## 620 SOUTH 13TH STREET 620 SOUTH 13TH STREET

CASE NUMBER 2015 SP-024-001

STANDARD SP NOTES: 1) THE PURPOSE ()F THIS SP IS TO PERMIT UP TO TWO (2) ATTACHED RESIDENTIAL UNITS AS SHOWN.

2) ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 & APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.

3)THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA AS IDENTIFIED BY FEMA ON MAP 47037C0219F DATED APRIL 20, 2001.

4) ALL PUBLIC SIDEWALKS ARE TO BE CONSTRUCTED IN CONFORMANCE WITH METRO PUBLIC WORKS SIDEWALK DESIGN STANDARDS.

5) WHEEL CHAIR ACCESSIBLE CURB RAMPS, COMPLYING WITH APPLICABLE METRO PUBLIC WORKS STANDARDS, SHALL BE CONSTRUCTED AT STREET CROSSINGS.

6) THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.

7) SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL (MINIMUM DRIVEWAY CULVERT IN METRO RIGHT OF WAY IS 15" CMP)

8) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT & UNENCUMBERED INGRESS & EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE & INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.

9) A MASTER SERVICE FOR WATER AND/OR SANITARY SEWER SERVICES ARE REQUIRED.

10) SOLID WASTE PICKUP TO BE PROVIDED BY ROLL OUT CANS PLACED ON A SCREENED CONCRETE PAD AS SHOWN ON THIS PLAN.

11) MINOR MODIFICATIONS TO THE PRELIMINARY SP PLAN MAY BE APPROVED BY THE PLANNING COMMISSION OR ITS DESIGNEE BASED UPON FINAL ARCHITECTURAL, ENGINEERING OR SITE DESIGN AND ACTUAL SITE CONDITIONS. ALL MODIFICATIONS SHALL BE CONSISTENT WITH THE PRINCIPLES AND FURTHER THE OBJECTIVES OF THE APPROVED PLAN. MODIFICATIONS SHALL NOT BE

THE PLAN AS ADOPTED THROUGH THIS ENACTING ORDNANCE, OR ADD VEHICULAR POINTS NOT CURRENTLY PRESENT OR APPROVED. 12) FOR ANY DEVELOPMENT STANDARDS, REGULATIONS AND REQUIREMENTS NOT

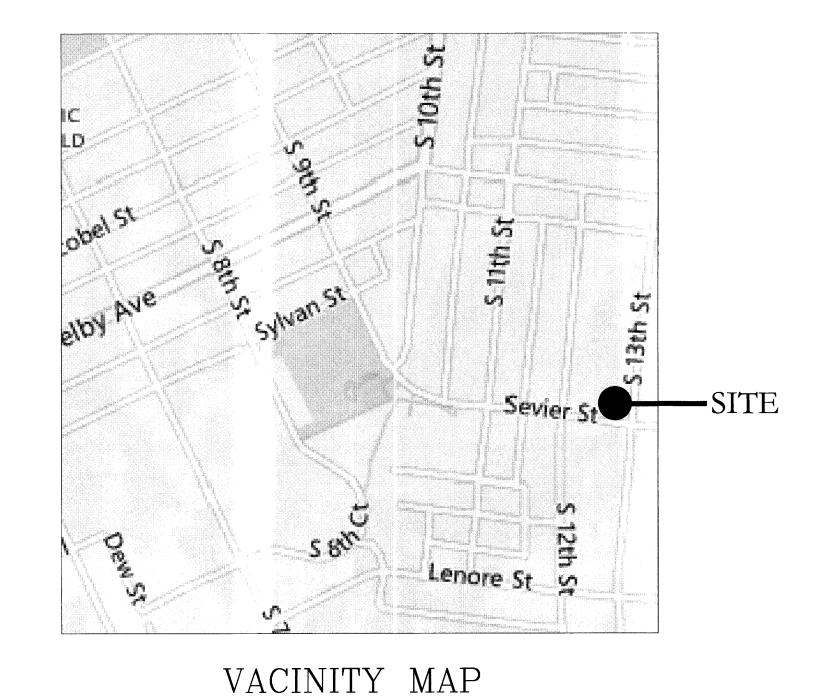
SPECIFICALLY SHOWN ON THE SP PLAN AND/OR INCLUDED AS A CONDITION OF COMMISSION OR COUNCIL APPROVAL, THE PROPERTY SHALL BE SUBJECT TO THE STANDARDS, REGULATIONS, AND REQUIREMENTS OF THE RM15 ZONING DISTRICT AS OF THE DATE OF THE APPLICABLE REQUEST OR APPLICATION.

