

1116 Sigler Street

Preliminary Specific Plan
Nashville, Tennessee

December 17, 2015
REVISED: January 28, 2016

Specific Plan Purpose

The purpose of this SP is to rezone the 0.28 Acre lot found at 1116 Sigler Street to allow for 5 townhome units to be built. These units will be accessed via an autocourt that utilizes the existing curb cut.

Land Planner / Architect

Smith Gee Studio
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Developer

Maverick Properties
Lee Schaefer
615-292-7554

lee@maverick-properties.com



Nashville & Davidson County
FEB 4 2016
Metropolitan Planning Department

Sigler Street



Not to Scale- For Illustrative Purposes Only- Please refer to Site Plan Page

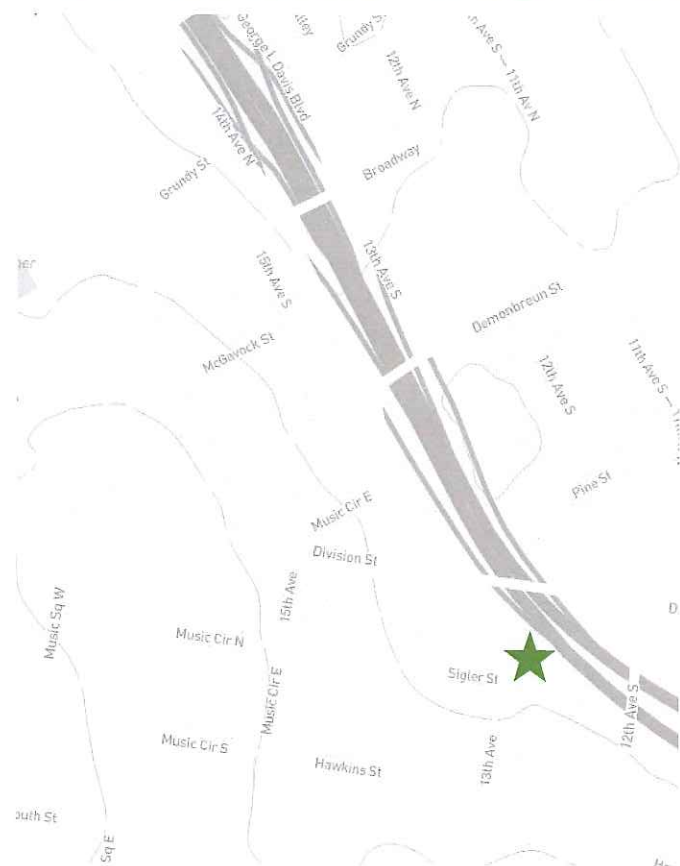
SP# 2016SP-009-001



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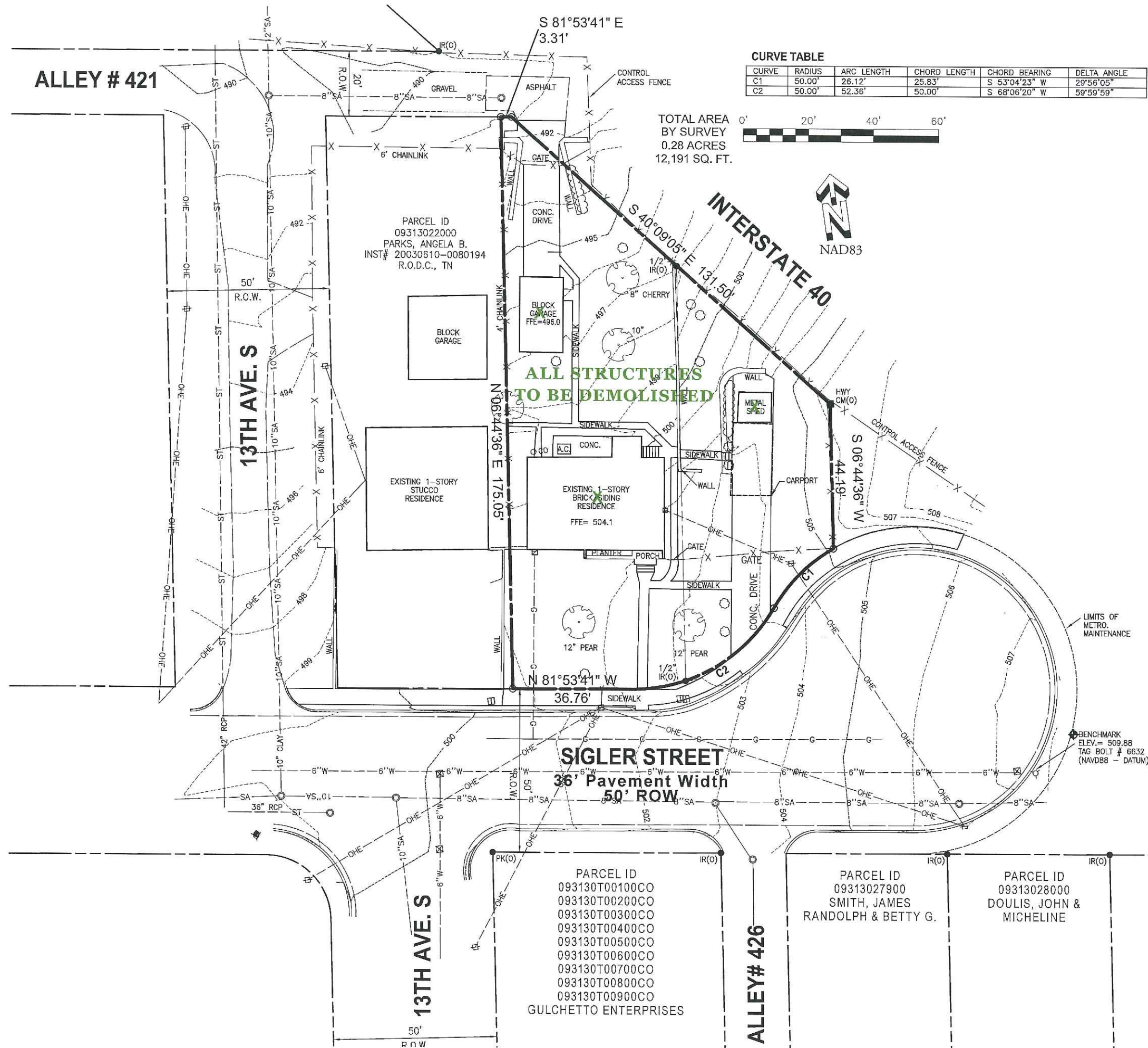
Site Info
Site is 0.30 acres of land located at:

1116 Sigler Street
Map & Parcel: 09313021900
Council District 19 - Freddie O'Connell

Current and Proposed Policy:
T4 Neighborhood Evolving

Owners of Record
Fanning, Alice D. & Bobby D.
103 Nan Dr.
Hendersonville, TN 37075

Survey by:
Weatherford and Associates, LLC
P.O. Box 8248
Hermitage, TN 37076
Phone = 615-391-3044
Cell = 615-300-6474
www.walandsurveying.com



Erosion Control and Grading Notes

- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 pounds per 1000 square feet of 6-12-12 fertilizer (unless otherwise specified in written specifications), 5 pounds or more of Kentucky 31 fescue seed per 1000 square feet, and a straw mulch cover of 70%-80% coverage (approximately 125 pounds per 1000 square feet), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan Stormwater Management Manual, volume four, section tcp-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100 feet long and at least 6" thick.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County Department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the Architect. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the Architect immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.

- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor shall provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 & CP-13. Location to be coordinated with the NPDES department during the pre-construction meeting.

Stormwater Notes

- The soil types for this area are Maury-Urban Land Complex, 2 to 7 percent slopes which falls within the "B" hydrological soil group.
- This site shall comply as shown w/ Stormwater Ordinance No. 78-840
- Storm sewer system on this plan is shown schematically, final design will be provided during the final SP process and will meet the requirements of the stormwater management manual Appendix 'H'.
- Metro Water Services shall be provided sufficient and unencumbered ingress, egress and access at all times in order to maintain, repair, replace, and inspect any utilities within this site.

