

SOIL TYPES

MAP UNIT SYMBOL	MAP UNIT NAME
BbD	BARFIELD-ROCK OUTCROP COMPLEX, 5 TO 20 PERCENT SLOPES
MmC	MIMOSA SILT LOAM, 5 TO 12 PERCENT SLOPES, ERODED
MrD	MIMOSA-ROCK OUTCROP COMPLEX, 5 TO 20 PERCENT SLOPES

A SOIL RESOURCE REPORT WAS CREATED USING THE USDA - WEB SOIL SURVEY SERVICE ONLINE SOFTWARE ON DECEMBER 10 2015. NO ON-SITE SOIL REPORT/ANALYSIS HAS BEEN CONDUCTED ON THIS PROPERTY. HOWEVER, THE DESIGN FOR SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

- 25% > SLOPES
- 20% - 24.9% > SLOPES
- 15 - 19.9% SLOPES

RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 NASHVILLE, TENNESSEE
 1000 BENTLEY STREET
 CHATTANOOGA, TENNESSEE 37408
 (615) 244-5591



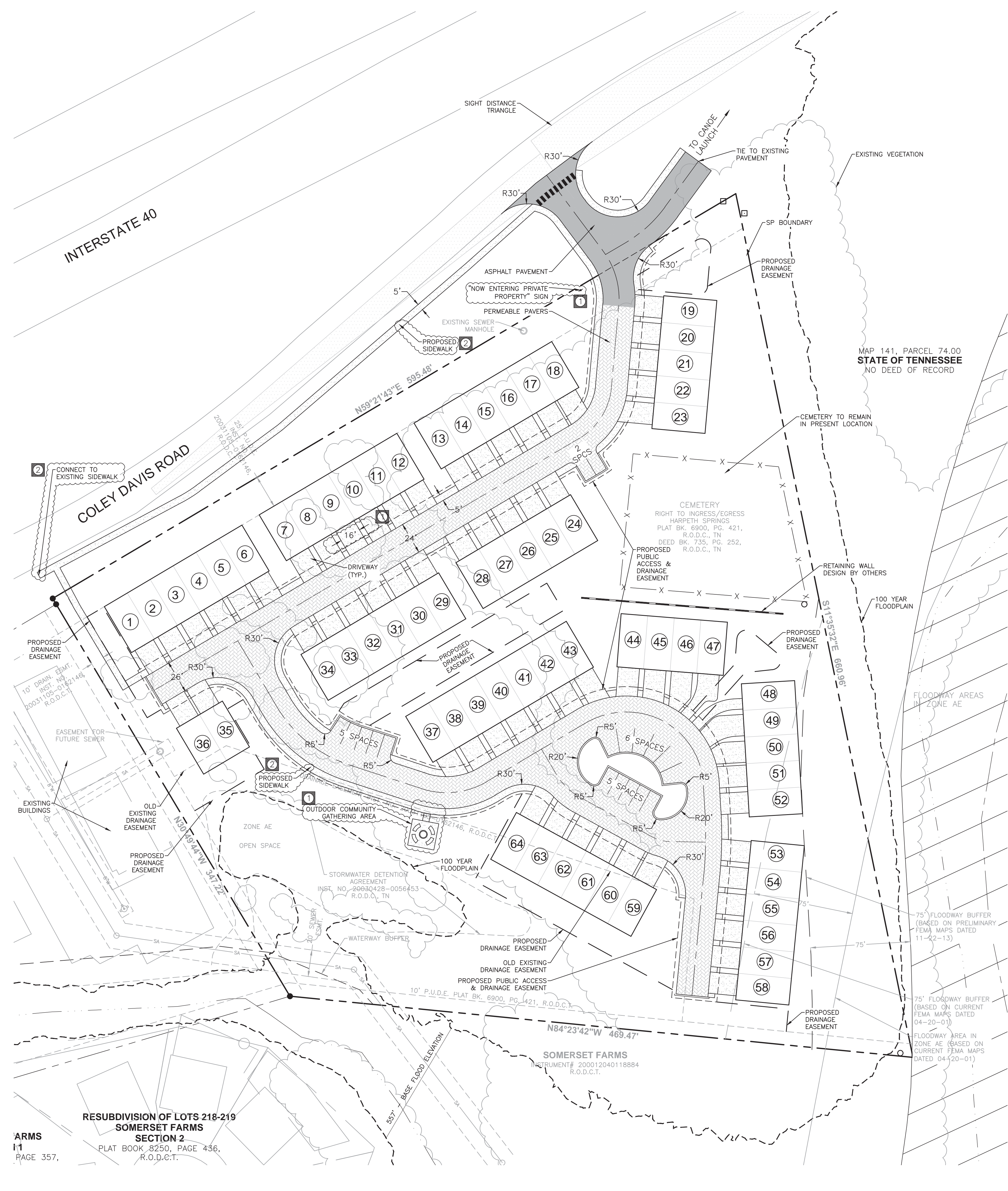
HARPETH SPRINGS VILLAGE
 FOR
OLDSMITH GROUP
 METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

JOB NO.	15143	WK. ORDER	0378
DESIGNED:	J. KILGORE	DRAWN:	T. GARDNER
SCALE:	1"=40'	DATE:	DECEMBER 30, 2015
			REVISIONS

EXISTING CONDITIONS
C1.0

811
 Know what's below.
 Call before you dig.

© 2015 RAGAN SMITH, AN ENGINEERING AND ARCHITECTURAL FIRM. ALL RIGHTS RESERVED. PLOTTED BY TROY P. LARSEN ON 2/2/2016 10:48 AM. LAST UPDATED BY TPO ON 2/2/2016 10:48 AM.



