

# SP (SPECIFIC PLAN) PRELIMINARY DEVELOPMENT PLAN FOR ARCADIA BRENTWOOD ARCADIA COMMUNITIES, LLC

## CONTACTS

### OWNER/DEVELOPER

BRIAN DURBIN  
ARCADIA COMMUNITIES, LLC  
4360 BROWNSBORO RD. #305  
LOUISVILLE, KY 40207  
(502) 777-0821  
BRIAN.DURBIN@LUNSFORDCAPITAL.COM

### CIVIL

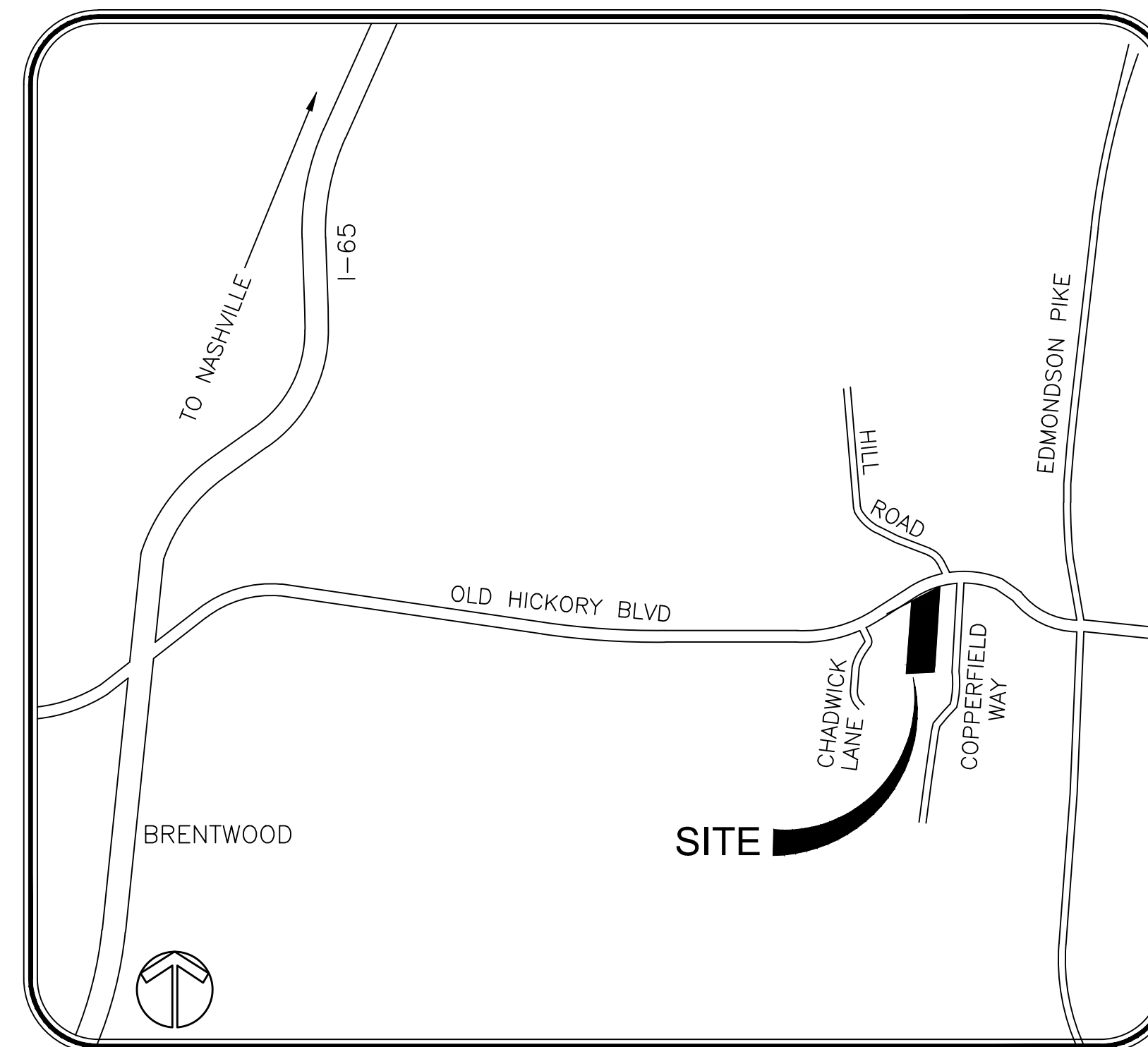
GEORGE WELCH  
RAGAN SMITH ASSOCIATES  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
GWELCH@RAGANSMITH.COM

### LANDSCAPE ARCHITECTURE

SCOTTY BERNICK  
RAGAN SMITH ASSOCIATES  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
SBERNICK@RAGANSMITH.COM

### ARCHITECTURE

MIKE MILLIGAN  
JMM ARCHITECTS, INC  
4685 LARWELL DRIVE  
COLUMBUS, OHIO 43220  
(614) 326-5565  
MIKE@JMMARCH.COM



LOCATION MAP  
NTS

## FOURTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

## INDEX OF SHEETS

### SHEET DESCRIPTION

C0.0 COVER SHEET

### CIVIL PLANS

C1.0 EXISTING CONDITIONS PLAN  
C2.0 OVERALL SITE LAYOUT  
C3.0 SITE GRADING, DRAINAGE AND UTILITIES PLAN

### LANDSCAPE ARCHITECTURAL PLANS

L1.0 LANDSCAPE PLAN  
L2.0 ELEVATIONS

### ARCHITECTURAL PLANS

5-1 BUILDING ELEVATIONS  
-- BUILDING ELEVATIONS  
-- RENDERED SITE PLAN  
-- SITE ENTRANCE FEATURE  
-- SITE PHOTOMETRIC PLAN

### PURPOSE NOTE:

The purpose of this SP is to receive preliminary approval to permit an assisted care living development (approximately 83,639 SF ± containing 66 Units).

### SPECIAL NOTE:

For any development standards, regulations, and requirements not specifically shown on the Preliminary SP Development Plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and applicable requirements of the RM15 Zoning District.

### GENERAL PLAN CONSISTENCY:

#### Land Use Policy:

The proposed development is consistent with the principles, policies, and objectives of the general plan T3-RC (T3 Suburban Residential Corridor). The proposed development adds housing diversity compatible with the general character of the suburban neighborhood and future development of this corridor.

#### Community Plan Compliance:

The Assisted Living building is located on site to preserve existing environmental and landscape features. The building form provides a moderate density and height that fits in with development along Old Hickory Blvd and the adjacent residential land uses. The development will provide formal landscaping with trees to frame parking areas and internal streets and shrubs to screen automobile, ground utilities, and trash enclosures from public streets. Lighting will be provided throughout the development to provide safety at buildings and vehicular and pedestrian areas while enhancing the character of the center.

#### General Characteristics:

"A variety of residential and institutional buildings combined with open space frame the corridor. Setbacks may be deeper to avoid environmentally sensitive features and to preserve existing natural landscaping along the corridor."

RESPONSE: The proposed development adds variety to the residential uses needed by the community. The building setback from Old Hickory Blvd is consistent with other developments along this corridor in efforts to preserve environmental features. A significant amount of open space is being preserved to be environmentally sensitive and maintain the aesthetic value of the property.

#### Application:

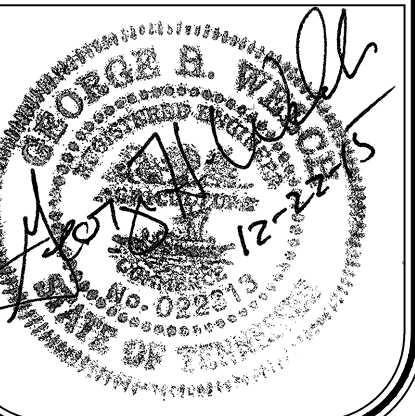
"T3 Suburban Residential Corridor Policy is applied to prominent suburban arterial-boulevard and collector-avenue street corridors with adequate transportation capacity where there is an expressed interest in maintaining the residential use or creating residential uses along the corridor while providing opportunity for an evolving development pattern in regard to the size, scale, and density."

RESPONSE: The proposed development sits along an arterial street corridor and would maintain a residential building consistent with this policy. Building size, scale, and density have evolved along this corridor from West to East. The proposed building height is consistent with the allowed building height of the current R40 zoning that's in place today. The proposed use only allows 66 units which maintains a low/medium density. Site access is proposed at Old Hickory Blvd. Data from the Institute of Transportation Engineers (ITE) shows that the proposed use and density would have a very low impact on Old Hickory Blvd traffic.

#### Design Principles (Building Form and Site Design):

"The building mass, orientation, and placement are appropriate to the building type and street type/size and are designed to be cohesive throughout the development providing a thorough mix of housing types versus groupings of single types of housing. Residential development on the T3 Suburban Residential Corridor is located to preserve the existing environmental features and land form to frame the corridor."

RESPONSE: The building mass, orientation, and placement is appropriate along Old Hickory Blvd., an arterial street corridor. The proposed residential use offers a housing type that adds to the mix of options in this community. Existing environmental features and land form are being protected to help frame the corridor. The building transitions in height from north to south, with 3 stories facing along Old Hickory Blvd and only 2 stories being exposed to the rear of the site. The building mass was carefully designed from east to west so that the building depth varies in form to break up the building plane and avoid one mass parallel to the property line.