Landscape Notes

- The developer of this project shall comply with the requirements of the SP and adopted tree ordinance 2008-328 (Metro Code Chapter 17.24).
- Street trees shall be provided along all street frontages at a minimum spacing average of fifty (50) linear feet, when trees are planted in rows, they shall be uniform in size and shape.
- All landscaping shall be properly irrigated and maintained by a landscape contractor; if drought resistant plant material is used, irrigation shall not be required.
- All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.
- All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.
- Groups of shrubs shall be placed in a continuous mulch bed with smooth continuous lines. Trees located within four feet of shrub beds shall share same mulch bed.
- Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as to not impede drainage away from buildings. If significant relocations are required, contractor shall contact landscape architect for resolution. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials

- Trees should remain vertical and upright for the duration of the guarantee period. Guys and strapping shall be removed after one growing season.
- The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.

Water & Stormwater Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by coring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbp) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the Metro Water Services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.

Utility Notes

- Water and Sewer service to be provided by Metro Water Services
- Water and Sewer Services are schematically shown. Final Water and Sewer service locations will be provided during the final SP process.

Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.

Development Schedule

Project is expected to break ground in July 2016 and take 14 months to complete.



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SGS #15048.00



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Development Summary	
Acreage	0.3 Acres
Uses	5 Residential Units
Maximum Number of Multi-family Units	5 units
Sigler Street Build-to	5 ft. - 10 ft.
Rear Setback	5 ft.
Side Setback	5 ft.
Height Standards	3 stories maximum in 40 feet**
Raised Foundation	18" Minimum, 3' Maximum (at Front Setback)
Access	(1) Autocourt from Sigler.
Parking	7.5 required (1.5 per unit UZO) 10 provided (2.0 per unit)
Floor Area Ratio (FAR)	1.17
Density	16.7 du/ac
* Excluding pedestrian passages, garage entries and open spaces; porches and stoops may encroach up to 4 ft. beyond setback where applicable.	
** Measured from finished floor to top of ridge line	

Any standard not specifically addressed herein shall comply with the Residential Multi-family 20 units an Acre (RM20-A) base zoning requirements as of the application date of this Preliminary SP.

Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Permitted Uses

All uses permitted by Residential Multi-family 20 units an Acre (RM20-A) base zoning designation.

Parking

Provided parking shall meet the requirements of the UZO parking standards of the Zoning Code (17.20).

It is intended that the total parking provided will be in excess of the minimum requirements of the UZO parking standards.

Parking shall be predominantly provided within a parking area internal to the development.

Height

The maximum height permitted shall be three (3) stories within forty (40) feet measured from finished floor to top of ridge line

Architectural Standards

Buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for every interior unit break along the Sigler frontage:

- A change in building material
- A horizontal undulation in the building facade of eighteen (18) inches or greater
- A porch, stoop or balcony
- Street facing building facades shall have a minimum of twenty five (25) percent glazing (measured as a percentage of each floors width x height) and have a minimum of one principal entrance (doorway).
- EIFS, vinyl siding and untreated wood shall be prohibited.
- Porches shall provide a minimum of six feet of depth.
- Ground floor residential units on all street facing building facades shall have a porch or stoop with direct access to public sidewalk.
- Windows shall be vertically oriented at a ratio of 2:1 or greater, excluding dormers along all street facing facades.
- Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping.
- All residential units shall have a minimum of eighteen (18) inches and a maximum of three (3) feet raised foundations of at the Sigler Avenue frontage, measured at the front setback. Minor reductions may be granted by Planning Staff with the Final SP application for topographically challenged areas and ADA required units.

- The final site plan shall depict a minimum 5 foot clear path of travel for pedestrian ways, including public sidewalks, and the location of all existing and proposed obstructions. Prior to the issuance of use and occupancy permits, existing obstructions within the path of travel shall be relocated to provide a minimum of 5 feet of clear access.

General Plan Consistency

The specific plan proposed herein is located within the Green Hills/Midtown Community Plan. The specified land use is Neighborhood Evolving, Transect 4 (or T4 NE). The primary goal of T4 NE is to encourage denser housing types that are intergrated into the fabric of the existing neighborhood. Neighborhood evolving encourages a diverse variety of housing types in interior neighborhoods.

This plan is consistent with the goals established throughout the policy and is also consistent with several critical planning goals.