SITE DATA:
PROPERTY INFORMATION:
 SITE APPLICATION NUMBER: 2007-SP-103-001
 COUNCIL DISTRICT NUMBER: 22
 DISTRICT COUNCIL MEMBER: SHERI WEINER
 SP NAME: HARPETH SPRINGS VILLAGE
 SOI NASHVILLE PARTNERS, LLC.
 PROPERTY OWNER: VACANT
 EX. BUILDING S.F. / USE: 141
 TAX MAP: 141
 PARCELS: 88
 PARCEL'S ACREAGE: 5.78 AC
 STREET ADDRESS: 7960 COLEY DAVIS ROAD

DEVELOPER:
 CHRISTOPHER SMITH
 OLDSMITH DEVELOPMENT GROUP
 1422 KINGS PARK COURT
 KENNESAW, GA 30152
 (770) 714-3831

PROJECT ENGINEER:
 LAWRENCE J. KILGORE
 RAGAN SMITH ASSOCIATES, INC.
 315 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591

ZONING INFORMATION:
 ZONING CLASSIFICATION: SP
 LAND USE POLICY: T3 NM SUBURBAN NEIGHBORHOOD MAINTENANCE
 PROPOSED ZONING: SP

SURVEY INFORMATION:
 BOUNDARY INFORMATION TAKEN FROM FINAL PLAT ENTITLED HARPETH SPRINGS OF RECORD IN INSTRUMENT NO. 20031105-012426. TOPOGRAPHIC INFORMATION TAKEN FROM METRO GIS.

FLOOD INFORMATION:
 BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES 'AE', 'X' (OTHER FLOOD AREAS) AND ZONE 'X' (OTHER AREAS), AS DESIGNATED ON THE CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0304F, WITH AN EFFECTIVE DATE OF APRIL 20, 2001, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470040, PANEL NO. 0304, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE 'AE' UNDER 'SPECIAL FLOOD HAZARD AREAS (INUNDED BY 100-YEAR FLOOD)' AS BASE FLOOD ELEVATIONS DETERMINED. SAID MAP DEFINES ZONE 'X' (OTHER FLOOD AREAS) UNDER 'OTHER FLOOD AREAS' AS AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. SAID MAP DEFINES ZONE 'X' (OTHER AREAS) UNDER 'OTHER AREAS' AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.

FLOOD PLAIN LINE SHOWN HEREON IS TAKEN FROM THE PRELIMINARY FLOOD INSURANCE RATE MAP NO. 47037C0329H DATED NOVEMBER 22, 2013.

GEOTECHNICAL INFORMATION:
 NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

PROPOSED USES:
 • TOWNHOUSES

BULK STANDARDS:
 PROPOSED ACREAGE: 5.78 +/- AC (251,596 SF)
 DENSITY: 11.1 DU/AC
 DWELLING UNITS: 64
 FLOOR AREA RATIO (FAR): 0.41 (102,400 SF/251,596 SF)
 LOTS: 64
 (OVERLAP SURFACE RATIO (ISR): 0.31 (79,163 SF / 251,596 SF)
 BUILDING HEIGHT: 33' (2 STORIES)

PARKING:
 PARKING REQUIRED: 128 SPACES (64 UNITS X 2 SPACES PER UNIT)
 PARKING PROVIDED: 207 SPACES (64 GARAGE, 125 DRIVEWAY, 18 SURFACE)

ARCHITECTURAL NOTES:
 1. BUILDING FACADES FRONTING A STREET SHALL PROVIDE A MINIMUM OF ONE PRINCIPAL ENTRANCE (DOORWAY) AND A MINIMUM OF 25% GLAZING.
 2. WINDOWS SHALL BE VERTICALLY ORIENTED AT A RATIO OF 2:1 OR GREATER, EXCEPT FOR DORMERS.
 3. EIFS, VINYL SIDING AND UNTREATED WOOD SHALL BE PROHIBITED.
 4. PORCHES SHALL PROVIDE A MINIMUM OF SIX FEET OF DEPTH.
 5. A RAISED FOUNDATION OF 18" - 36" IS REQUIRED FOR ALL RESIDENTIAL STRUCTURES.

ANTICIPATED DEVELOPMENT SCHEDULE:
 START DATE: SUMMER 2016
 FINISH DATE: SPRING 2017

THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ONE PHASE.