**ARCADIA BRENTWOOD**  
 FOR  
**ARCADIA COMMUNITIES, LLC**  
 FOURTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

JOB NO. <b>14183</b>	WK. ORDER <b>0135</b>	DESIGNED: <b>K. JACOBSON</b>	REV. 1/27/22/15 (KJ) PER. CITY COMMENTS	REV. 1/27/22/15 (KJ) PER. CITY COMMENTS
DRAWN: <b>K. JACOBSON</b>		SCALE: <b>AS SHOWN</b>		DATE: <b>OCTOBER 28, 2015</b>

COVER SHEET  
**C0.0**



FOR  
**ARCADIA BRENTWOOD**  
**ARCADIA COMMUNITIES, LLC**  
 FORTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	0135	REVISIONS
JOB NO.	14183	DESIGNED: K. JACOBSON
SCALE:	1"=40'	DRAWN: K. JACOBSON
DATE:	OCTOBER 28, 2015	SCALE:
<b>EXISTING CONDITIONS</b>		
<b>C1.0</b>		

**SOIL TYPES**

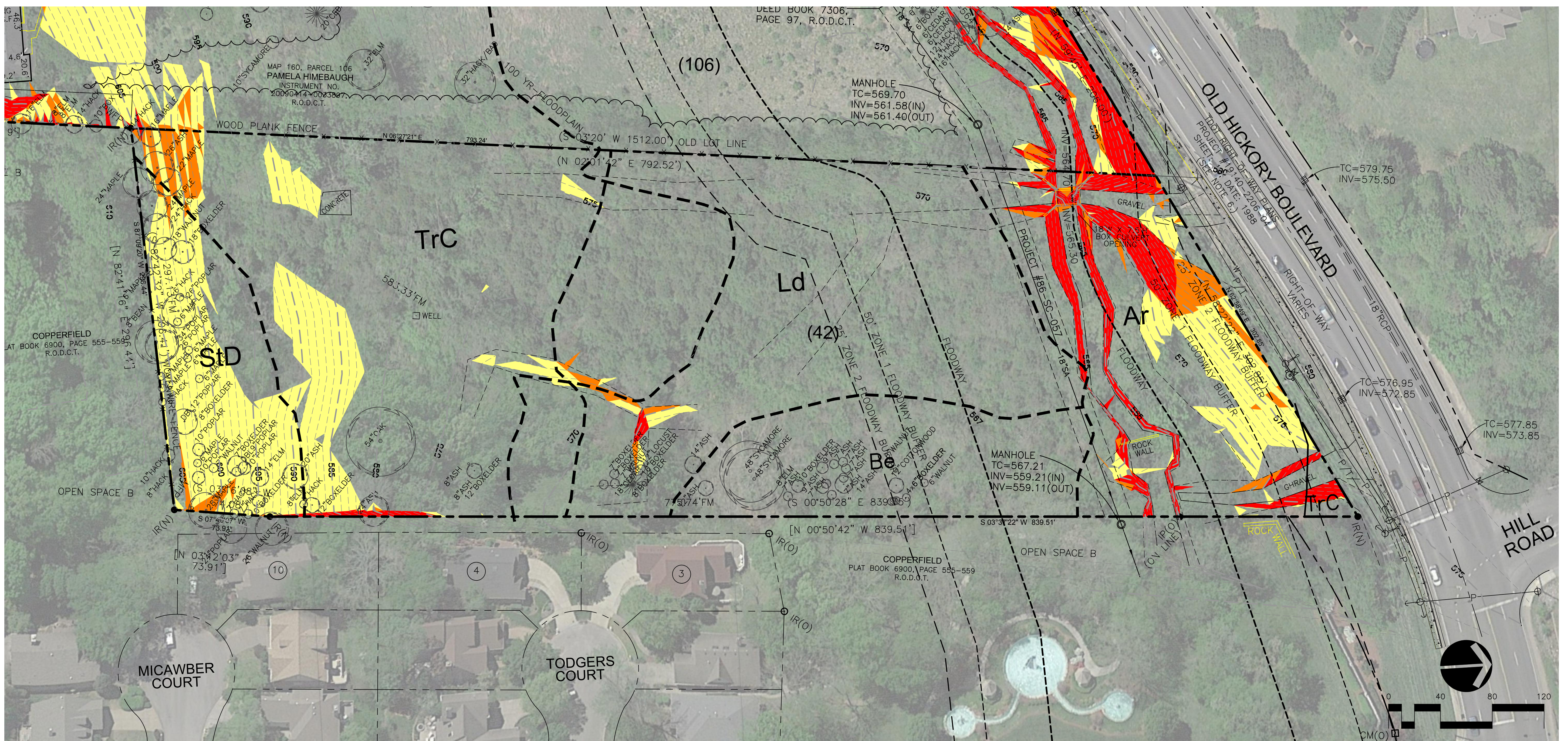
MAP UNIT SYMBOL	MAP UNIT NAME
Ar	ARRINGTON SILT LOAM, 0 TO 2 PERCENT SLOPE, OCCASIONALLY FLOODED
Be	BEASON SILT LOAM
Ld	LINDELL SILT LOAM, 0 TO 2 PERCENT SLOPE, OCCASIONALLY FLOODED
StD	STIVERSVILLE LOAM, 12 TO 25 PERCENT SLOPES
TrC	TALBOOT-ROCK OUTCROP COMPLEX, 5 TO 15 PERCENT SLOPES

- 25% > SLOPES
- 20% - 24.9% > SLOPES
- 15 - 19.9% SLOPES

**LEGEND**

○(O)	IRON ROD (OLD)	○	UTILITY POLE
●(N)	IRON ROD (NEW) (5/8" x 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	○→	UTILITY POLE W/ ANCHOR
⊗	WATER VALVE	○	GAS VALVE
⊕	WATER METER	⊗	GAS METER
⊙	SANITARY SEWER MANHOLE	⊞	TELEPHONE RISER
○∞	SEWER CLEAN-OUT	⊞	CABLE TV BOX
⊞	ELECTRIC BOX	—P—	OVERHEAD ELECTRIC POWER LINE
⊞	TRANSFORMER PAD	—T—	OVERHEAD TELEPHONE LINE
—	SIGN	—P&T—	OVERHEAD POWER AND TELEPHONE LINES
R.O.D.C.T.	REGISTER'S OFFICE FOR DAVIDSON COUNTY, TN	—S—	SANITARY SEWER LINE
—	GUARDRAIL	—G—	GAS LINE
M.B.S.L.	MINIMUM BUILDING SETBACK LINE	—W—	WATER LINE
P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT	—X—X—	FENCE
⊞	CONCRETE SURFACE	—RCP—	REINFORCED CONCRETE PIPE
		—CMP—	CORRUGATED METAL PIPE
		—	ASPHALT SURFACE

**EXISTING STRUCTURES NOTE:**  
 ALL EXISTING STRUCTURES TO BE REMOVED FROM SITE.



**PROPERTY INFORMATION:**

SITE APPLICATION NUMBER: 04  
 COUNCIL DISTRICT NUMBER: ARCADIA BRENTWOOD  
 DISTRICT COUNCIL MEMBER: ROY S. JONES  
 SP NAME: VACANT  
 EX. BUILDING S.F. / USE: 161  
 TAX MAP: 42  
 PARCELS: 5.44 AC  
 PARCELS ACREAGE: 511 OLD HICKORY BLVD.  
 STREET ADDRESS:

**DEVELOPER:**

BRIAN DURBIN  
 ARCADIA COMMUNITIES, LLC  
 4360 BROWNSBORO RD. #305  
 LOUISVILLE, KY 40207  
 (502) 357-7030

**PROJECT ENGINEER:**

GEORGE WELCH  
 RAGAN SMITH ASSOCIATES, INC.  
 315 WOODLAND STREET  
 NASHVILLE, TN 37206  
 (615) 244-6591

**ZONING INFORMATION:**

ZONING CLASSIFICATION: R40  
 LAND USE POLICY: SOUTHEAST T3 RC SUBURBAN RESIDENTIAL CORRIDOR  
 PROPOSED ZONING: SP

**SURVEY INFORMATION:**

BOUNDARY INFORMATION AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY PREPARED BY RAGAN SMITH ASSOCIATES ON JULY 8, 2015.

**FLOOD INFORMATION:**

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON THE PRELIMINARY FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0342F AND 47037C0381F (PRELIMINARY STUDY 47037C0101 & 47037C0102), WITH A PRELIMINARY DATE OF NOVEMBER 22, 2013, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 470040, PANEL NO. 0361, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.

FLOOD PLAIN LINE SHOWN HERE IS TAKEN FROM THE PRELIMINARY FLOOD INSURANCE STUDY NO. 47037C0101C DATED NOVEMBER 22, 2013.

**GEOTECHNICAL INFORMATION:**

NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

**PROPOSED USES:**

ASSISTED-CARE LIVING

**BULK STANDARDS**

PROPOSED ACREAGE: 5.44 +/- AC  
 MINIMUM BUILDING SETBACKS (MBSL):  
 FRONT (OLD HICKORY BLVD): 40'  
 SIDE: 10'  
 REAR: 20'  
 3 STORIES (SEE ARCH PLANS)  
 MAXIMUM BUILDING HEIGHT: 30' WITH 2:1 V TO H (MEASURED FROM F.F.E.)  
 MAXIMUM FAR: .50  
 PROPOSED FAR: .32 (SEE GENERAL NOTE 16)  
 MAXIMUM ISR: .70  
 PROPOSED ISR: .37 (NOT TO EXCEED MAX ALLOWED)  
 MINIMUM LOT AREA: 10,000  
 MAXIMUM BUILDING COVERAGE: 66  
 MAXIMUM PROPOSED UNITS: 12.13 UNITS/AC  
 PROPOSED DENSITY: 23 SPACES  
 PARKING PROVIDED: 53 SPACES

**PARKING**

PARKING REQUIRED: AS APPLICABLE PER LAND USE, SET FORTH IN METRO ZONING CODE TABLE 17.20.030. BICYCLE PARKING REQUIREMENTS PER METRO CODE 17.20.  
 PARKING SCREENING: PARKING SHALL BE SCREENED PER HEIGHT AND MATERIAL REQUIREMENTS SET FORTH BY METRO CODE 17.24.150.

**INTERNAL SIDEWALKS**

ALL INTERNAL SIDEWALKS SHALL BE A MINIMUM OF 5 FEET. SIDEWALK CONNECTIONS SHALL BE MADE TO OLD HICKORY BOULEVARD.

