

## Landscape Notes

- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
- All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
- All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch, or as approved by Landscaper and Urban Forester.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
- No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
- All wire baskets shall be completely removed and disposed of, burlap should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
- Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
- No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
- Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan by others for proposed light locations.

## Water and Sewer Notes

- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the metro water services the cost of inspection.
- The contractor is to provide and maintain the construction identification sign for private development approved.
- All connections to existing manholes shall be by boring and resilient connector method.
- Reduced pressure backflow prevention devices (rpbp) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
- All water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.

## Public Works Notes

- All work within the public right of way requires an excavation permit from the department of public works.
- Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
- Stop signs are to be 30 inch by 30 inch.
- Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
- All pavement marking are to be thermoplastic.
- The developers final construction documents shall comply with the design regulations established by the Department of Public Works. Final design may vary based on field conditions.
- The dumpster/ recycle shall be accessible.
- Prior to the Final SP, coordinate with TDOT to scarify and remove the existing asphalt along the property frontage.
- Prior to the Final SP, coordinate with MPW and Metro Stormwater to make a hard connection to the existing stormwater infrastructure.

## Erosion Control and Grading Notes

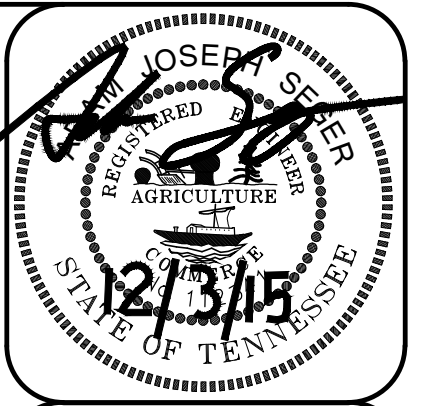
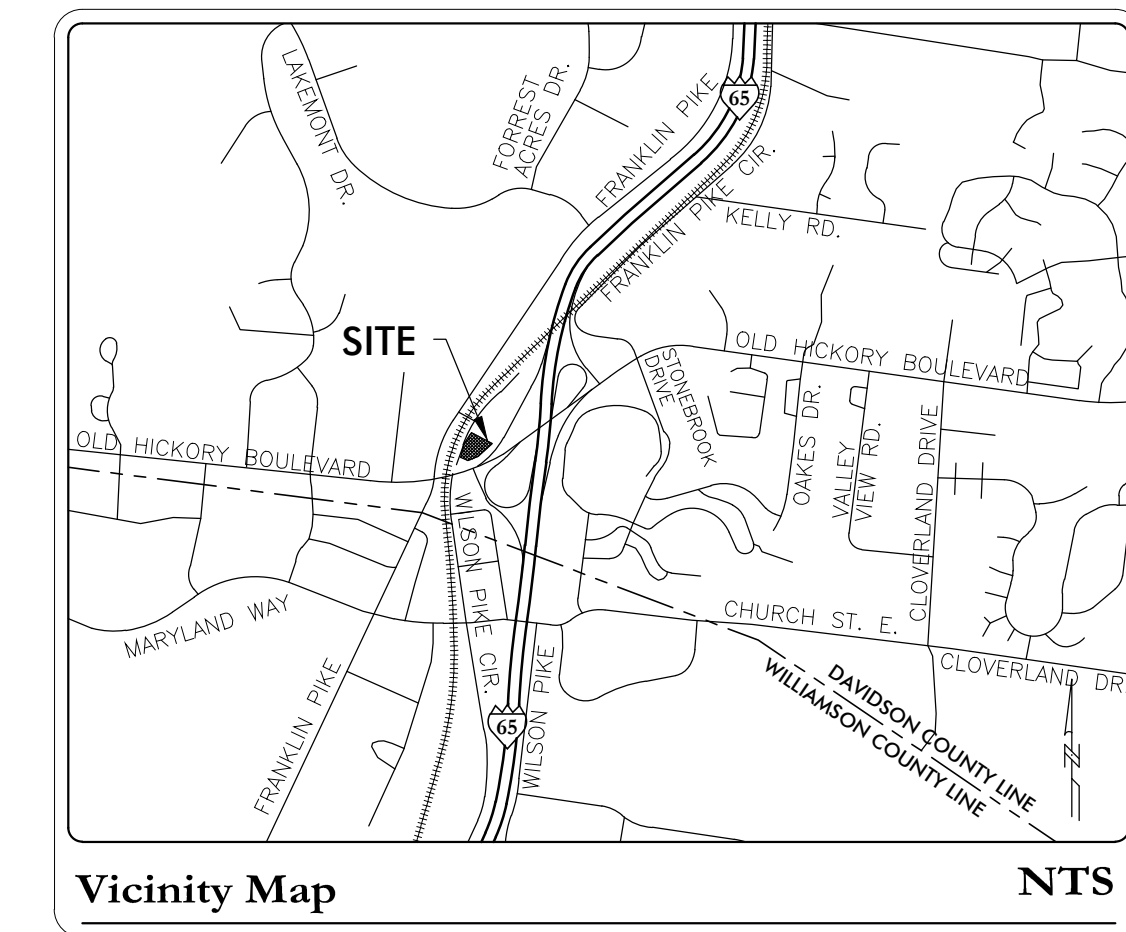
- Expose as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by sprinkling or other acceptable means.
- All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 6-12-12 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
- Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section top-14.
- Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
- The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
- Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick, or as agreed to with Metro NPDES.
- The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
- The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
- The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
- Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
- The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
- The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
- All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
- All erosion control measures shall remain in place until site is stabilized & construction is complete.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with NPDES department during the preconstruction meeting. Grading permittee to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the EPSC plan.
- The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