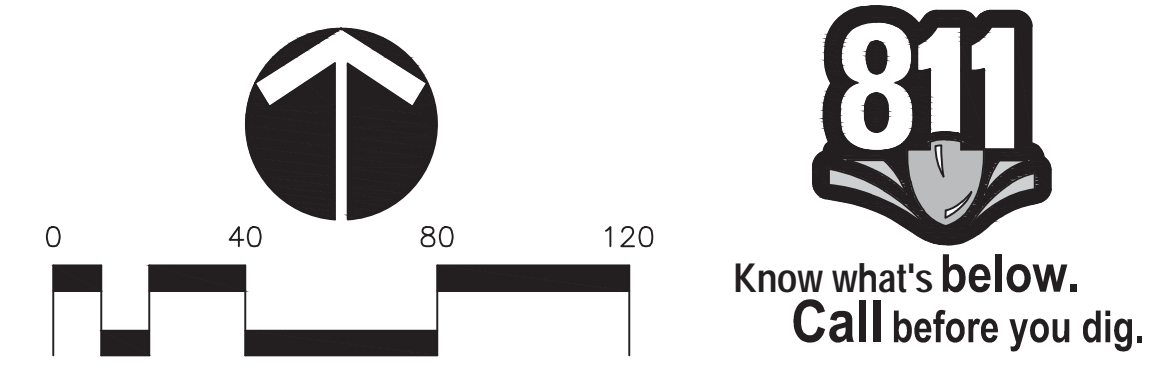
GENERAL NOTES:

- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.
 ADA: <http://www.ada.gov>
 U.S. JUSTICE DEPT: <http://www.justice.gov/crt/ada/adaabout.htm>
- PROPOSED ROADWAYS AND SERVICE LANES WITHIN THIS PROJECT'S PROPERTY BOUNDARIES ARE PRIVATE.
- LOTS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPT. OF WATER SERVICES.
- THIS DRAWING IS INTENDED TO SHOW THE BASIC PREMISE OF THE DEVELOPMENT. MINOR MODIFICATIONS ARE ANTICIPATED AT FINAL SP SITE PLAN LEVEL WHEN CONSTRUCTION DRAWINGS ARE DEVELOPED. MINOR MODIFICATIONS TO THIS PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- BILLBOARDS SHALL NOT BE PERMITTED.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- BUILDING SQUARE FOOTAGE IS APPROXIMATE AND MAY SLIGHTLY VARY AS PLANS ARE DEVELOPED FOR FINAL SP. BUILDING SQUARE FOOTAGE SHALL NOT EXCEED MAX F.A.R. ALLOWED WITH THIS SP.
- THE DEVELOPER IS WILLING TO WORK WITH METRO PARKS AND RECREATION TO PROVIDE A GREENWAY EASEMENT TO ACCOMMODATE THE HARPETH RIVER GREENWAY MASTER PLAN.
- THE HOMEOWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL ACCESS DRIVES AND OPEN SPACE.

PUBLIC WORKS NOTES:

- ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL ROADWAY, DRIVEWAY, SIDEWALK, ALLEY AND CURB CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF METRO PUBLIC WORKS AND SHALL BE REVIEWED BY THE MPW TRAFFIC ENGINEER.
- A SIGHT DISTANCE ANALYSIS SHALL BE SUBMITTED TO METRO PUBLIC WORKS. IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE ANALYSIS FINDINGS AND CONDITIONS.

RESUBDIVISION OF LOTS 218-219
 SOMERSET FARMS
 SECTION 2
 PLAT BOOK 8250, PAGE 436,
 R.O.D.C.T.
 ARMS
 I-1
 PAGE 357.



RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 CHATTANOOGA
 1000 WOODLAND STREET
 NASHVILLE, TN 37206
 (615) 244-8591
 www.ragan-smith.com