13) ACESS SHALL BE LIMITED TO THE ALLEY.

14) THE FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN REGULATIONS ESTABLISHED BY THE DEPARTMENT OF PUBLIC WORKS. FINAL DIGN MAY VARY BASED ON FIELD CONDITIONS.

15) RAISED FOUNDATIONS OF 18"-36" ARE REQUIRED FOR RESIDENTIAL BUILDINGS.

SPECIFIC PLAN	DEVELOPMENT SUMMARY
USE	MULTIFAMILY (ATTACHED SINGLE FAMILY DWELLING)
PROPERTY ZONING: RS5 (OV-UZO, URBAN)	SURROUNDING ZONING RS5)
MINIMUM LOT SIZE 6,000 S.F.	
NUMBER OF UNITS	2 TOTAL DWELLING UNITS
FAR	60% MAXIMUM 31% PROPOSED
ISR	70% MAXIMUM 47% PROPOSED
FRONT YARD SETBACK:	29.58' FROM S 13TH STREET
SIDE YARD (NORTH PROPERTY LINE)	5.0' FROM NORTH PROPERTY LINE
SIDE YARD (SOUTH PROPERTY LINE)	5.0' FROM SEVIER STREET
REAR YARD	20' FROM PUBLIC ALLEY
HEIGHT STANDARDS	MAX. HEIGHT FOR UNITS (2 STORIES IN 35 FEET TO TOP OF ROOF)
DENSITY	PROPOSED DENSITY PER ACRE = 10.8 (2 UNITS/0.185)
PARKING AND ACCESS	
RAMP LOCATIONS AND NUMBER	O ACCESS ON S 13TH STREET; O ACCESS ON SEVIER STREET
DISTANCE TO NEAREST EXISTING RAMP (MINIMUM 30')	N/A
DISTANCE TO INTERESTION	ALLEY IS 161.07' FROM S 13TH STREET
REQUIRED PARKING BASED ON USES	4 STALLS (2 UNITS @ 2 STALLS PER UNIT)
PARKING PROPOSED	4 STALLS
* NOTE: SPECIFIC ENCROACHMENTS PERMITTED BY SP:	5 FT. COVERED PORCHES; 5' COVERED STOOPS; HVAC UNITS



620 S 13TH STREET BEING MAP/PARCEL NO. 09401007500 NASHVILLE, TENNESSEE 37206 METRO COÚNCIL DISTRICT-6 COUNCILMEMBER- PETER WESTERHOLM

DEVELOPER/OWNER ANOINTED ONE CONSTRUCTION, LLC CONTACT: JAY SMITH OR SEAN PÁGE 7213 SANTŘRLAH WAY ANTIOCH, TENNESSEE 37013 PHONE: (615) 414-7471 EMAIL: aoc1llc@gmail.com

FLOOD NOTE NO PORTION OF THIS PROPOERTY LIES WITHIN A FLOOD HAZARD AREA AS DEPICTED ON THE CURRENT FLOOD INSURANCE RATE MAP (FIRM) NUMBER 47037C0219F. DATED APRIL 20, 2001.