**ANTICIPATED DEVELOPMENT SCHEDULE:**

START DATE: SUMMER 2016  
 FINISH DATE: WINTER 2017

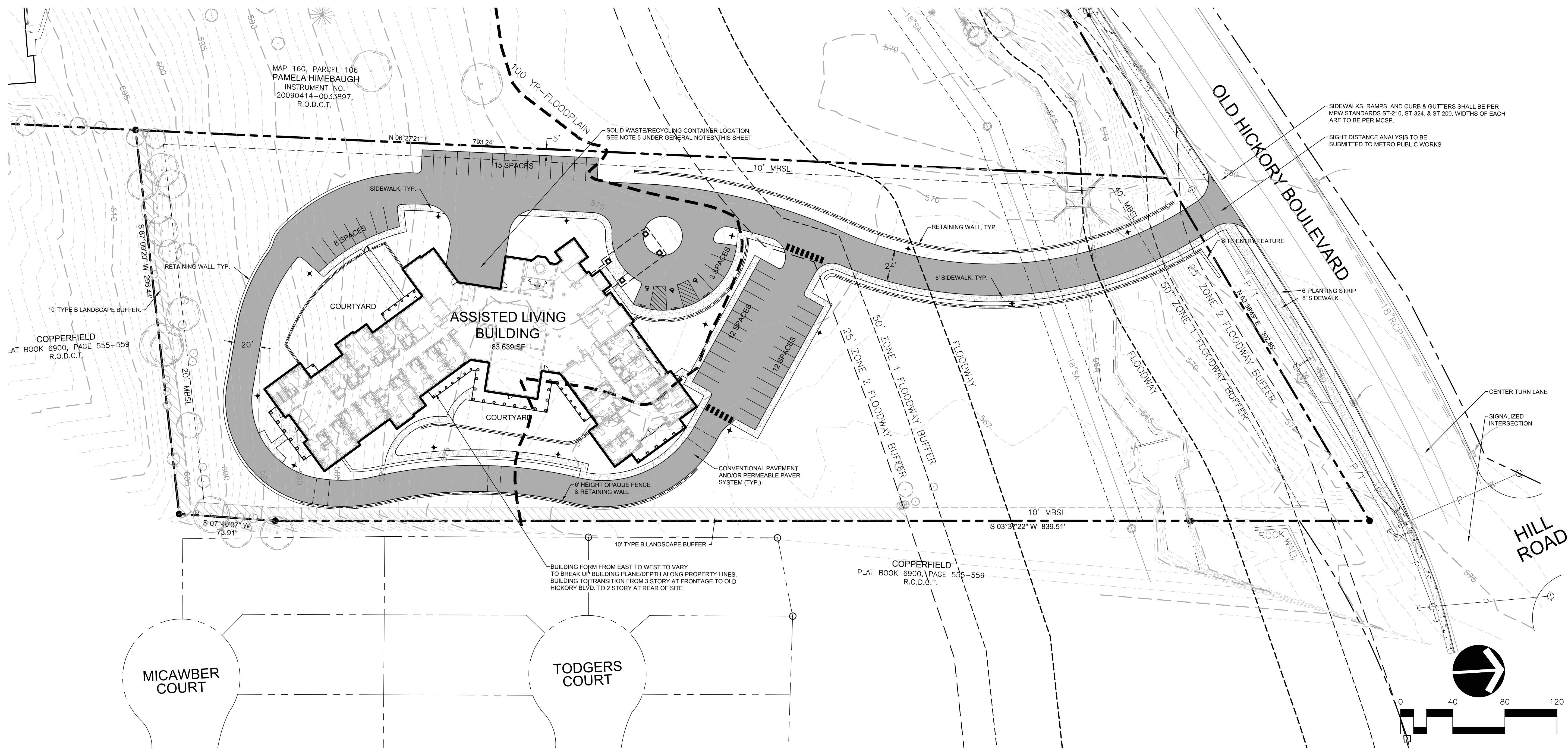
THE PROPOSED DEVELOPMENT SHALL BE CONSTRUCTED IN ONE PHASE.

**GENERAL NOTES:**

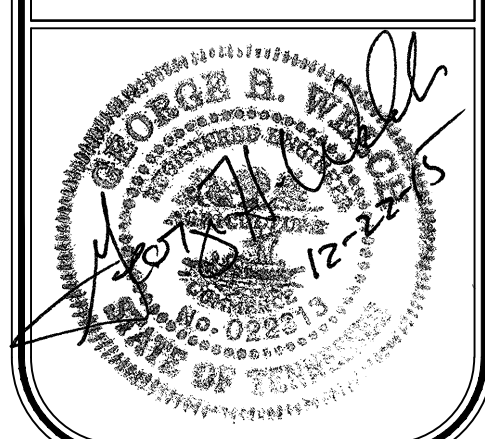
- PROPOSED ROADWAYS AND SERVICE LANES WITHIN THIS PROJECT'S PROPERTY BOUNDARIES ARE PRIVATE.
- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- SCREENING FOR DUMPSTERS AND OTHER TRASH RECEPTACLES SHALL COMPLY WITH THE PROVISIONS OF SECTION 17.24.060 OF THE METRO ZONING CODE.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78840 AND APPROVED BY THE METROPOLITAN DEPT. OF WATER SERVICES.
- THIS DRAWING IS INTENDED TO SHOW THE BASIC PREMISE OF THE DEVELOPMENT. MINOR MODIFICATIONS ARE ANTICIPATED AT FINAL SP SITE PLAN LEVEL WHEN CONSTRUCTION DRAWINGS ARE DEVELOPED. MINOR MODIFICATIONS TO THIS PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE PERMITTED, EXCEPT THROUGH AN ORDINANCE APPROVED BY METRO COUNCIL THAT INCREASE THE PERMITTED DENSITY OR FLOOR AREA, ADD USES NOT OTHERWISE PERMITTED, ELIMINATE SPECIFIC CONDITIONS OR REQUIREMENTS CONTAINED IN THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDINANCE, OR ADD VEHICULAR ACCESS POINTS NOT CURRENTLY PRESENT OR APPROVED.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - B105.1.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN SHALL MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT.  
 ADA: <http://www.ada.gov> U.S. JUSTICE DEPT.: [http://www.justice.gov/ortoffice/fairhousing/about\\_fairhousing.html](http://www.justice.gov/ortoffice/fairhousing/about_fairhousing.html)
- BILLBOARDS SHALL NOT BE PERMITTED
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- BUILDING SQUARE FOOTAGE IS APPROXIMATE AND MAY SLIGHTLY VARY AS PLANS ARE DEVELOPED FOR FINAL SP. BUILDING SQUARE FOOTAGE SHALL NOT EXCEED MAX F.A.R. ALLOWED WITH THIS SP.

**PUBLIC WORKS NOTES:**

- ALL WORK IN THE PUBLIC R.O.W. REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL ROADWAY, DRIVEWAY, SIDEWALK, ALLEY AND CURB CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF METRO PUBLIC WORKS AND SHALL BE REVIEWED BY THE MPW TRAFFIC ENGINEER.
- A SIGHT DISTANCE ANALYSIS SHALL BE SUBMITTED TO METRO PUBLIC WORKS. IMPROVEMENTS WILL BE IN ACCORDANCE WITH THE ANALYSIS FINDINGS AND CONDITIONS.
- HANDICAP RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12.



**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 CHATTANOOGA  
 100 BROWN BOWEN STREET  
 NASHVILLE, TN 37203  
 (615) 244-6591  
 www.ragan-smith.com



FOR  
**ARCADIA BRENTWOOD**  
**ARCADIA COMMUNITIES, LLC**  
 FOURTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	0135
DESIGNED:	BERNICK
DRAWN:	JACOBSON
SCALE:	1"=40'
DATE:	OCTOBER 28, 2015

REVISIONS

JOB NO.	14183
PER. CITY COMMENTS	
PER. CITY COMMENTS	

OVERALL SITE LAYOUT

**C2.0**

METRO CASE # 2015SP-109-001

DATE PLOTTED: 10/28/15 10:00 AM  
 PLOTTED BY: P. JACOBSON  
 LAST UPDATED BY: P. JACOBSON  
 DATE: 10/28/15 10:00 AM

**WATER QUALITY/QUANTITY NOTES:**

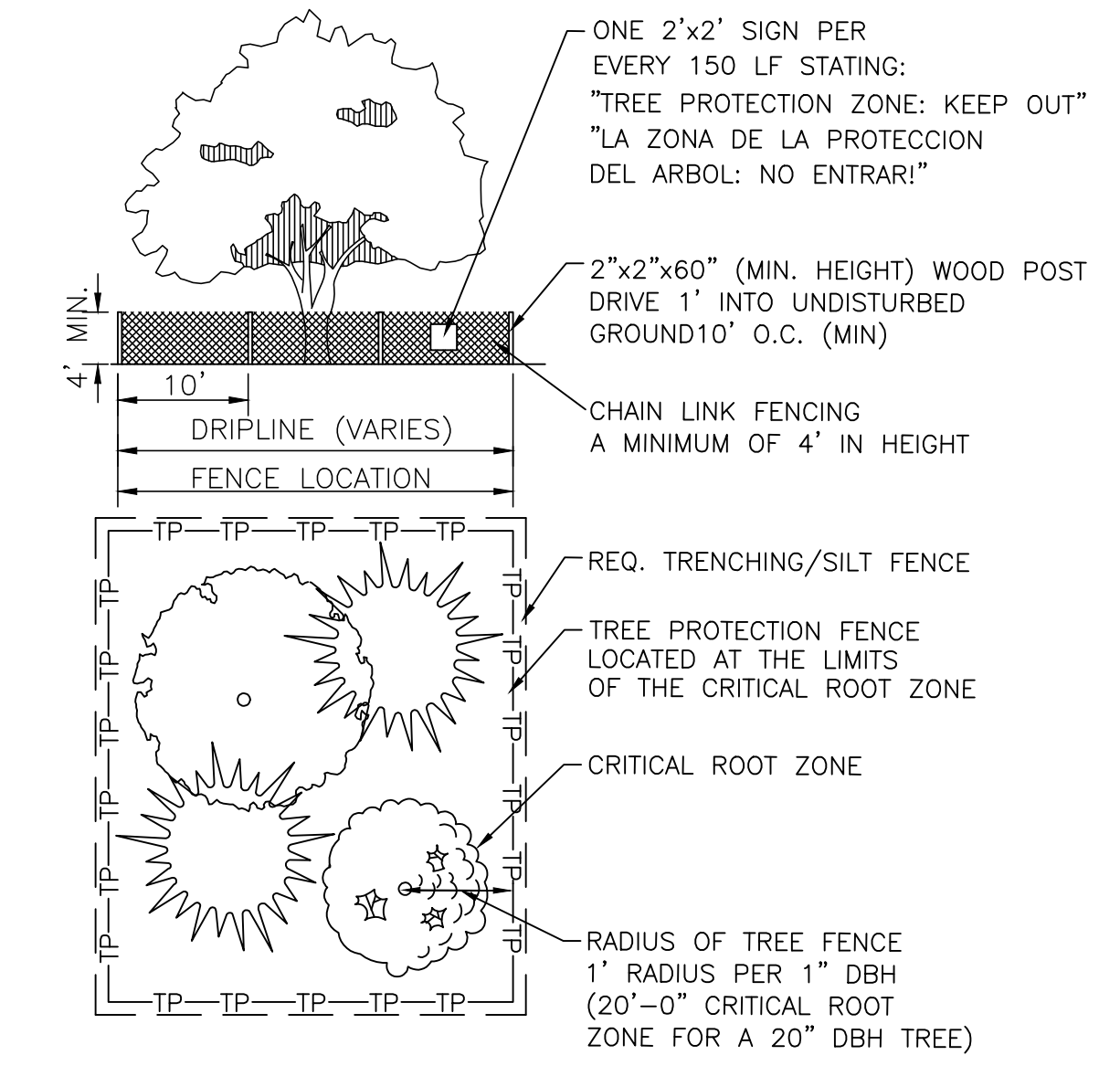
- METRO STORMWATER WATER QUANTITY/QUALITY REQUIREMENTS SHALL BE MET VIA ONE OR MORE OF THE FOLLOWING OPTIONS: PERMEABLE PAVEMENT/UNDERGROUND DETENTION, WATER QUALITY PONDS, WET DETENTION PONDS, BIO-RETENTION, VEGETATED SWALES, ETC.
- FINAL SP DEVELOPMENT PLANS SHALL PROVIDE CALCULATIONS AND PLANS FOR ANY ON/ OFF-SITE STORMWATER AREAS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.