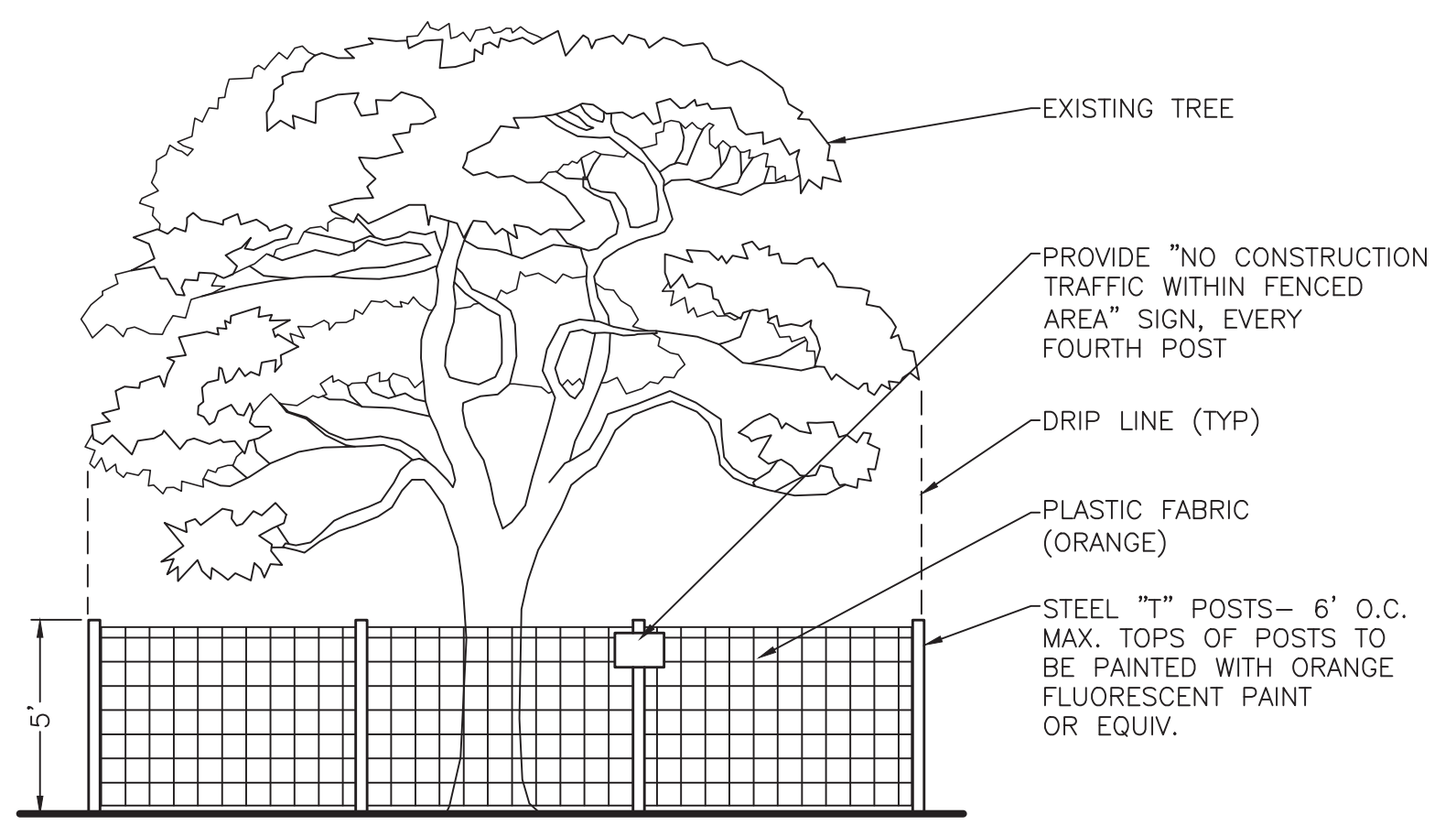
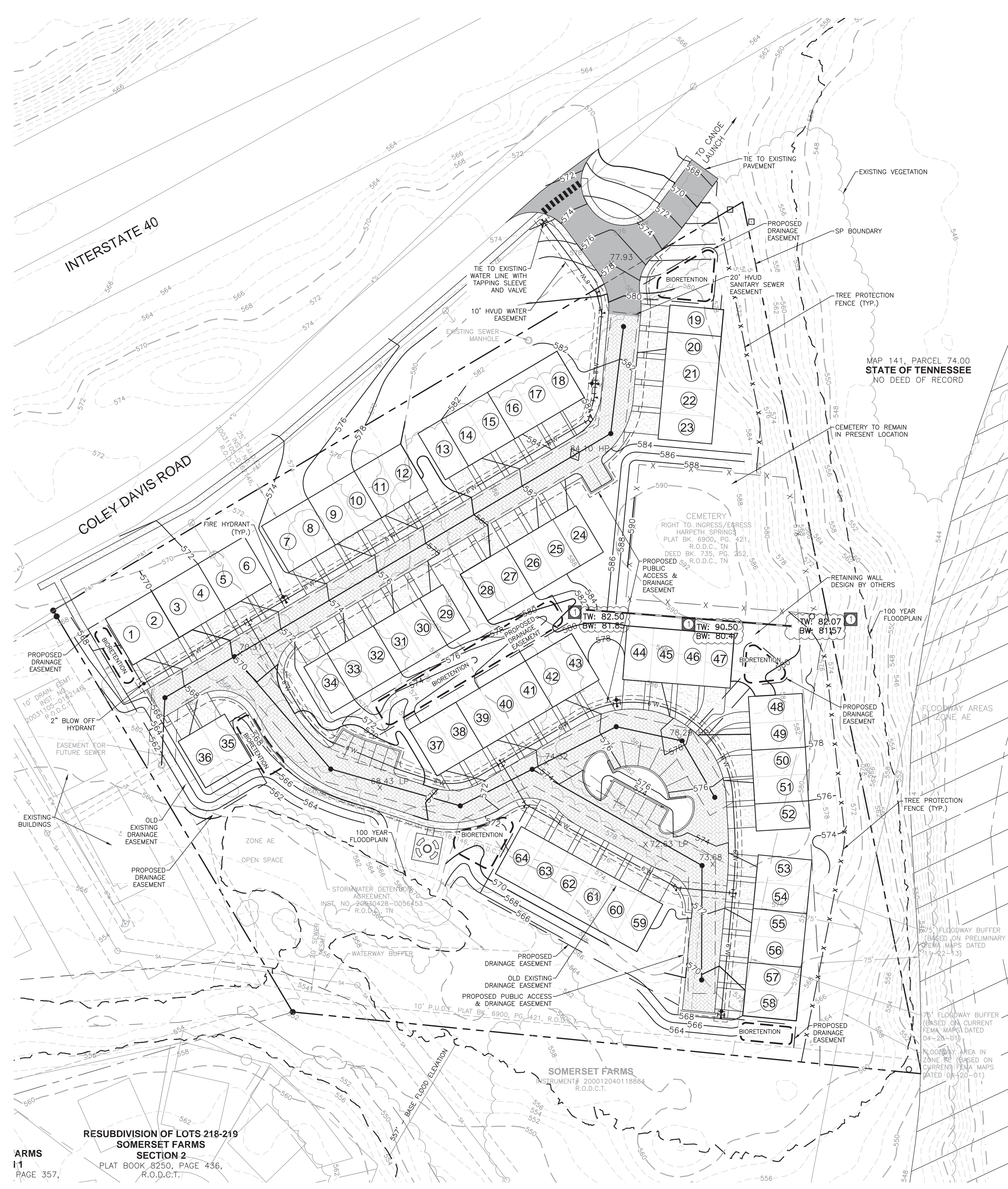
HARPETH SPRINGS VILLAGE
 FOR
OLDSMITH GROUP
 METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	0378
DESIGNED:	J. KILGORE
DRAWN:	T. GARDNER
SCALE:	1"=40'
DATE:	DECEMBER 30, 2015