> INDEX OF DRAWINGS SHEET C0.1 COVER SHEET SHEET C1.1 SURVEY, EXISTING, & PROPOSED

LARKIN GROUP designers architects space planners

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FAX: (615) 248-0076 www.thelarkingrouponline.com jlarkin@thelarkingrouponline.com

	REVISIONS				
	NO. DATE		DESCRIPTION		
	1	4/8/15	REVIVISION #1		
			ICCUED DATE		
	PROJECT NO. 1164.15  DRAWN BY: JIMMY		ISSUED DATE  MARCH 26, 2015  REVIEWED BY:		

SITE PLAN CO.1

THE NG CLASSIFICATION.

THIS PROPERTY FALLS WITHIN THE NEIGHBORHOOD GENERAL CLASSIFICATION. APPROPRIATE USES INCLUDE SINGLE FAMILY & MULTIFAMILY W/ DENSITIES AS INTENSE AS 20 UNITS/ACRE. BUILDINGS WITH SHALLOW TO DEEP SETBACKS WITH MEDIUM DENSITY HOUSING CLOSER TO THE STREET AND LOWER DENSITY HOUSING AWAY FROM THE STREET, PEDESTRIAN CONNECTIVITY, ARE LOCATED WITHIN CLOSE PROXIMITY TO NEIGHBORHOOD CENTER OR CUMMUNITY CENTER, AND THE STREET NETWORKS HAVE A HIGH LEVEL OF CONNECTIVITY ARE SOME DESIGN PARAMETERS OF

AS PROPOSED, THIS SP PROPOSES TWO ATTACHED RESIDENTIAL UNITS ON 0.185 ACRES OF LAND, FOR A DENSITY YIELD OF 13 UNITS/ACRE WHICH FALLS WITHIN THE DESIRED

RANGE OF THE SITE'S DEFINED LAND USE. SHALLOW SETBACKS ARE PROPOSED FOR THE

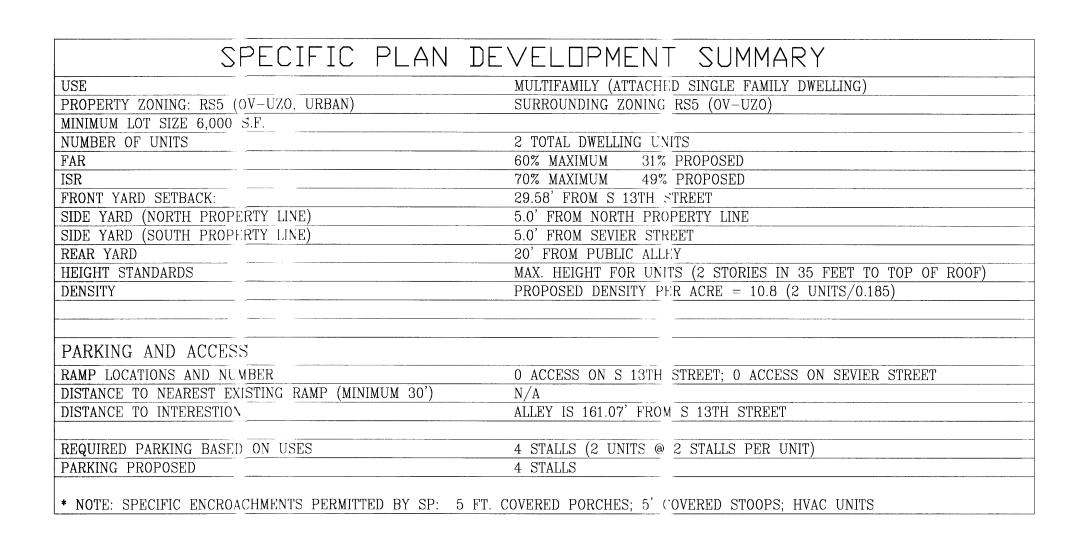
IMPROVEMENTS ARE PROPOSED TO INCREASE PEDESTRIAN ACCESS AND CONNECTIVITY.