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SITE PLAN

SCALE: 1"=30'

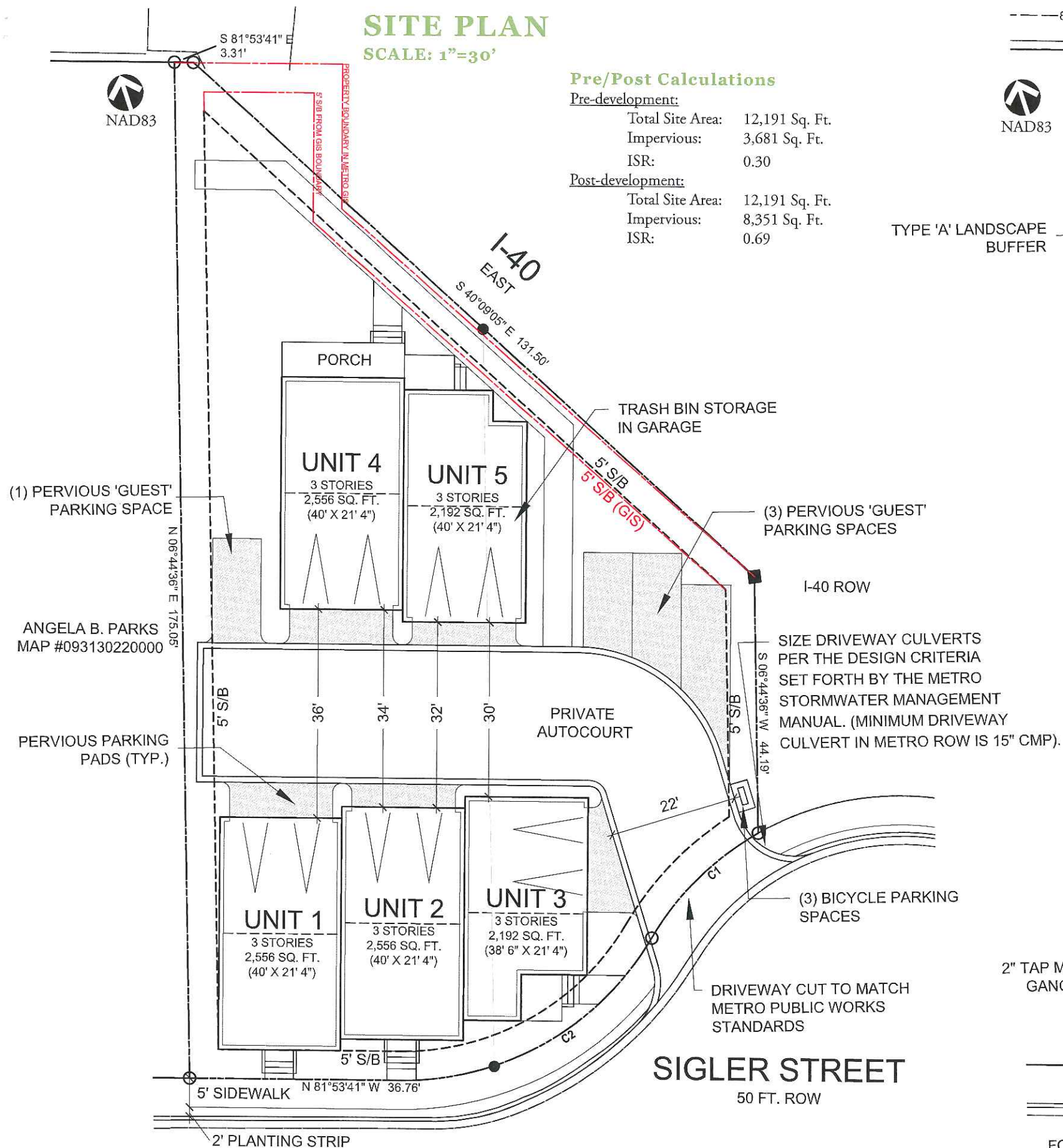
Pre/Post Calculations

Pre-development:

Total Site Area: 12,191 Sq. Ft.
 Impervious: 3,681 Sq. Ft.
 ISR: 0.30

Post-development:

Total Site Area: 12,191 Sq. Ft.
 Impervious: 8,351 Sq. Ft.
 ISR: 0.69



LANDSCAPE & UTILITY PLAN

SCALE: 1"=30'