02-03-16 (TR) COMMENTS
 03 PER METRO COMMENTS
 01 PER METRO COMMENTS

OVERALL SITE LAYOUT
C2.0

DATE PLOTTED: 12/30/15 10:45 AM
 PLOTTED BY: T. GARDNER
 LAST UPDATED BY: T. GARDNER 12/30/15 10:45 AM



NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT

NOTE: POSTS TO BE PLACED AT DRIP LINE - SEE PLANS FOR FENCE LOCATION

TREE PROTECTION DETAIL
NOT TO SCALE

NOTES:

PORTION OF LOTS 49-58 LOCATED WITHIN THE FLOODWAY BUFFER BASED ON THE CURRENT FEMA MAP ARE NOT TO BE DISTURBED UNTIL NEW PRELIMINARY FEMA MAP IS APPROVED.

WATER QUALITY NOTE: DETENTION FOR THIS PROJECT WILL BE PROVIDED PER THE L.I.D. MANUAL IF REQUIRED.

MINIMUM FFE NOTE: MINIMUM FINISH FLOOR ELEVATIONS SHALL BE AT LEAST 4 FEET ABOVE THE BASE FLOOD ELEVATIONS PER THE FLOOD INSURANCE RATE MAP.

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

CHATTANOOGA
1400 W. MARKET STREET
CHATTANOOGA, TN 37408
PH: 423-244-8561
WWW.RAGANSMITH.COM



HARPETH SPRINGS VILLAGE
FOR
OLDSMITH GROUP

METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

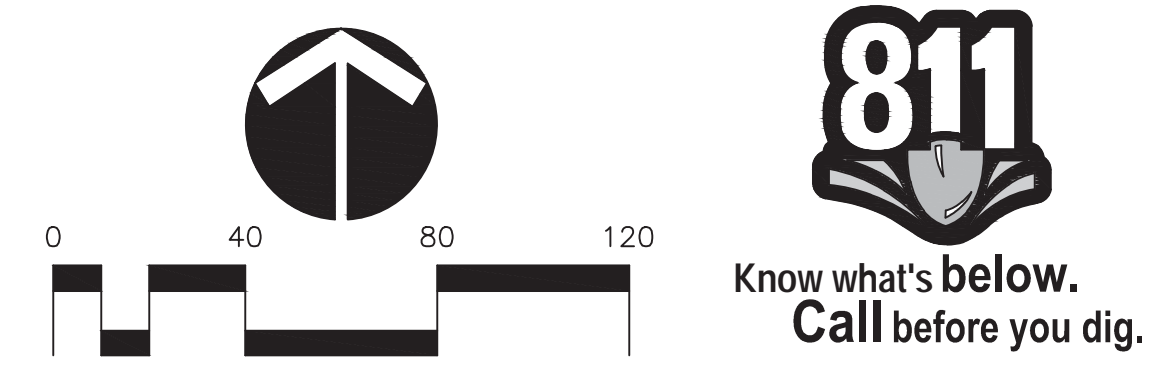
WK. ORDER	0378
JOB NO.	15143
DESIGNED:	J. KILGORE
DRAWN:	T. GARDNER
SCALE:	1"=40'
DATE:	DECEMBER 30, 2015

