

PHASING SCHEDULE

- ONE PHASE

UNIT DATA	
UNIT NO.	AREA (S.F.)
1	1540
2	1540
3	1540
4	1540
5	1540
6	1540
7	1800
8	2000
9	2000
10	2000
11	1200
12	1200
13	1200
14	1200



VICINITY MAP NOT TO SCALE

PUD NOTES

1. THE PURPOSE OF THIS SP IS TO ALLOW THE DEVELOPMENT OF 10 RESIDENTIAL UNITS WITH A HORIZONTAL PROPERTY REGIME.
2. METRO FIRE MARSHALL: The required fire flow shall be determined by the Metropolitan Fire Marshall's Office, prior to the issuance of a building permit.
3. METRO WATER SERVICES - STORMWATER: Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78-840 and approved by the Metropolitan Department of Water Services.
4. METRO WATER SERVICES - STORMWATER: Size driveway culverts per the design criteria set forth by the Metro Stormwater Manual. (minimum driveway culvert in Metro ROW is 15" CMP).
5. METRO WATER SERVICES - STORMWATER: This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.
6. METRO WATER SERVICES - STORMWATER: Metro Water Services shall be provided sufficient and unencumbered ingress and egress at all times in order to maintain, repair, replace, and inspect any stormwater facilities within the property.
7. METRO WATER SERVICES - WATER & SEWER: Note to Prospective Owners: You are strongly advised to contact Metro Water Services Engineering (Development Services) to determine adequacy of public water and sewer facilities for intended development of property.

DEVELOPMENT SUMMARY

- COUNCIL DISTRICT: 17
- COUNCILMEMBER: SANDRA MOORE
- OWNER OF RECORD:
 - PARCEL 136 GLOBEX, INC
1621 ELECTRIC AVE, NASHVILLE, TN 37206
615.498.2083
 - PARCEL 137 CHARLES LEMAY AND JUDY RAGSDALE
1318 PILLOW STREET, NASHVILLE, TN 37203
615.XXX.XXXX
- SP NAME: PILLOW STREET COTTAGES
- SP NUMBER: 2015SP-017-001
- CLUSTER LOT RESIDENTIAL PUD: NA
- PLAN PREPARATION DATE: 2015.03.12
- SCALE: 1"=20'
- DESIGN PROFESSIONAL: JIM LUKENS, P.E.
LUKENS ENGINEERING CONSULTANTS
P.O. BOX 1586, BRENTWOOD, TN 37024
615.804.4617
- FEMA FIRM: 47037C0219F

DEVELOPMENT/SITE DATA TABLE

ACREAGE	0.612 ACRES (26,624 S.F.)
DENSITY	23 UNITS/AC
DWELLING UNITS	14 UNITS
FLOOR AREA RATIO (FAR)	0.85 (21,840/26,624)
LOTS	1
IMPERVIOUS SURFACE RATIO (ISR)	0.65
BUILDINGS	10,210 S.F.
	DRIVEWAYS & SIDEWALKS
PARKING REQUIRED	22 SPACES 1.5 SPACES PER ATTACHED UNIT (1.5 x 12 UNITS) 2 SPACES PER DETACHED UNIT (2 x 2 UNITS)
PARKING PROVIDED	24 SPACES (12 GARAGE + 7 SITE + 5 ON STREET (10 @ 1/2 EACH))
USES	RESIDENTIAL (ONE, TWO, MULTI FAMILY)

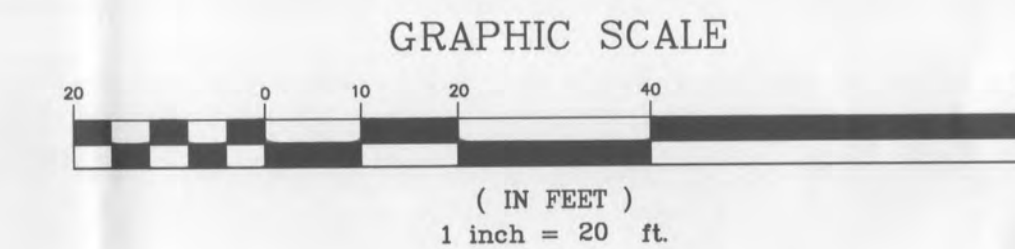
PLANT MATERIAL SCHEDULE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	TRUNK	COMMENT
BN	5	BETULA NIGRA	RIVER BIRCH	12'-14'	2.0"-2.5" cal.	5 FT CLEAR TRUNK
CA	5	CERCIS CANADENSIS 'ALBA'	WHITE REDBUD	10'-12'	2.0"-2.5" cal	4 FT CLEAR TRUNK
QP	1	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	12'-14'	2.0"-2.5" cal	4 FT CLEAR TRUNK