# Franklin Pike Circle Hotel

## Preliminary SP

### SP # 2016SP-006-001

BEING PARCELS 187 & 60-01 ON TAX MAP 160  
NASHVILLE, DAVIDSON COUNTY, TENNESSEE



Drawing Date:  
December 3rd

REVISIONS:  
December 22, 2015

Franklin Pike Circle Hotel  
Preliminary Specific Plan  
SP # 2016SP-006-001  
Nashville, Davidson County, Tennessee  
Map 160, Parcels 187 & 60-01

PERMITS:



**Dale & Associates**  
Consulting Civil Engineering  
Land Planning, Zoning  
Surveying  
516 Heather Place  
Nashville, Tennessee 37204  
(615) 297-5166

D&A Project #14170  
Franklin Pike Circle  
Hotel

# C0.0

Sheet 1 of 3

## Standard SP Notes

- The purpose of this SP is to receive preliminary approval to permit a hotel development.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater Management Ordinance No. 78-840 & approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA on map 47187C0091F dated October 29, 2006.
- All public sidewalks are to be constructed in conformance with Metro Public Works sidewalk design standards.
- Wheel chair accessible curb ramps, complying with applicable Metro Public Works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the Metropolitan Fire Marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual (minimum driveway culvert in Metro right of way is 15" cmp).
- Metro Water Services shall be provided sufficient & unencumbered ingress & egress at all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Individual water and/or sanitary sewer service lines are required.
- Solid waste pickup to be provided by dumpster, stored on a concrete pad.
- Minor modifications to the preliminary SP plan may be approved by the planning commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by metro council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- The development of this project shall comply with the requirements of the adopted tree ordinance 2008-328 (Metro Code Chapter 17.24, Article II, tree protection and replacement; and Chapter 17.40, Article x, tree protection and replacement procedures).