GENERAL PLAN CONSISTENCY

MEDIUM DENSITY SHOWN HEREIN. ADDITIONALLY SIDEWALKS AND ROAD

SHEET NO.

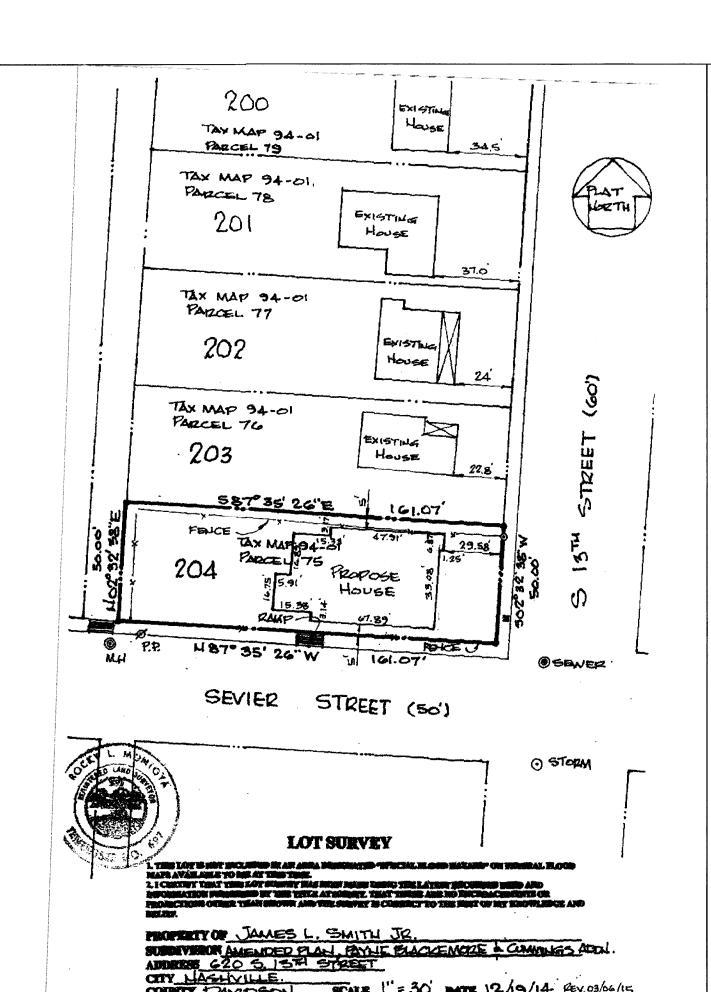
SHEET TITLE



TOTAL SITE AREA= .185 ACRES (8,053.5 S.F.) CURRENT ZONING: RS5 PROPOSED ZONING: SP (SPECIFIC PLAN) COUNCIL PERSON: PETER WESTERHOLM COUNCILMANIC DISTRICT- 6

DESIGNER: THE LARKIN GROUP 3401 JOHN MALLETTE DRIVE; SUITE 300 NASHVILLE, TENNESSEE 37218 (615) 732-3722CONTACT PERSON- JIMMY LARKIN EMAIL: jlarkin@thelarkingrouponline.com