REVISIONS

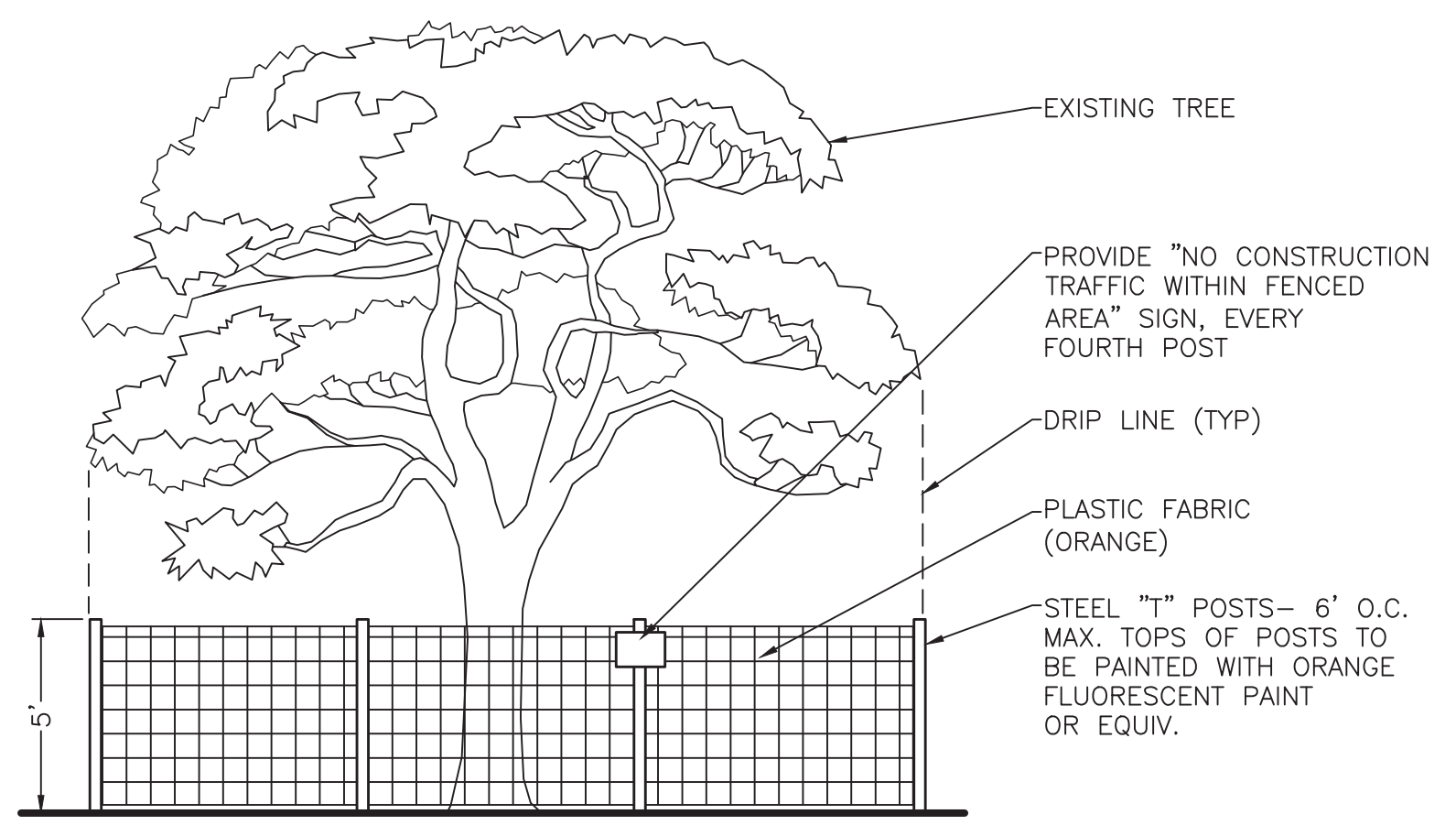
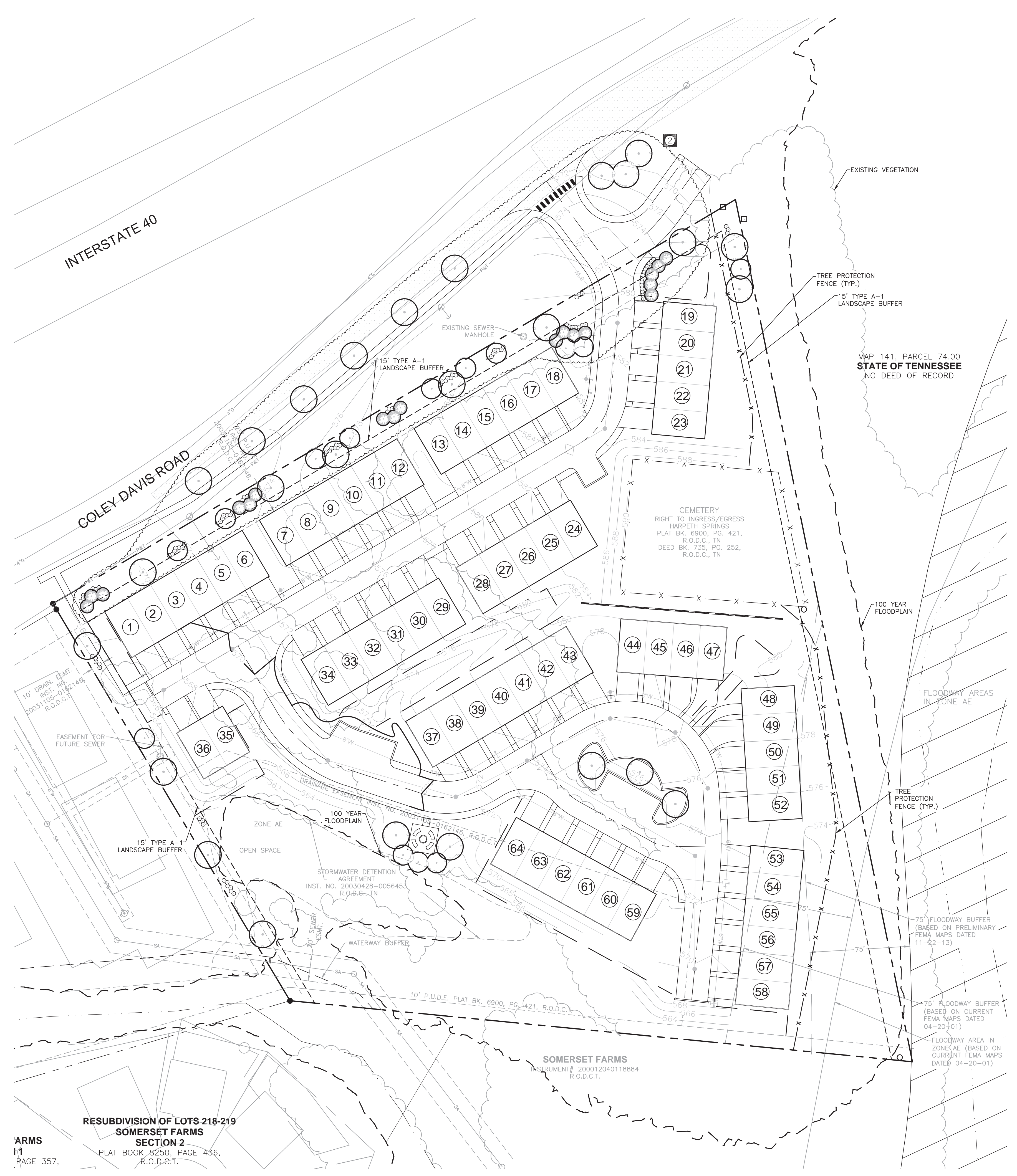
2	02-03-16 (TR)	REVISIONS
1	03-03-16 (TR)	PER METRO COMMENTS
0	03-03-16 (TR)	PER METRO COMMENTS