## General Plan Consistency

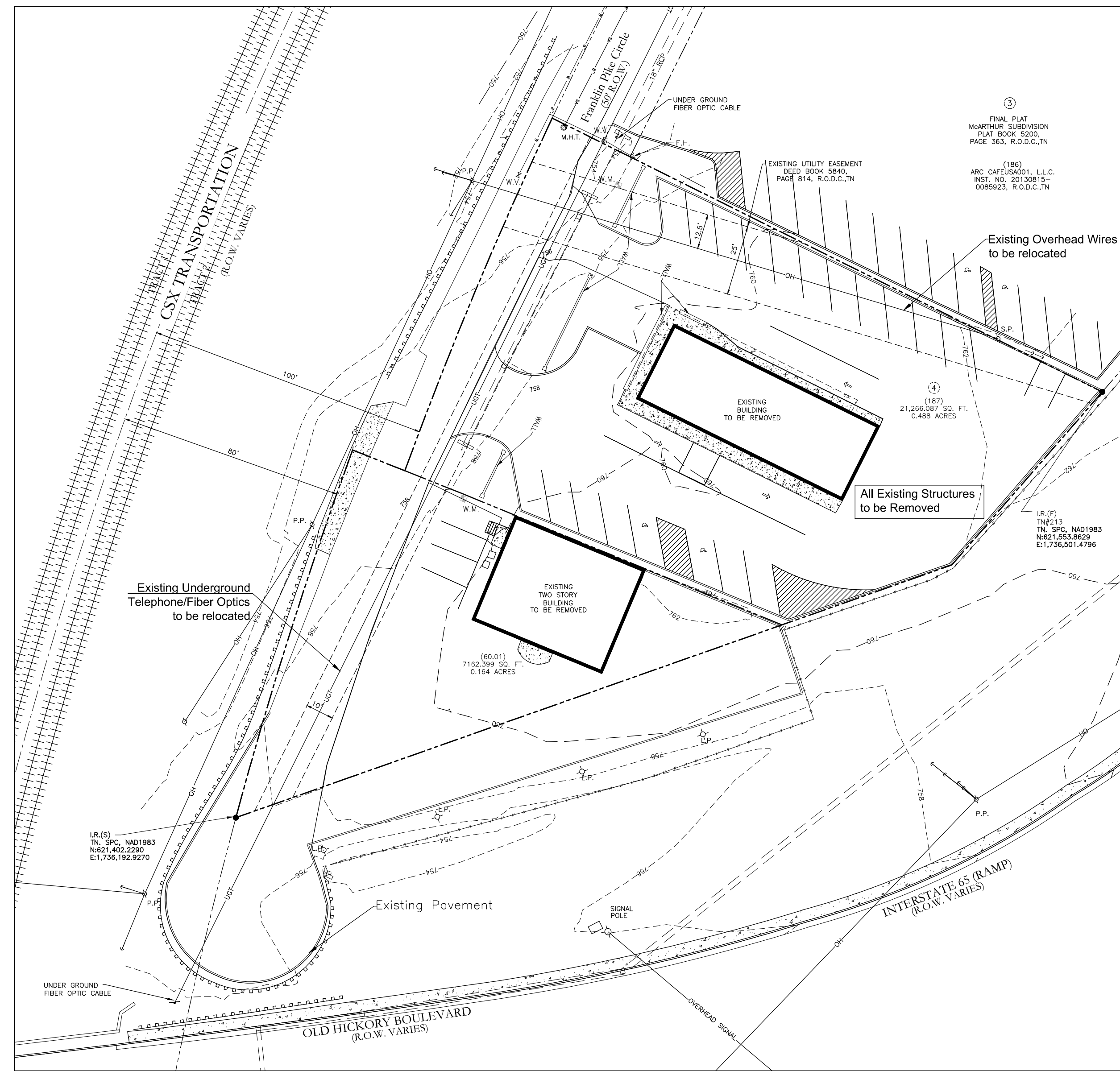
The Specific Plan District proposed herein is located within Subarea #12, the Southeast Community Plan. The community character policy for this site is a District Employment Center (D EC). The characteristics of a D EC area are concentrations of employment based uses and supporting uses. This would entail a mixture of office, commercial, retail, and potentially light industrial centers along with supporting uses to foster an employment friendly area. D EC areas are generally within close proximity to major collectors and arterials.

As proposed, this Specific Plan will create a use that is within the allowable uses of the D EC and would compliment the surrounding office and commercial area by providing much needed hotel rooms that would serve the many employees and traveling business people that work in the area. The building proposed would be in concert with the general policy by proposing architectural features and massing that would be conducive to the surrounding office and commercial buildings, yet enhance the aesthetics. The project site is located immediately off of a major collector that has direct access to the interstate system, which would be ideal for this proposed use.