**GENERAL NOTES:**

- LOT IS TO BE SERVED WITH PUBLIC WATER AND SANITARY SEWER.
- SITE, OPEN SPACES, WATER QUALITY & DETENTION FACILITIES TO BE MAINTAINED BY PROPERTY OWNER OR PROPERTY OWNER'S ASSOCIATION.
- STORM WATER WILL BE ROUTED THROUGH A STORMWATER QUALITY MANAGEMENT SYSTEM, SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL.
- ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78/840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.
- PRELIMINARY DRAWING NOTE - THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.
- FIRE DEPT. NOTE: FIRE-FLOW SHALL MEET THE REQUIREMENTS OF THE INTERNATIONAL FIRE CODE - 2006 EDITION - 8105.1.
- THE DEVELOPER'S FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED ON FIELD CONDITIONS.
- ALL WORK IN THE PUBLIC RIGHT-OF-WAY REQUIRES A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS.
- ACCESS NOTE: METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.
- DRIVEWAY CULVERTS SHALL BE SIZED PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANAGEMENT MANUAL (MIN 15" CMP).
- PROPOSED UTILITY METERS WILL BE LOCATED OUTSIDE THE PUBLIC R.O.W. NES FOLLOWS THE NATIONAL FIRE PROTECTION ASSOCIATION RULES; REFER TO NFPA 70 ARTICLE 450-27; AND NESC SECTION 15 - 152.A.2 FOR COMPLETE RULES (SEE NES CONSTRUCTION GUIDELINES UNDER "BUILDERS AND CONTRACTORS" TAB @ www.nespower.com).

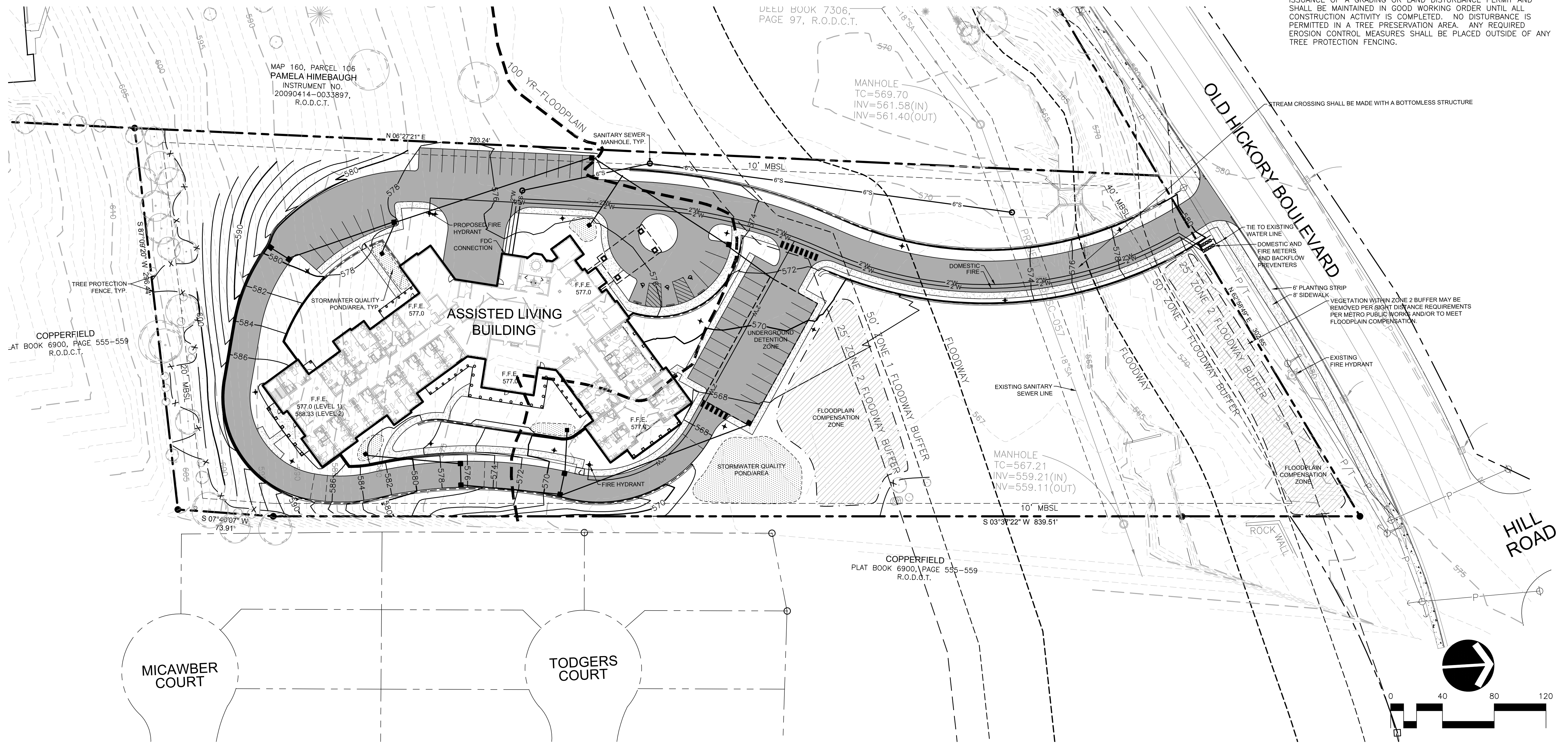
**STORMWATER NOTE:**

WATER QUANTITY/QUALITY REQUIREMENTS TO BE MET WITH PERVIOUS PAVEMENT/UNDERGROUND DETENTION AND/OR WET DETENTION/WATER QUALITY.

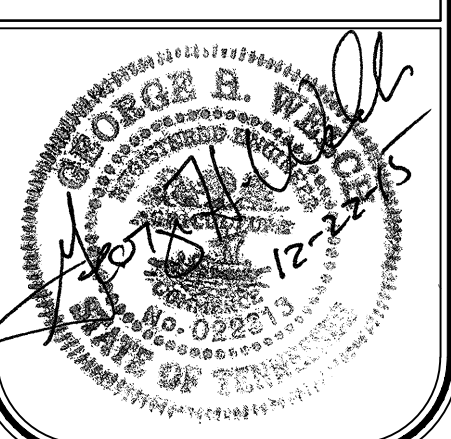


**TREE PROTECTION**  
NOT TO SCALE

NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.



**RAGAN SMITH**  
LANDSCAPE ARCHITECTS • SURVEYORS  
CHATTANOOGA  
100 SOUTH MAIN STREET  
NASHVILLE, TN 37203  
TEL: 615.244.8561  
FAX: 615.244.8561  
www.ragan-smith.com