Tree Density Notes

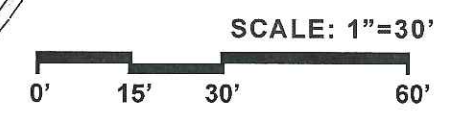
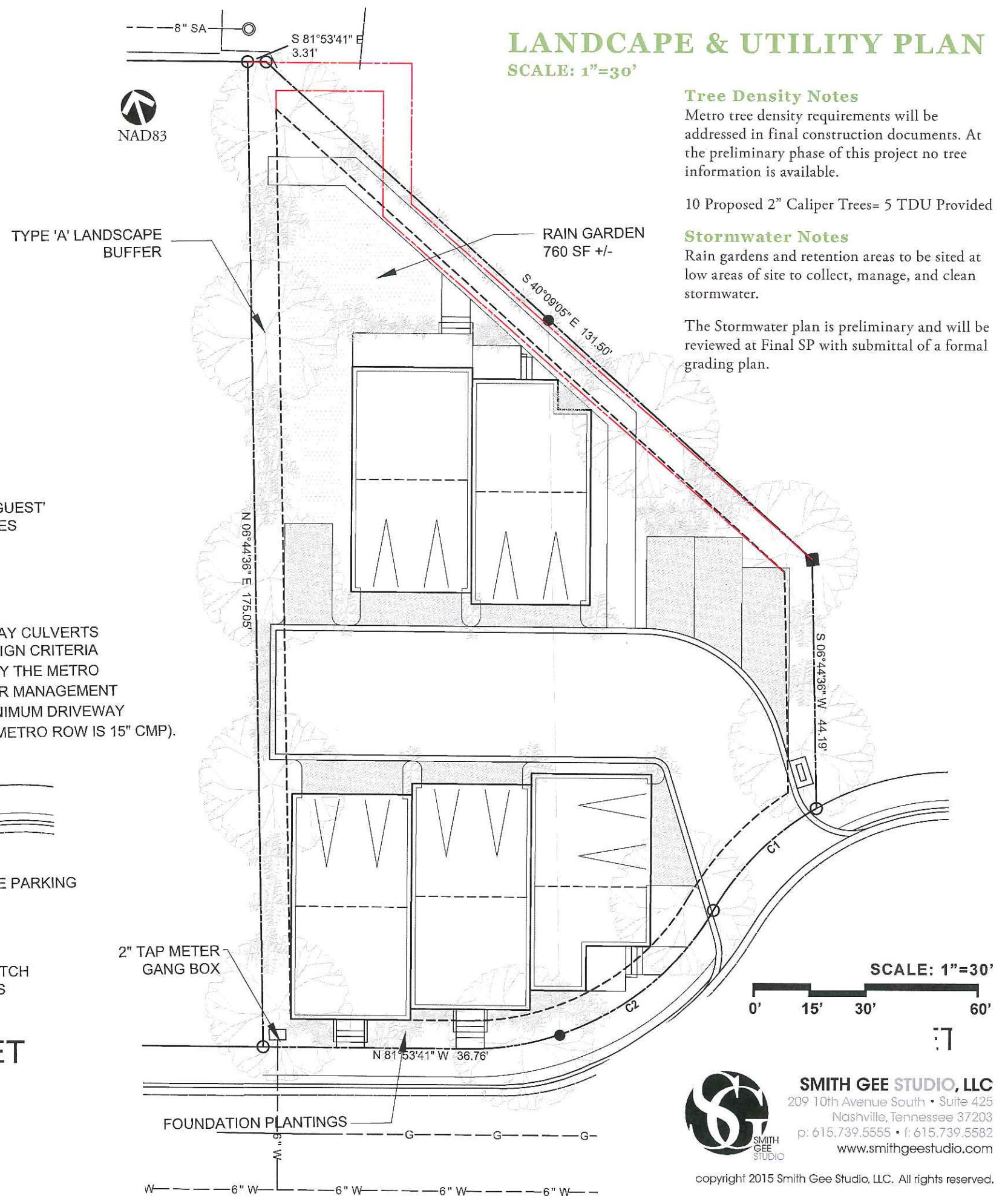
Metro tree density requirements will be addressed in final construction documents. At the preliminary phase of this project no tree information is available.

10 Proposed 2" Caliper Trees= 5 TDU Provided

Stormwater Notes

Rain gardens and retention areas to be sited at low areas of site to collect, manage, and clean stormwater.

The Stormwater plan is preliminary and will be reviewed at Final SP with submittal of a formal grading plan.



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