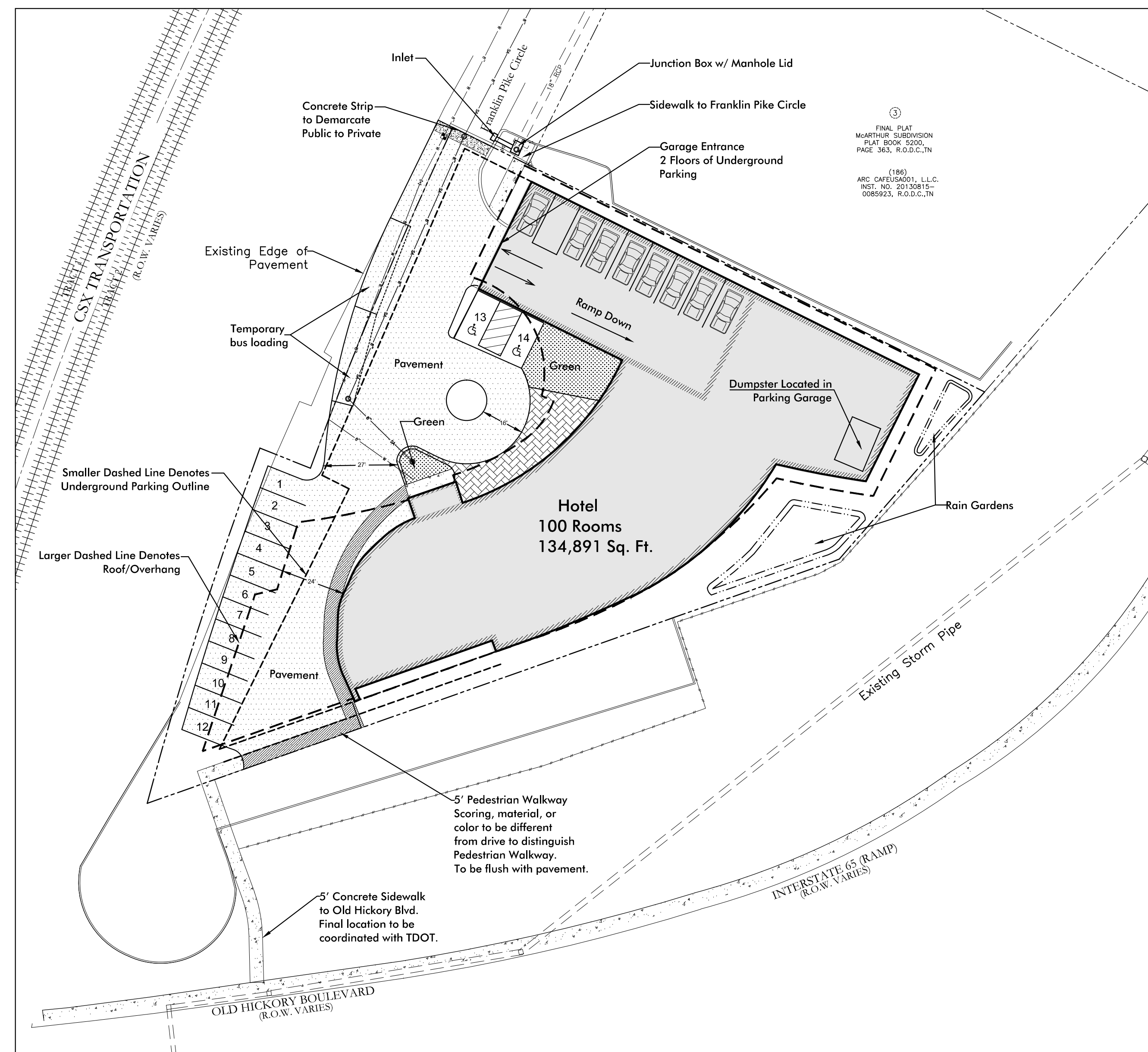
## Development Summary

Property Information	Developer	Survey Provided by
Tax Map 160 Parcels 187 & 60-01 Zoned: CS Council District 34 (Angie Henderson) 0.98 Total Acre	Land Development.com, Inc. 798 Old Hickory Blvd. Brentwood, TN 37027	Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Phone: 615-297-5166
Owner of Record Land Development.com, Inc. 798 Old Hickory Blvd. Brentwood, TN 37027	Architect Malakouti Architects 1511 Sunset Road Brentwood, TN 37207 Contact: (615) 251-7060	Flood Note This Property does Not Lie Within a Flood Hazard Area as Depicted on the Current Flood Insurance Rate Maps (FIRM) Number 47187C0091F Dated October 29, 2006.
	Civil Engineer Dale and Associates 516 Heather Place Nashville, Tennessee 37204 Contact: Adam Seger, PE Phone: 615-297-5166	Benchmark Fire Hydrant Tag Bolt #12326 Elevation: 757.79'