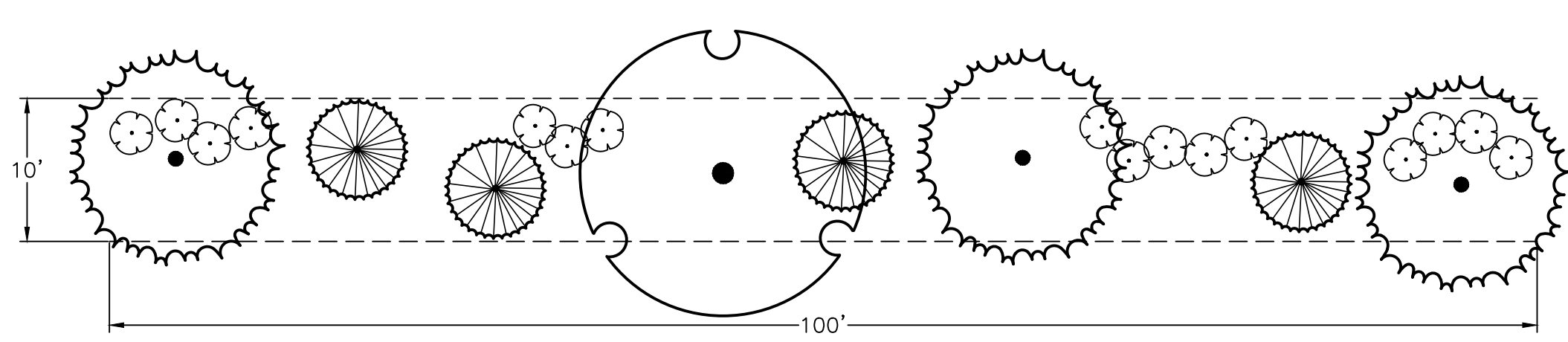


FOR  
**ARCADIA BRENTWOOD**  
**ARCADIA COMMUNITIES, LLC**  
FOURTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

WK. ORDER	0135
DESIGNED:	FORTE
DRAWN:	JACOBSON
SCALE:	1"=40'
DATE:	OCTOBER 28, 2015

**SITE GRADING,  
DRAINAGE AND  
UTILITIES**

**C3.0**



**TYPE B LANDSCAPE BUFFER**

[PER 100 LINEAR FEET]  
 4 CANOPY TREES  
 4 UNDERSTORY TREES  
 16 SHRUBS

**CANOPY TREES**

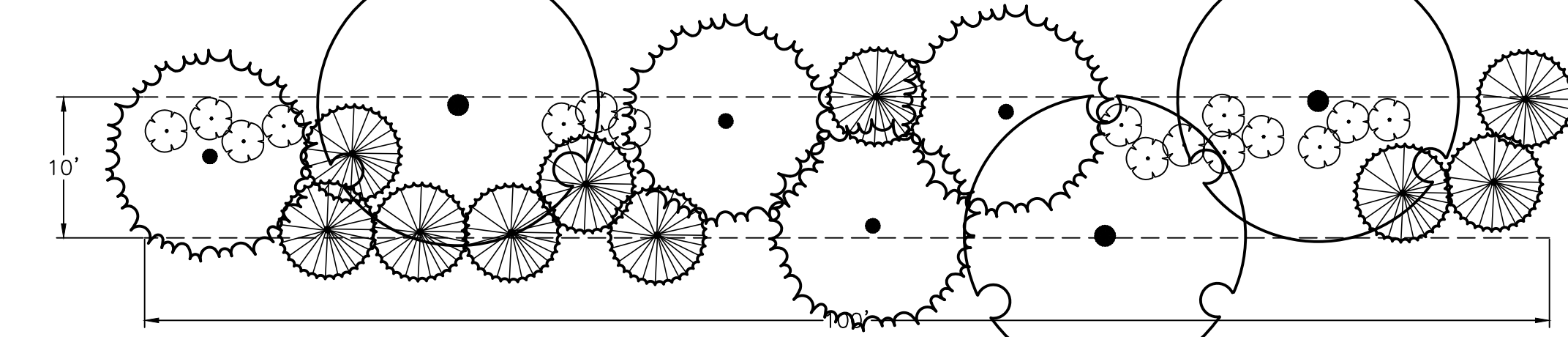
WILLOW OAK  
 RED OAK  
 BALD CYPRESS  
 SOUTHERN MAGNOLIA  
 CRYPTOMERIA  
 RED PINE  
 LEYLAND CYPRESS  
 EASTERN RED CEDAR  
 RED MAPLE  
 JUNIPER  
 SWEETGUM  
 TULIP

**UNDERSTORY TREES**

REDBUD  
 ARBORVITAE  
 AMERICAN HOLLY  
 NELLIE R STEVENS HOLLY  
 LIL GEM MAGNOLIA  
 HAWTHORNE  
 DOGWOOD

**SHRUBS**

VIBURNUM  
 HYDRANGEA  
 HOLLY  
 JUNIPER  
 FORSYTHIA



**ENHANCED LANDSCAPE BUFFER**

[PER 100 LINEAR FEET]  
 7 CANOPY TREES  
 10 UNDERSTORY TREES  
 16 SHRUBS

6' HT. OPAQUE FENCE AS SHOWN ON LAYOUT PLAN

**CANOPY TREES**

WILLOW OAK  
 RED OAK  
 BALD CYPRESS  
 SOUTHERN MAGNOLIA  
 CRYPTOMERIA  
 RED PINE  
 LEYLAND CYPRESS  
 EASTERN RED CEDAR  
 RED MAPLE  
 JUNIPER  
 SWEETGUM  
 TULIP

**UNDERSTORY TREES**

REDBUD  
 ARBORVITAE  
 AMERICAN HOLLY  
 NELLIE R STEVENS HOLLY  
 LIL GEM MAGNOLIA  
 HAWTHORNE  
 DOGWOOD

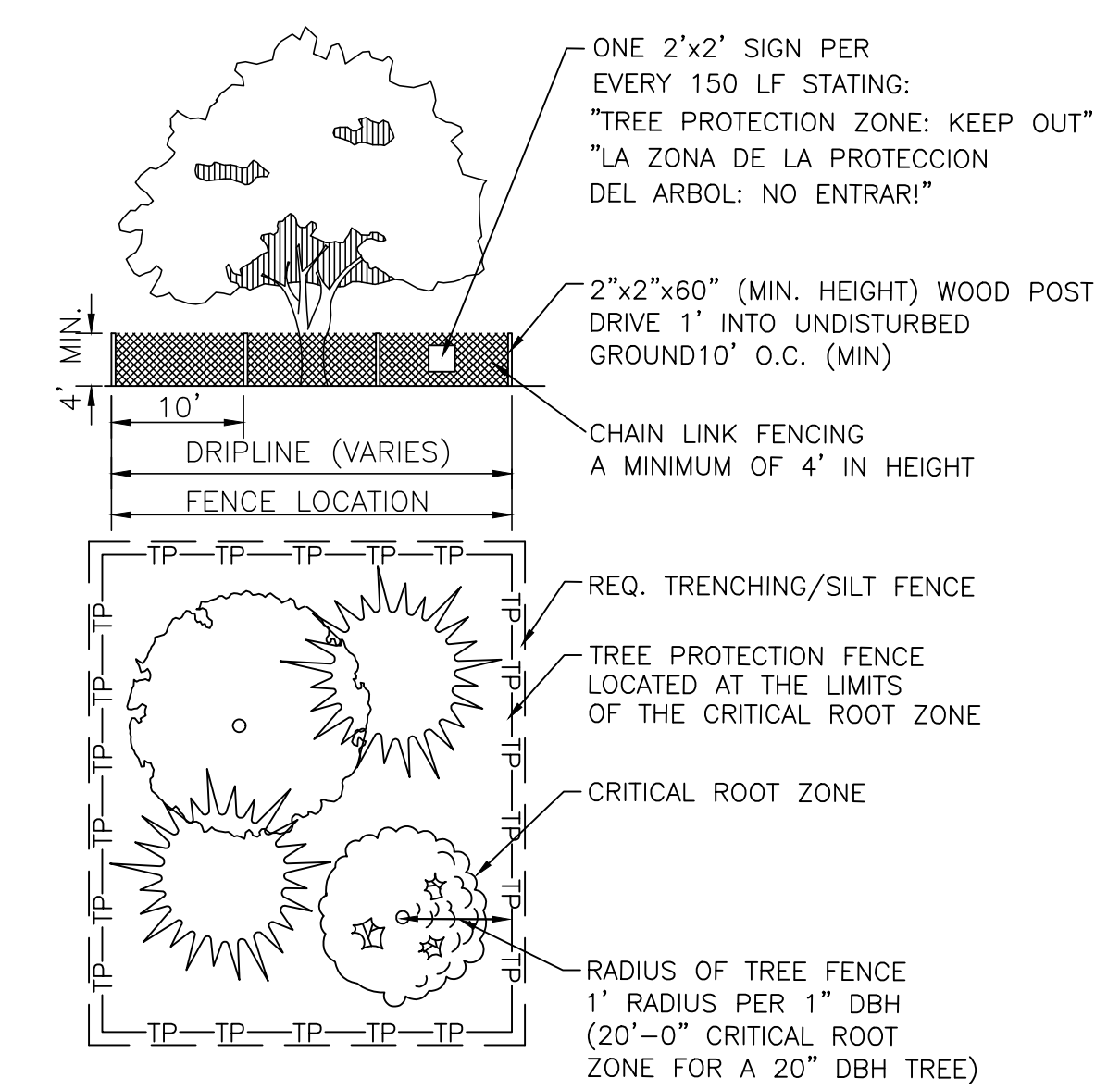
**SHRUBS**

VIBURNUM  
 HYDRANGEA  
 HOLLY  
 JUNIPER  
 FORSYTHIA



**BUFFER ELEVATION**

scale: 1"=20'



ONE 2'x2' SIGN PER EVERY 150 LF STATING: "TREE PROTECTION ZONE: KEEP OUT" "LA ZONA DE LA PROTECCION DEL ARBOL: NO ENTRAR!"