SITE GRADING,
DRAINAGE, AND
UTILITY PLAN

C3.0



02/03/2016 10:45 AM
 PLOTTED BY: T. GARDNER
 LAST UPDATED BY: T. GARDNER
 DATE: 12/30/15 10:45 AM



NOTE:
ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT

NOTE:
POSTS TO BE PLACED AT DRIP LINE- SEE PLANS FOR FENCE LOCATION

TREE PROTECTION DETAIL
NOT TO SCALE

RAGAN SMITH
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
CHATTANOOGA
1000 W. MARKET STREET
CHATTANOOGA, TN 37402
PH: 423-244-8591
WWW.RAGANSMITH.COM

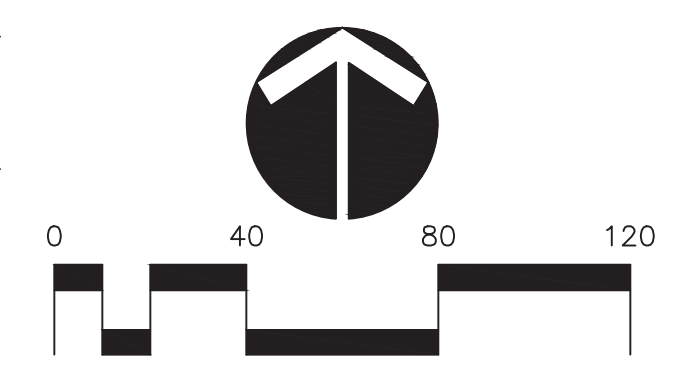


HARPETH SPRINGS VILLAGE
FOR
OLDSMITH GROUP
METROPOLITAN NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	0378
JOB NO.	15143
DESIGNED BY	A. THOMPSON
DRAWN BY	T. GARDNER
SCALE	1"=40'
DATE	DECEMBER 30, 2015
REVISIONS	02-03-16 (TP) PER METRO COMMENTS 01-04-16 PER METRO COMMENTS