# Notes And Project Standards



Existing Conditions  
1" = 30'-0"



Layout and Utility  
1" = 30'-0"

Legend			
C.M.(F)	Concrete monument (found)	WV	Water Valve
C.M.(S)	Concrete monument (set)	FH	Fire Hydrant
I.P.(F)	iron pipe (found)	GV	Gas Valve
I.R.(F)	Iron rod (found)	GM	Gas Meter
I.R.(S)	Iron rod (set)	Lot number	
RCP	Reinforced concrete pipe	Parcel number	(3)
CMP	Corrugated Metal Pipe	Tree	
FFE	Finished Floor Elevation	Drainage ditch	
MBSL	Minimum Building Setback Line	Property line	
Sign		Fence line	
Anchor		Overhead utilities	—OH—
EM	Electric Meter	Underground electric	—UGE—
LP	Light Pole	Water line	—W—
PP	Power Pole	Sanitary line	—SA—
CO	Clean out	Gas line	—G—
MH	Sanitary manhole	Concrete	
WM	Water meter	No Parking	

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Adjacent Hydrant Test  
FORTHCOMING

### Utility Notes

- Water and sewer service to be provided by Metro Water Services.
- Water and sewer services are schematically shown. Final water and sewer service locations will be provided during final SP process.

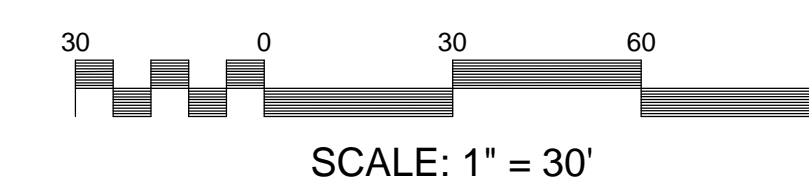
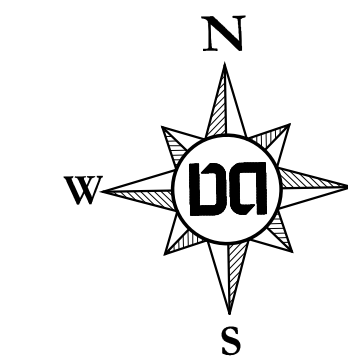
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### Stormwater Calculations

Pre-development	
Total site area	= 0.83 acres
Pre-developed impervious	= 0.76 ac @ 98
Pre-developed grass	= 0.07 ac @ 69
Composite CN	= 96
Post-development	
Total site area	= 0.83 acres
Post-developed impervious	= 0.69 ac @ 98
Post-developed green space	= 0.14 ac @ 69
Composite CN	= 93

Preliminary calculations above shows that this project will not increase the amount of runoff generated by this site. Any Water Quality Requirements will be addressed during the Final SP process.



TOTAL AREA = ± 83 Ac.  
= ± 36,155 Sq. Ft.

**Dale & Associates**  
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Land Planning & Zoning  
Architecture  
Surveying  
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**Franklin Pike Circle Hotel**  
Preliminary Specific Plan  
SP # 2016SP-006-001  
Nashville, Davidson County, Tennessee  
Map 160, Parcels 187 & 60-01

PERMITS:

D&A Project #14170  
Franklin Pike Circle  
Hotel  
**C1.0**  
Sheet 2 of 3

## Existing Conditions & Layout Plans

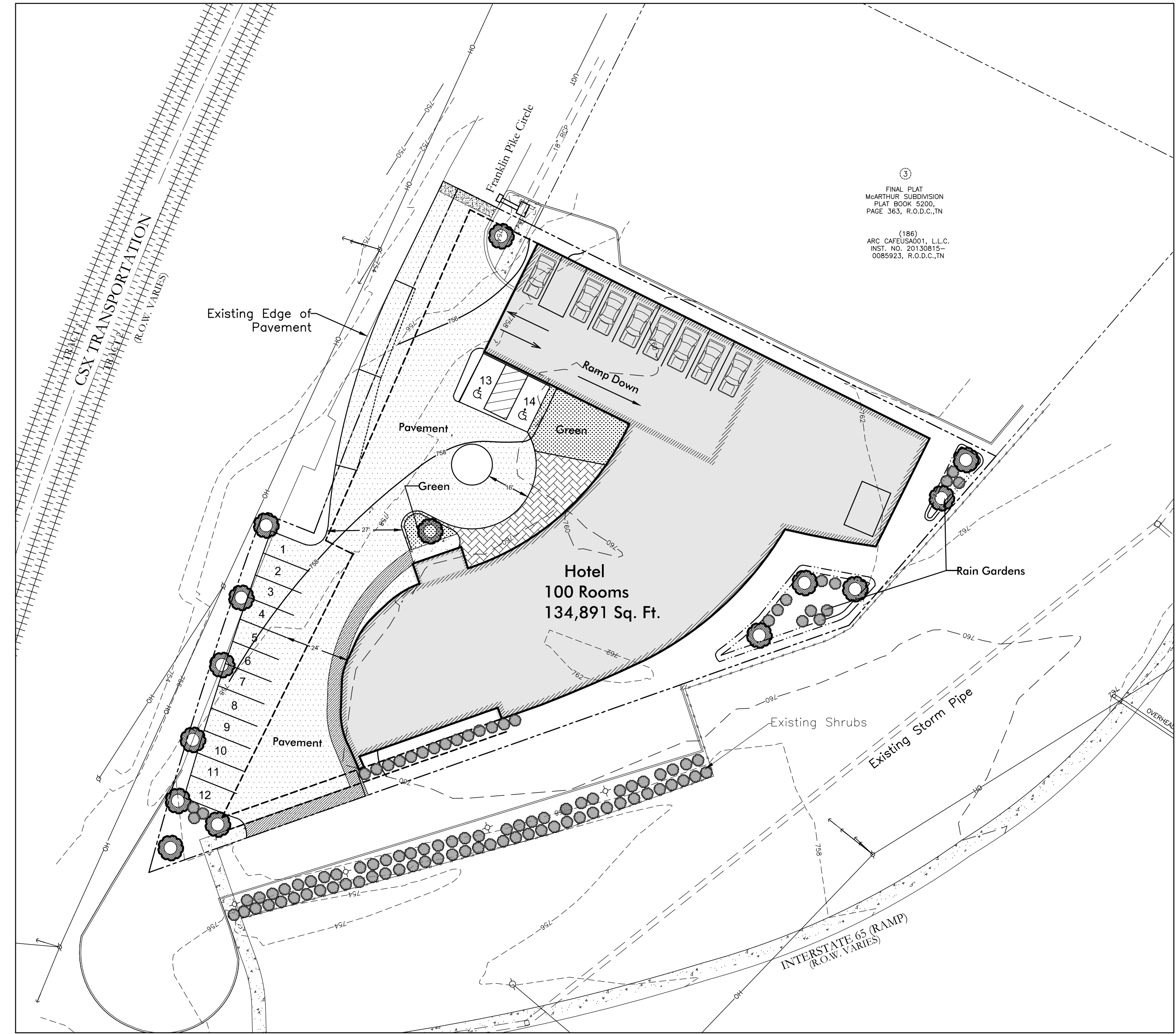
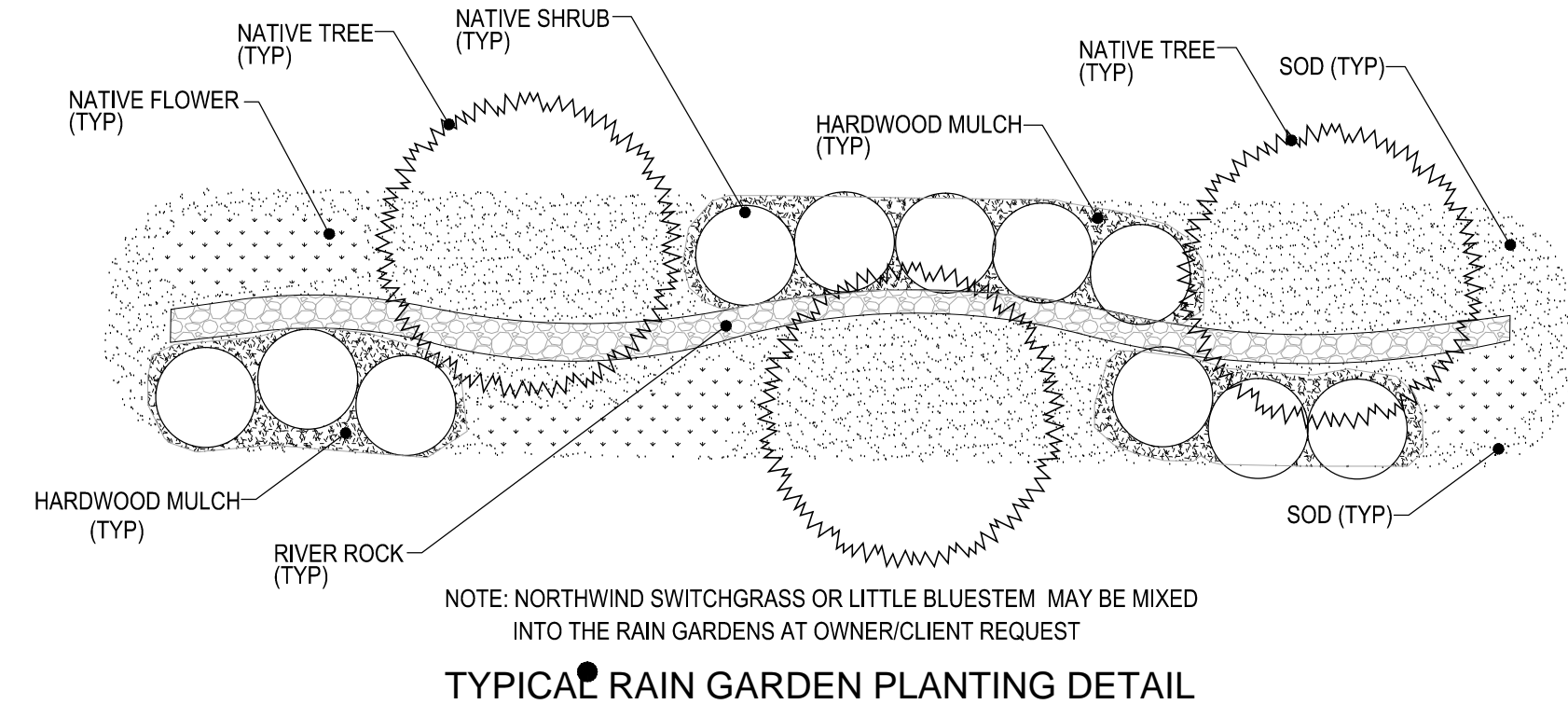