2'x2'x60" (MIN. HEIGHT) WOOD POST DRIVE 1' INTO UNDISTURBED GROUND 10' O.C. (MIN)

CHAIN LINK FENCING A MINIMUM OF 4' IN HEIGHT

DRIPLINE (VARIES)

FENCE LOCATION

REQ. TRENCHING/SILT FENCE

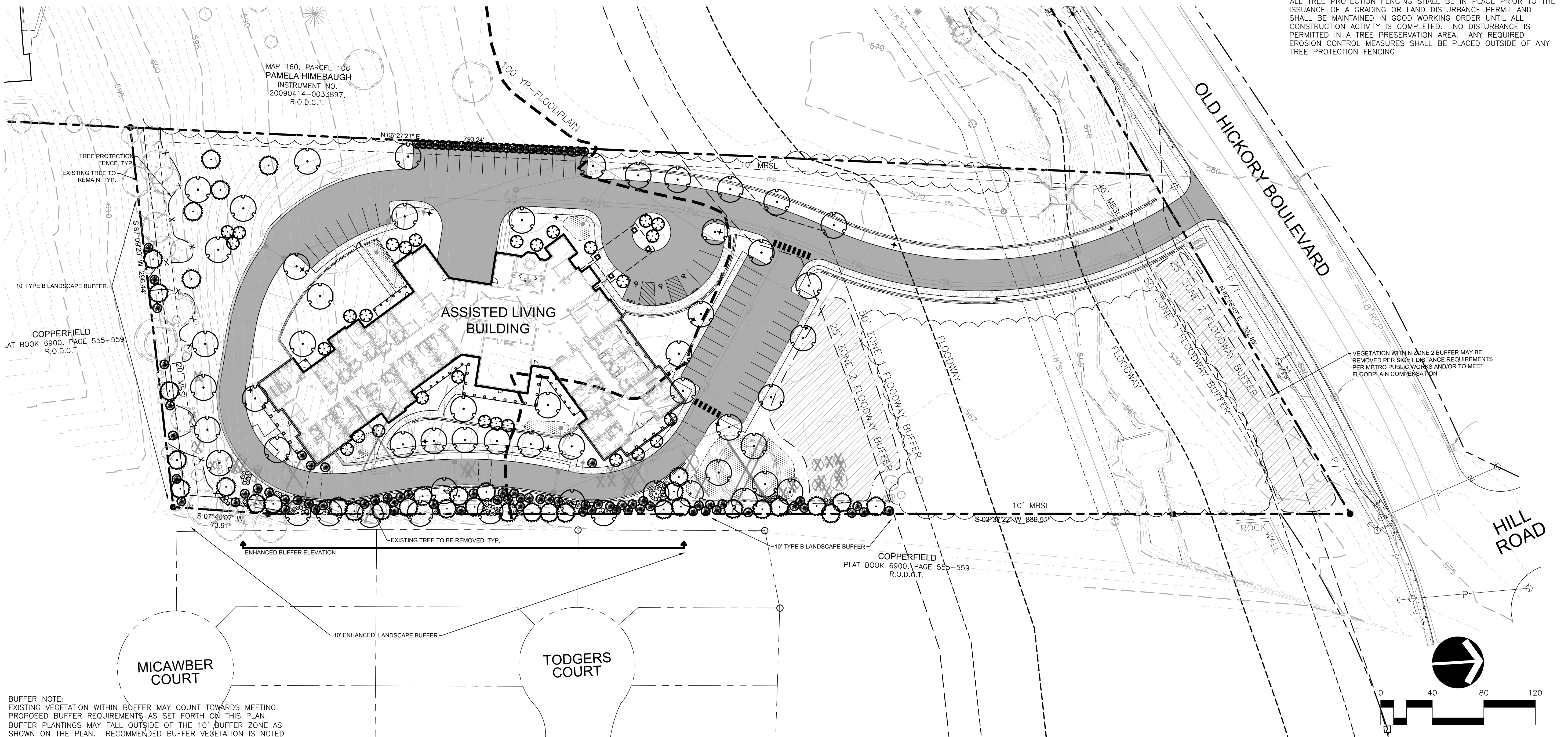
TREE PROTECTION FENCE LOCATED AT THE LIMITS OF THE CRITICAL ROOT ZONE

CRITICAL ROOT ZONE

RADIUS OF TREE FENCE 1" RADIUS PER 1" DBH (20'-0" CRITICAL ROOT ZONE FOR A 20" DBH TREE)

NOT TO SCALE

NOTE: ALL TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING OR LAND DISTURBANCE PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. NO DISTURBANCE IS PERMITTED IN A TREE PRESERVATION AREA. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.



MAP 160, PARCEL 106  
 PAMELA HIMEBAUGH  
 INSTRUMENT NO.  
 20090414-0033897,  
 R.O.D.C.T.

COPPERFIELD  
 AT BOOK 6900, PAGE 555-559  
 R.O.D.C.T.

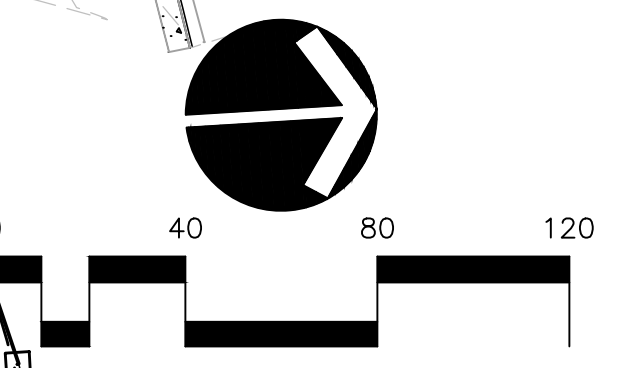
COPPERFIELD  
 PLAT BOOK 6900, PAGE 555-559  
 R.O.D.C.T.

VEGETATION WITHIN ZONE 2 BUFFER MAY BE REMOVED PER SIGHT DISTANCE REQUIREMENTS PER METRO PUBLIC WORKS AND/OR TO MEET FLOODPLAIN COMPENSATION.

MICAWBER COURT

TODGERS COURT

**BUFFER NOTE:**  
 EXISTING VEGETATION WITHIN BUFFER MAY COUNT TOWARDS MEETING PROPOSED BUFFER REQUIREMENTS AS SET FORTH ON THIS PLAN. BUFFER PLANTINGS MAY FALL OUTSIDE OF THE 10' BUFFER ZONE AS SHOWN ON THE PLAN. RECOMMENDED BUFFER VEGETATION IS SHOWN ON PLAN, HOWEVER, COMPARABLE SPECIES SUBSTITUTIONS ARE ALLOWED AS APPROVED BY THE URBAN FORESTER.



METRO CASE # 2015SP-109-001

**RAGAN SMITH**  
 CHATTANOOGA  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 NASHVILLE  
 P.O. BOX 6000  
 1100 BENTLEY STREET  
 CHATTANOOGA, TN 37402  
 (615) 244-5561  
 www.ragan-smith.com

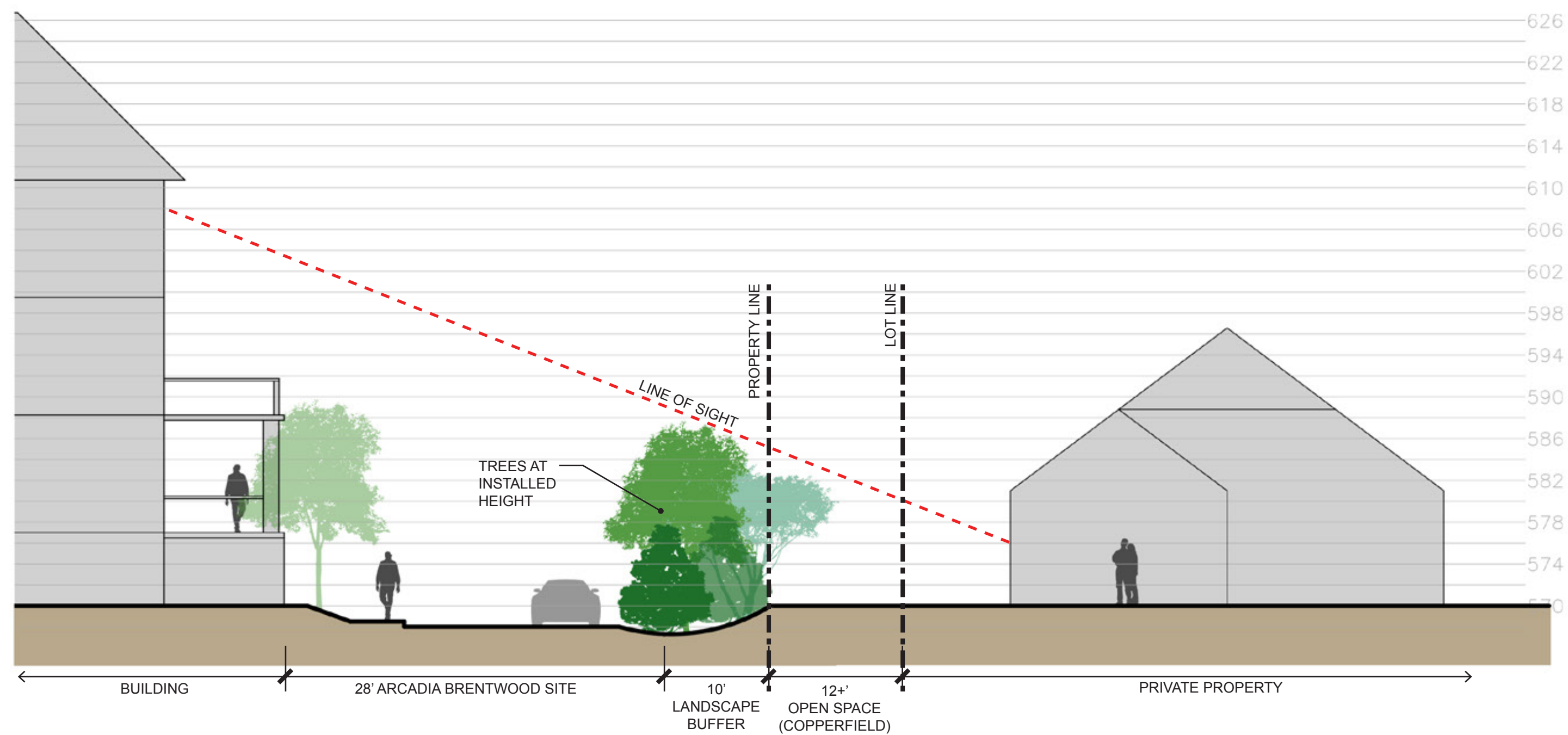


FOR  
**ARCADIA BRENTWOOD**  
**ARCADIA COMMUNITIES, LLC**  
 FOURTH COUNCIL DISTRICT, NASHVILLE, DAVIDSON COUNTY, TENNESSEE