LANDSCAPE PLAN

L1.1

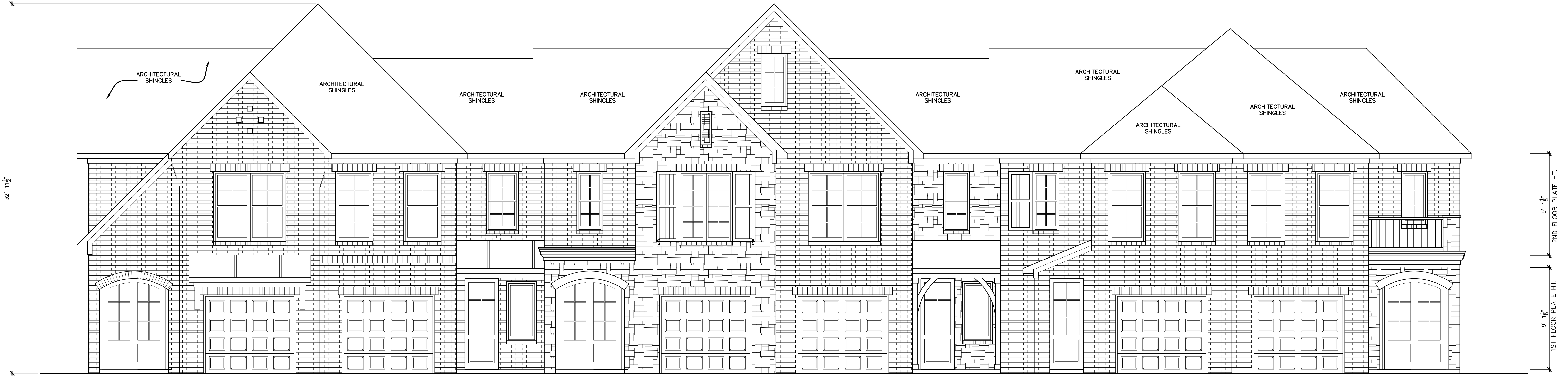


Know what's below.
Call before you dig.

01/14/2016 10:45 AM: RAGAN SMITH ARCHITECTS, L.L.C. LANDSCAPE PLANING
PLOTTED BY TROY P. SANDERS ON 2/4/2016 10:45 AM. LAST UPDATED BY TPO ON 2/2/2016 10:45 AM

RESUBDIVISION OF LOTS 218-219
SOMERSET FARMS
SECTION 2
PLAT BOOK 8250, PAGE 436,
R.O.D.C.T.

ARMS
I1
PAGE 357,



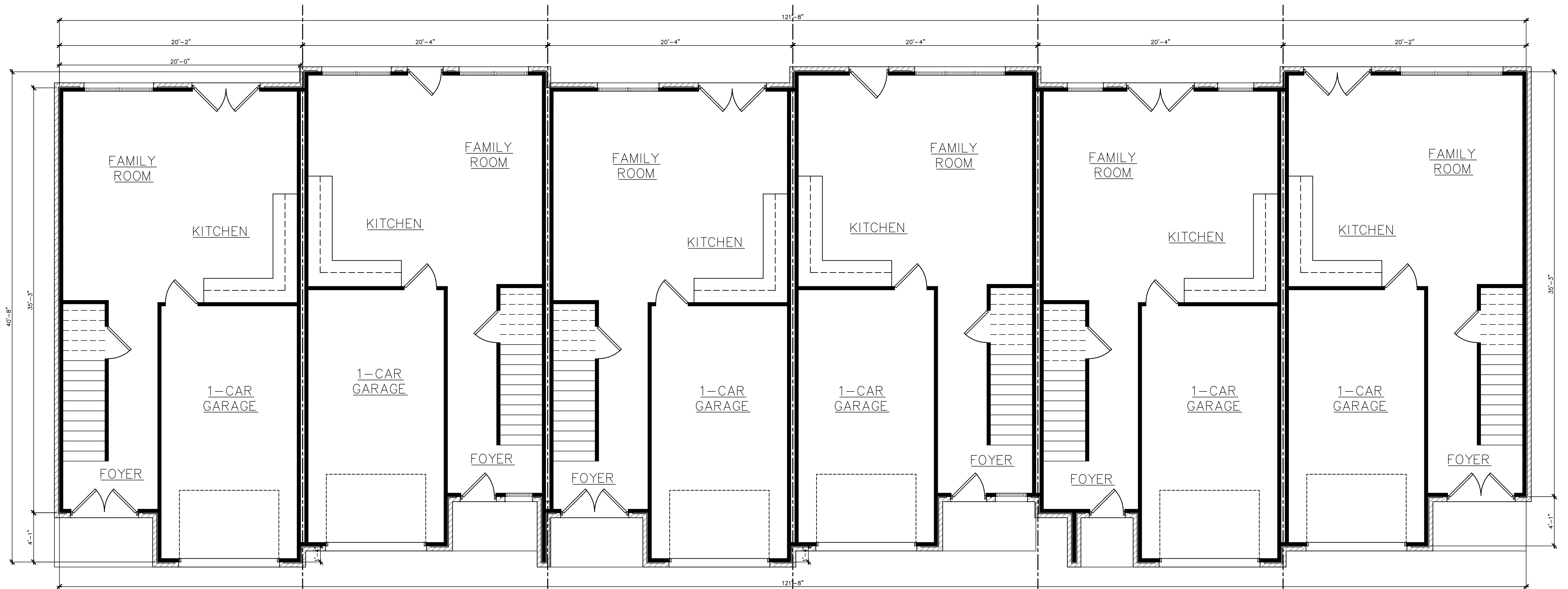
BARLOW BUILDERS

COLEY DAVIS PROPOSED 6-PLEX ELEVATION



COLEY DAVIS PROPOSED 6-PLEX REAR ELEVATION

BARLOW BUILDERS



BARLOW BUILDERS

COLEY DAVIS PROPOSED 6-PLEX FIRST FLOOR PLAN