LANDSCAPE REQUIREMENTS

1. BUFFERYARDS: NONE
2. TREE DENSITY:
 - LAND AREA 0.61 ACRES
 - BLDG AREA 0.23 ACRES
 - NET AREA = 0.38 ACRES
 - x DENSITY 14 UNITS/ACRE
 - 5.3 TDU REQUIRED

PROPOSED TREES 0.5 x 11 (2" CAL)= 5.5 UNITS

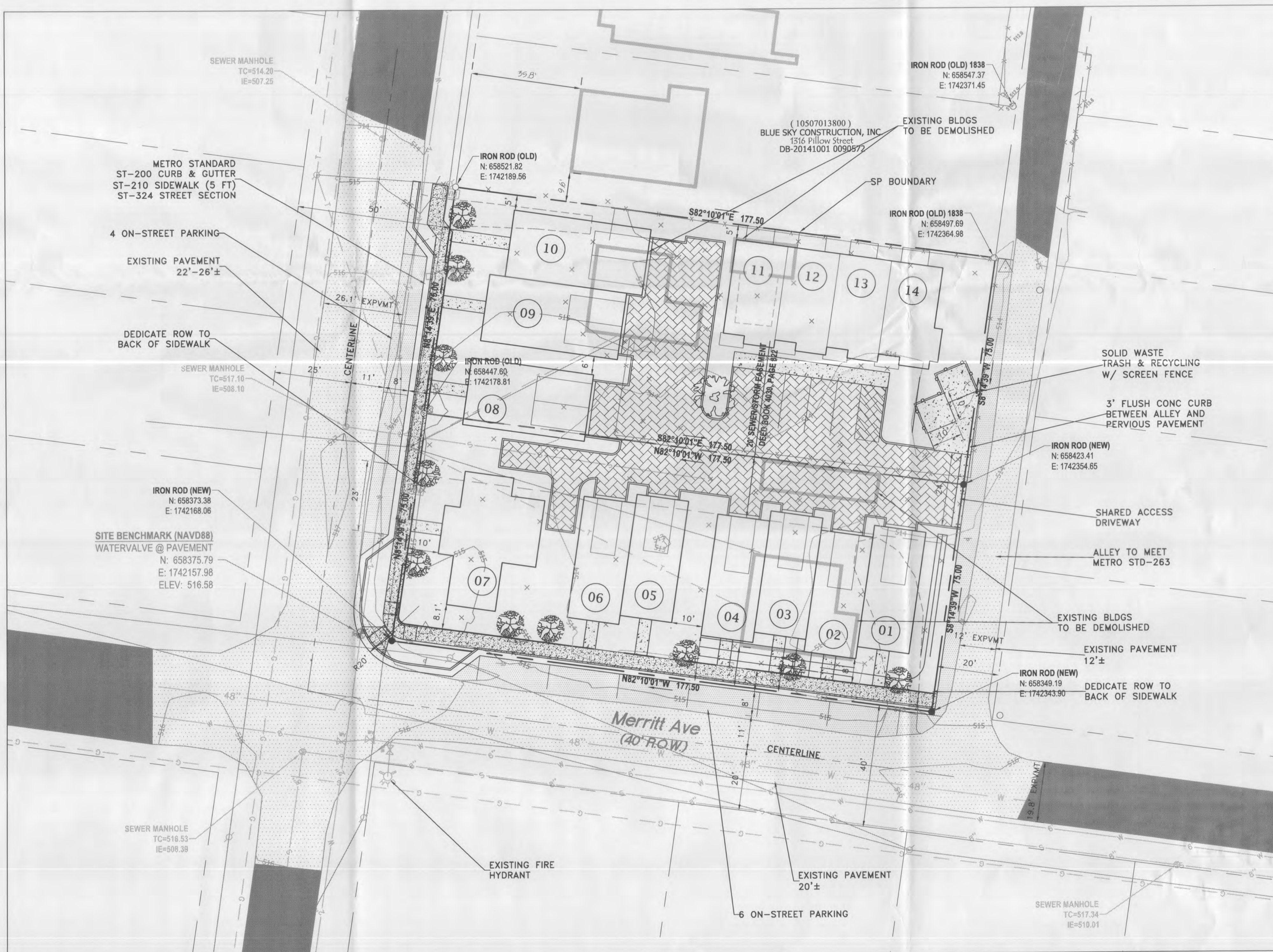
TOTAL PROTECTED AND NEW = 0 + 5.5 = 5.5 UNITS
3. PERIMETER PARKING: NONE
4. INTERIOR PARKING: NONE