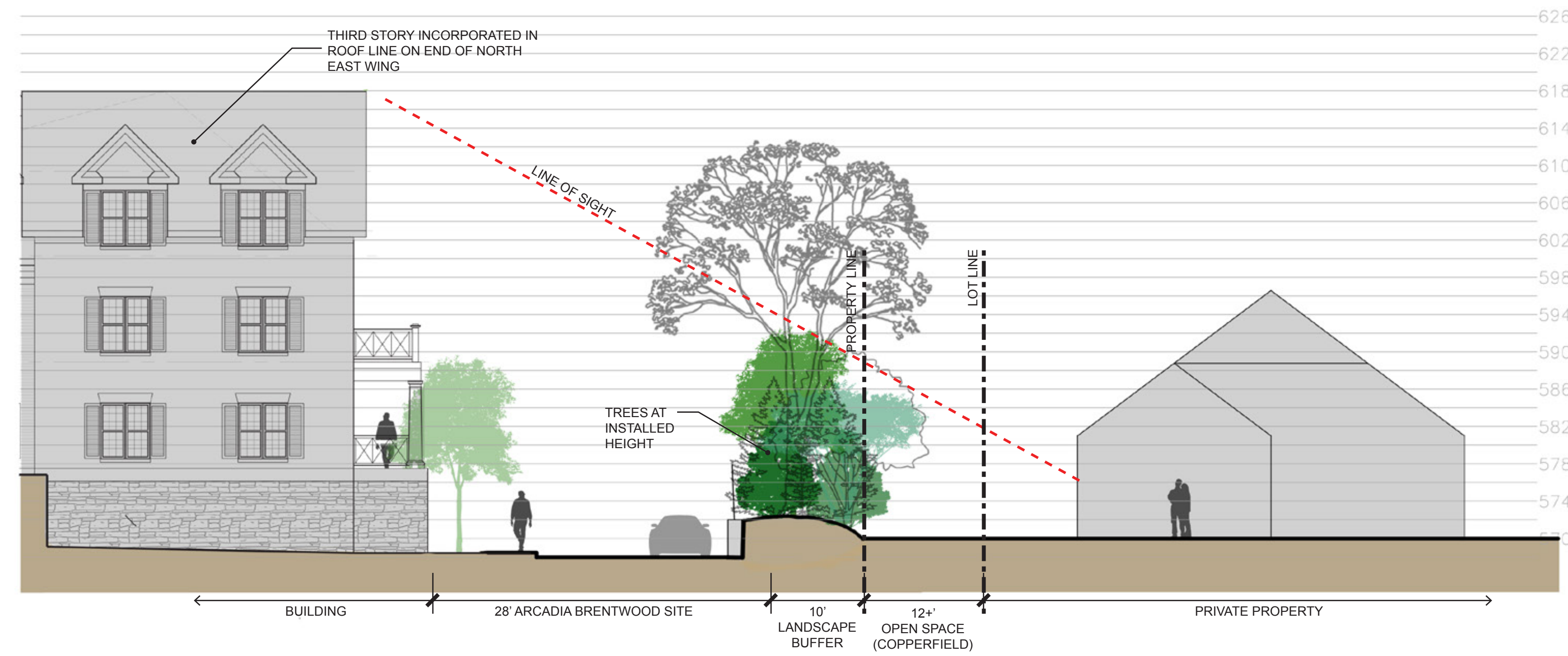
WK. ORDER	0135
DESIGNED:	JACOBSON
DRAWN:	JACOBSON
SCALE:	1"=40'
DATE:	OCTOBER 28, 2015

LANDSCAPE PLAN

L1.0



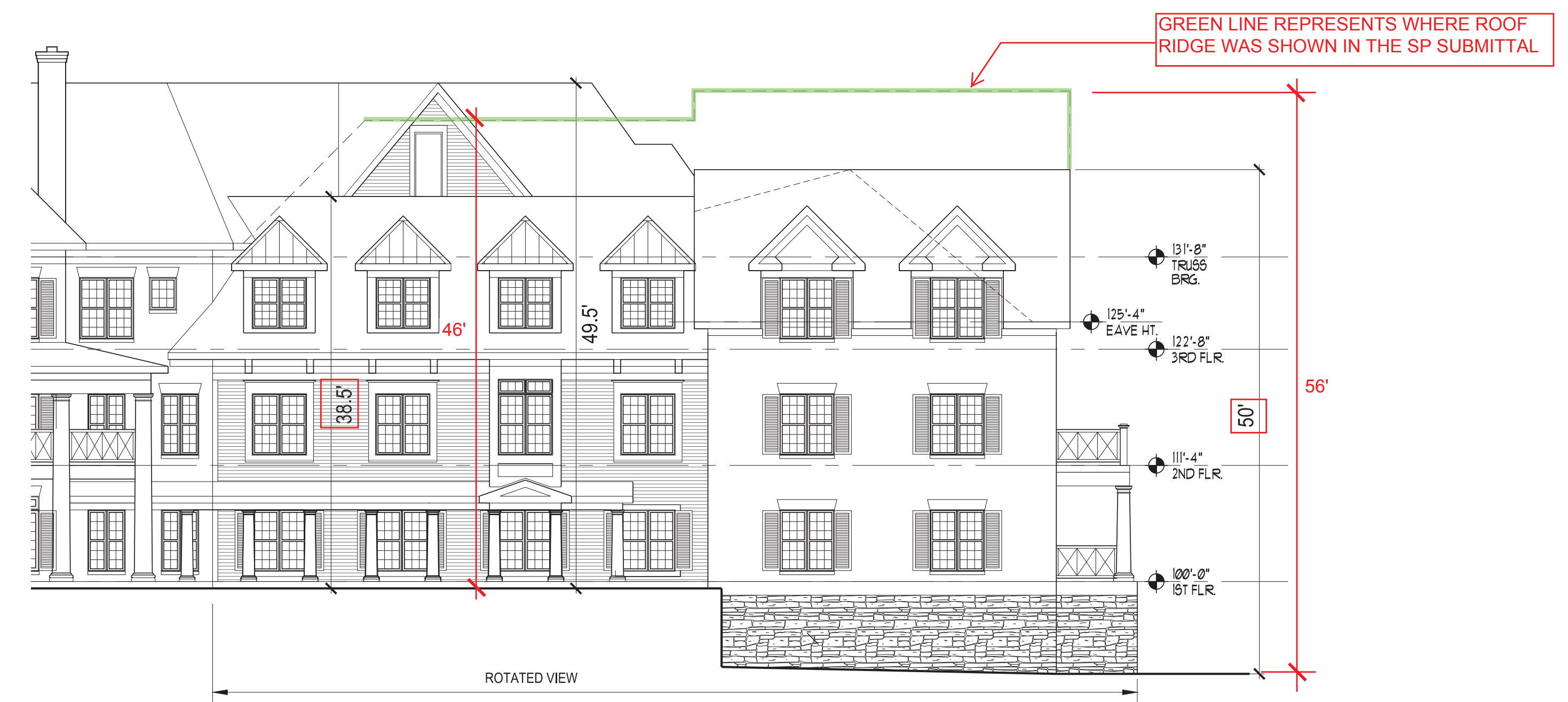
section a (as shown at neighborhood meeting)



section a (modified per staff request)



DESIGN AT SP SUBMITTAL (10.29.2015)

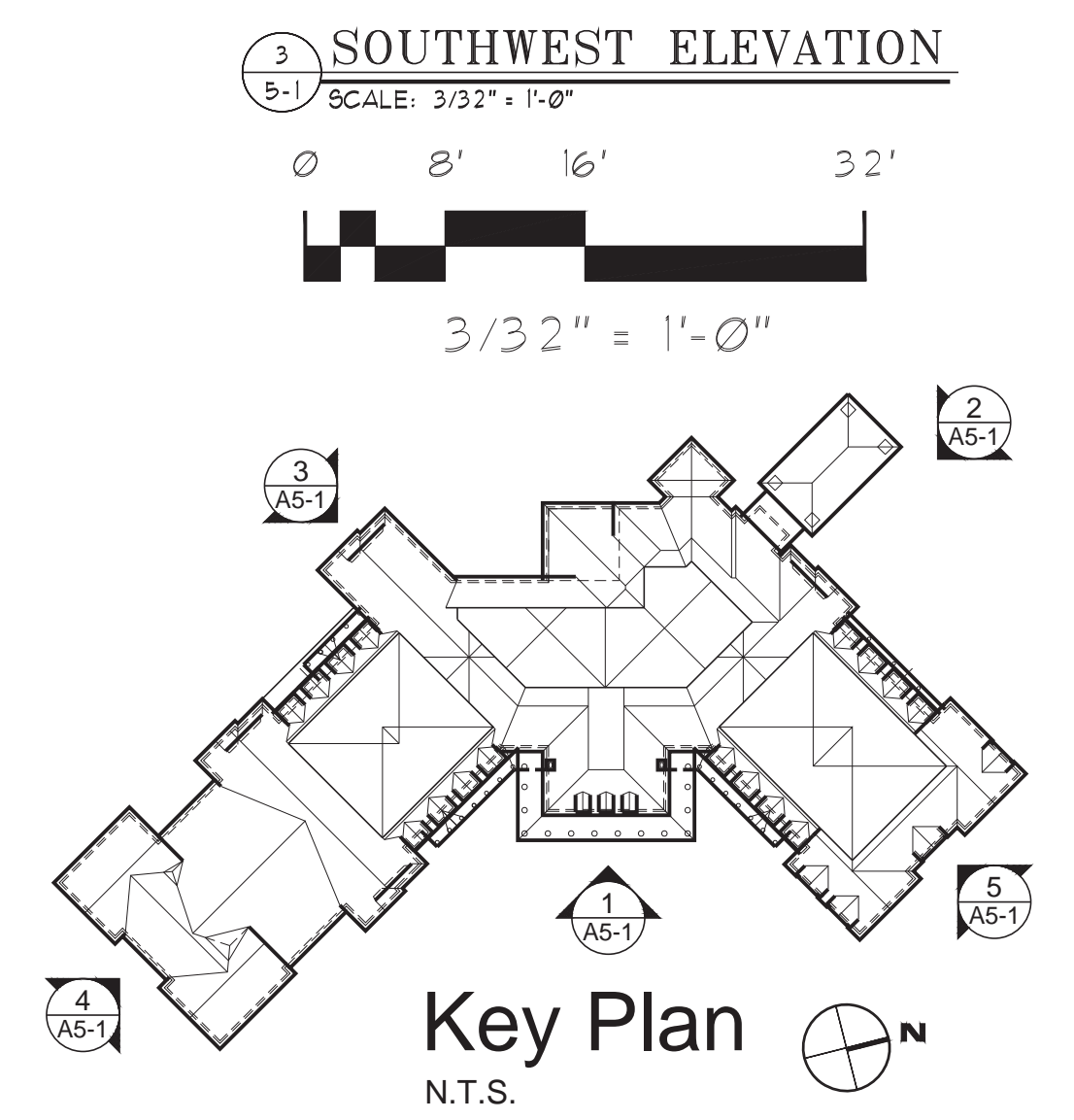


REVISED DESIGN (12.22.2015)

GREEN LINE REPRESENTS WHERE ROOF RIDGE WAS SHOWN IN THE SP SUBMITTAL



NOTE:  
Vinyl Siding, and  
Un-treated Wood  
shall be prohibited.