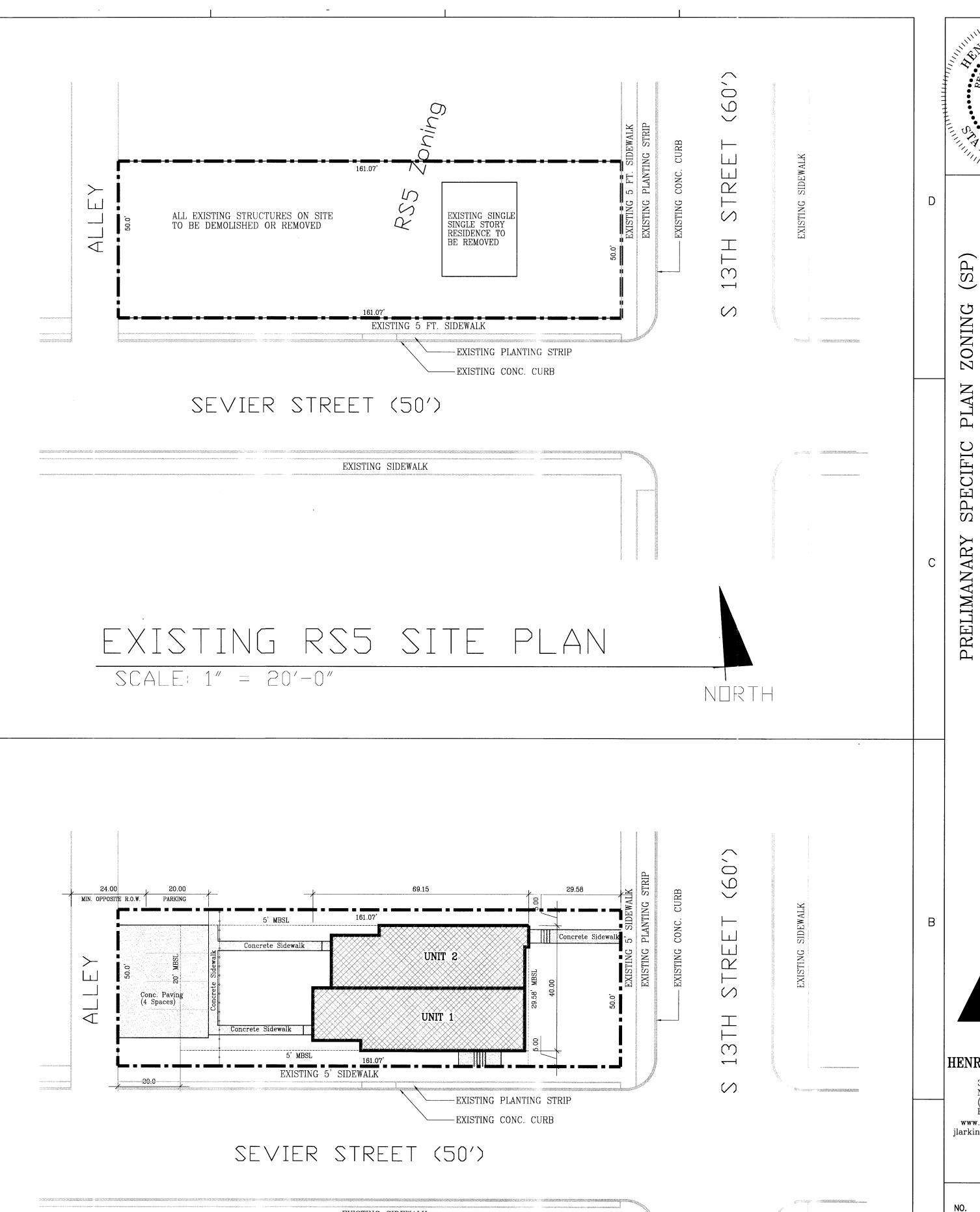
THIS CURRENT USE OF PARCEL IS A SINGLE FAMILY RESIDENCE. THIS PROPOSED SP PLANS TO CHANGE THE USE OF THIS PARCEL TO A MEDIUM RESIDENTIAL USE WHICH IS DESIRED IN THE NEIGHBORHOOD GENERAL (NG) LAND USE POLICY. THE MEDIUM RESIDENTIAL PROPOSED WILL ENHANCE THE AREA BY CREATING ADDITIONAL



