PIPE.
4. SEED AND STRAW ALL DISTURBED AREAS.

**LEGEND**

 AREA TO BE IRRIGATED



CASE NO. 2016SP-012-001

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**MAP 107, PARCEL 180  
ZONED IWD**

NO.	CHK.	DATE	DESCRIPTION
1	SHS	12.31.15	PRELIMINARY SP SUBMITTAL
2	SHS	02.16.16	PRELIMINARY SP RESUBMITTAL

**NOT FOR CONSTRUCTION**  
IRRIGATION PLAN

**L2.0**

**LANDSCAPE ORDINANCE PLAN**  
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THE PRESERVE  
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