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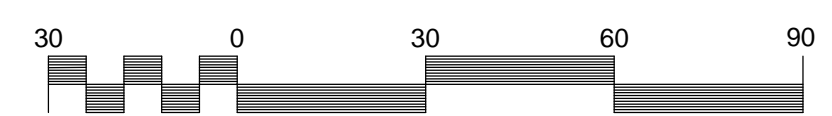
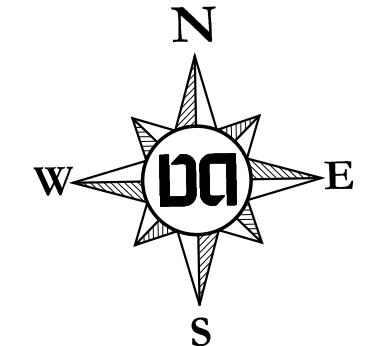
**Landscaping/Tree Density Notes**

- Metro tree density requirements will be addressed in final construction documents. At the preliminary phase of this project no tree information is available.
- 0.83 ac - 0.36 ac = 0.47 ac x 14 = 6.58 TDU's req'd  
14 @ 0.5 (2" cal tree) = 7.0 TDU's prop
- Landscaping shown to meet code requirements is in an approximate location. Exact location and species shall be determined during Final SP process.

**Stormwater Calculations**

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= ± 36,155 Sq. Ft.

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**Dale & Associates**  
Consulting Civil Engineering  
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D&A Project #14170  
Franklin Pike Circle  
Hotel

**C2.0**

Sheet 3 of 3