© COPYRIGHT 2015 JMM ARCHITECTS, INC.

DATE 12-9-15	CHECKED
JOB # 1,310	DRAWN BY
REVISIONS	

BUILDING ELEVATIONS  
ARCADIA BRENTWOOD  
BRENTWOOD, TENNESSEE

JMM ARCHITECTS, INC.  
1000 1st Ave. Columbia, TN 38401  
615.322.2222

5-1




E EAST ELEVATION (AS VIEWED FROM EAST PROPERTY LINE)  
 SCALE: 3/32" = 1'-0"

© COPYRIGHT 2015 JMM ARCHITECTS, INC.

DATE 12-9-15	CHECKED
JOB # 1,310	DRAWN BY
REVISIONS	

BUILDING ELEVATIONS  
 ARCADIA BRENTWOOD  
 BRENTWOOD, TENNESSEE

  
 JMM ARCHITECTS, INC.  
 1000 Westwood Drive, Columbia, TN 38401  
 (615) 332-9900 FAX (615) 332-5504

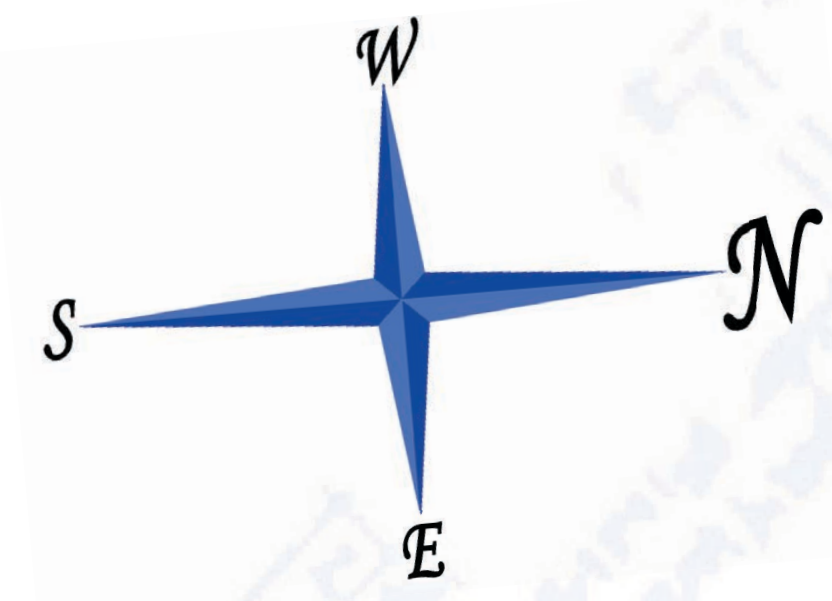
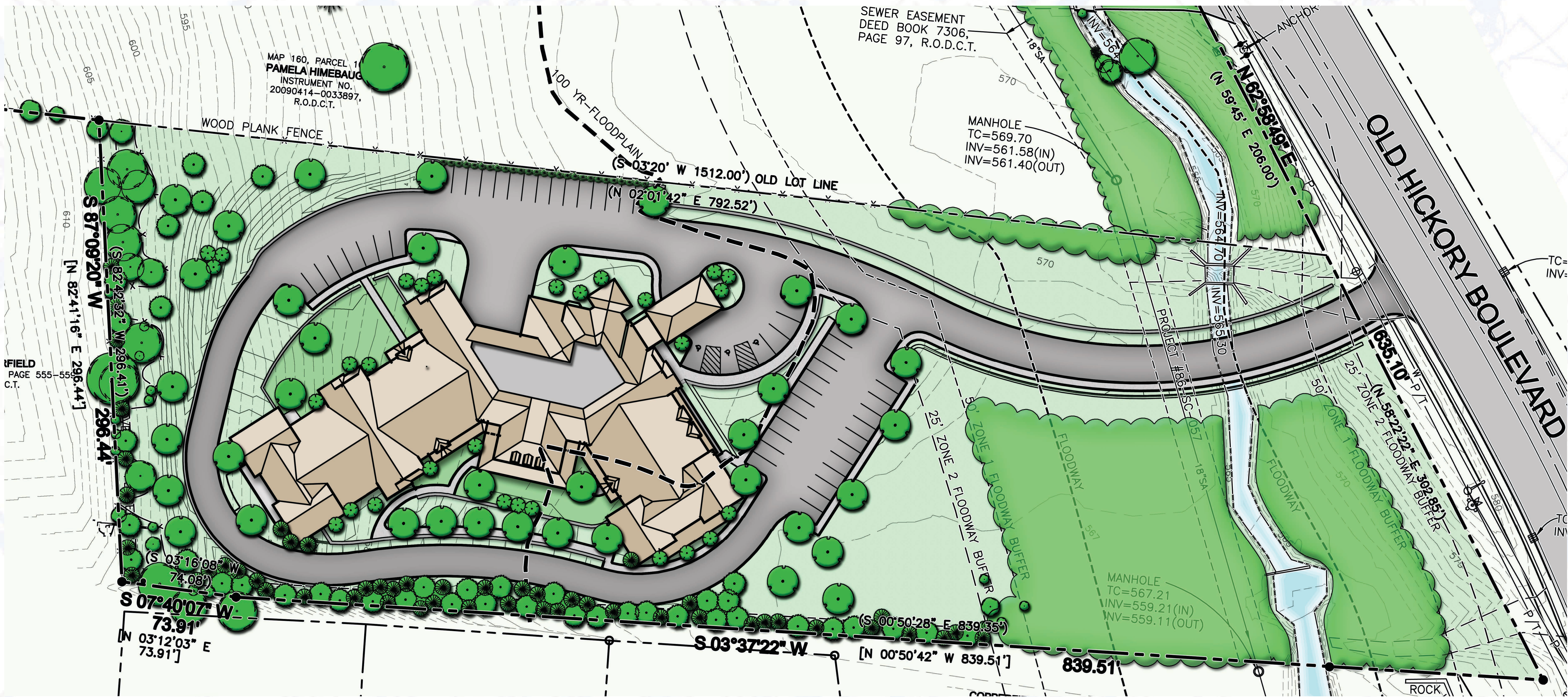
-
---

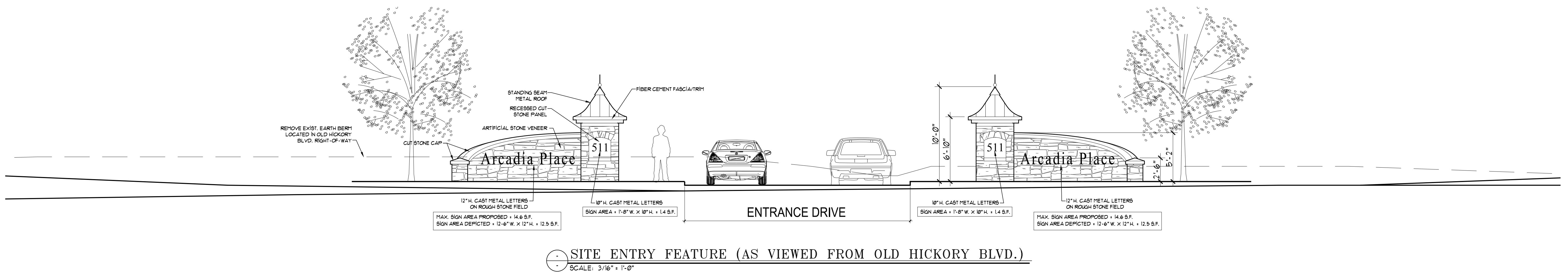


# ARCADIA COMMUNITIES: BRENTWOOD

## SENIOR LIVING SCHEMATIC

### OVERALL SITE PLAN





○ SITE ENTRY FEATURE (AS VIEWED FROM OLD HICKORY BLVD.)  
 SCALE: 3/16" = 1'-0"

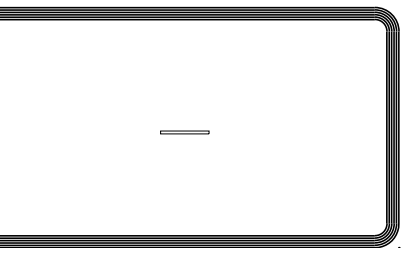
© COPYRIGHT 2015 JMM ARCHITECTS, INC.

DATE 12-22-15	CHECKED
JOB # 1310	DRAWN BY
	REVISIONS

SITE ENTRANCE FEATURE

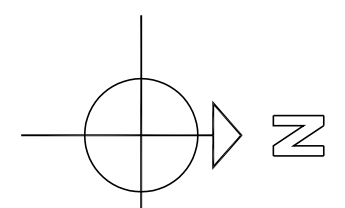
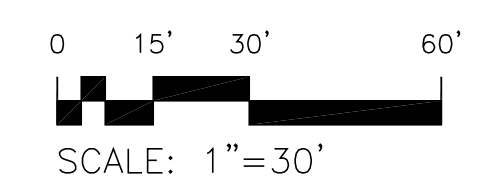
ARCADIA BRENTWOOD  
 BRENTWOOD, TENNESSEE

*JMM*  
 ARCHITECTS, INC.  
 1000 1/2 S. Main St., Brentwood, TN 37027  
 (615) 332-9999



LIE DRIVE

CONCRETE DRIVE



SITE PHOTOMETRIC PLAN

SITE PHOTOMETRIC PLAN	DATE	12-15-15
	JOB #	1310
ARCADIA BRENTWOOD BRENTWOOD, TENNESSEE	CHECKED	
	DRAWN BY	JLC
 4685 Lowell Drive, Columbia, Ohio 43220 (614) 328-5565	REVISIONS	