OF THIS PROJECT NO TREE INFORMATION IS AVAILABLE

1. ACREAGE (AREA OF BUILDING SITE)	0.185	ACREAS
2. MINU BUILDING COVERAGE AREA (2,508.4 S.F.)	06	<u>ACREAS</u>
3. EQUALS ADJUSTED ACREAGE	=0.125	ACREAS
4. MULTIPLIED BY REQUIRED DENSITY UNITS PER ACRE	x 14	
5. EQUALS REQUIRED TREE DENSITY UNITS	= 1.75	TDU
EXISTING TREES:		
1. TOTAL DENSITY UNITS FOR PROTECTED TREES		
2. TOTAL DENSITY UNITS FOR NEW TREES (4 * .5) =	2.0	
3. TOTAL DENSITY UNITS PROVIDED =		

THIS PROJECT IS NOT A PLANNED UNIT DEVELOPMENT.



designers architects space planners HENRY A. WATKINS, JR. 3401 John Mallette Drive Nashville, TN 37218 (615) 732-3722 FAX: (615) 248-0076 www.thelarkingrouponline.com jlarkin@thelarkingrouponline.com

THE

LARKIN

GROUP

REVISIONS

NO. DATE DESCRIPTION 4/8/15 REVIVISION #1

ISSUED DATE MARCH 26, 2015 REVIEWED BY:

SHEET TITLE SITE PLAN

NDRTH

SHEET NO.

#2015SP-024-001 (620 S13TH ST.)

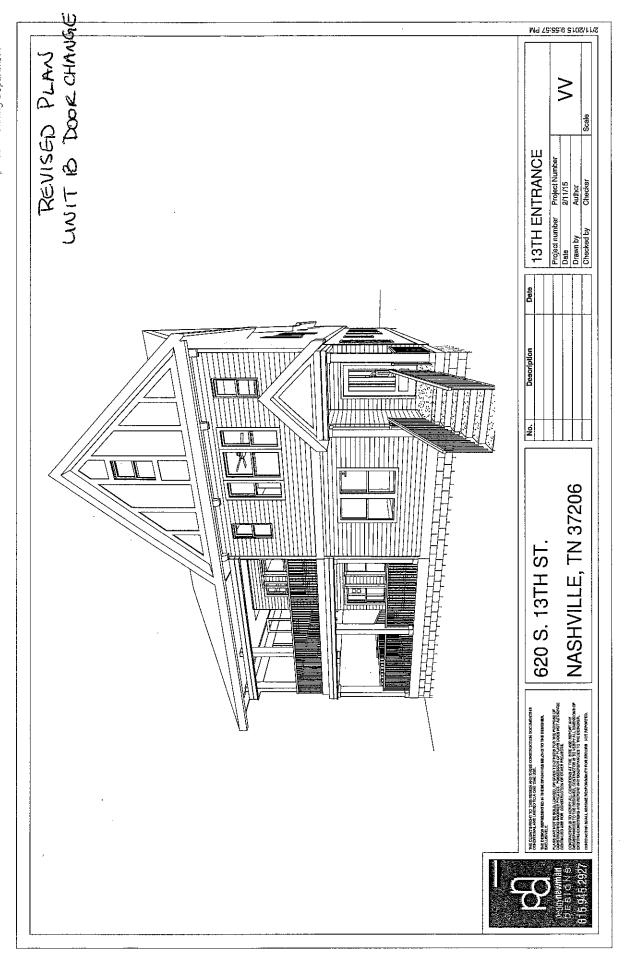
PROPOSED SP CASE

SCALE: 1'' = 20'-0''

PRELIMINARY SP CITISE # 2015/SP-024-001 PREVISED PLAN MAP 94-1, PARCEL 75

FEB 1 \$ 2015

Metropolitan Pisaning Deparanon



M9 41:88:9 3102\11\2 Metropolitan Planning Departs UNIT B DOOR CHANGE REVISED PLAN S SEVIER ENTRANCE 11 X 17 Project number Project Number
Date
Drawn by PEN
Checked by Checker ģ NASHVILLE, TN 37206 620 S. 13TH ST. ME CLEMT'S PROUT TO THIS DESIGN AND THESE CONS CARDYDONAL AND LIMITED TO A CAIR TIME USE.