PROJECT NOTES

1. EXISTING CONDITIONS TAKEN FROM SURVEY BY CLINT ELLIOTT LAND SURVEYOR, DATED 12-20-2014. DATUM NAD83 AND NGVD88.
2. THIS PROPERTY IS LOCATED IN A ZONE X WHICH IS NOT WITHIN THE 100 YEAR FLOOD HAZARD ACCORDING TO FLOOD MAP PANEL NO. 47037C0219F, DATED APRIL 20, 2001.
3. OWNERSHIP FOR UNITS MAY BE DIVIDED BY A HORIZONTAL PROPERTY REGIME OR A SUBDIVISION WITH A MINIMUM LOT SIZE OF 1000 S.F.

Nashville & Davidson County
MAR 12 2015
Metropolitan Planning Department



PRELIMINARY SP [CASE NO. 2015SP-017-001]
PILLOW STREET COTTAGES
 1322 Pillow Street, Nashville, TN 37203
 Map 105-07 Parcel 136 & 137

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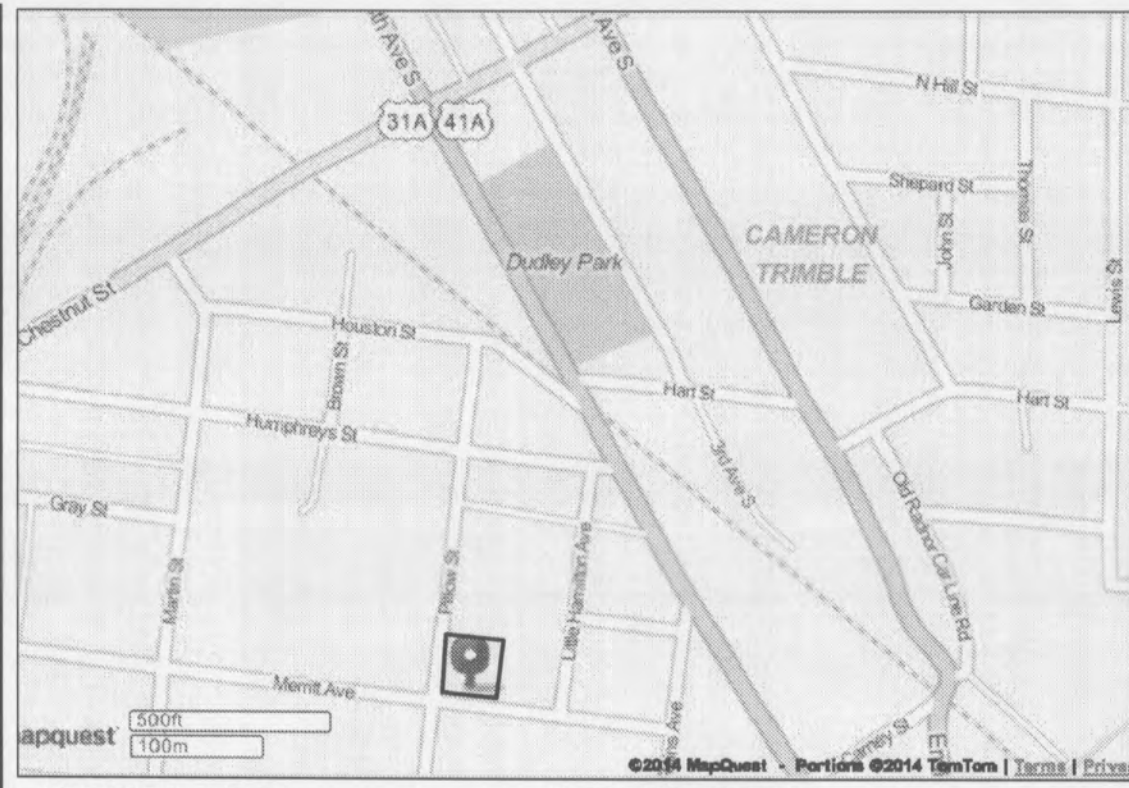
REVISIONS/ISSUES		
NO.	DESCRIPTION	DATE

PROJ. NO.: 03478
DATE: 2015.03.12

SITE PLAN

C1.1

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VICINITY MAP NOT TO SCALE

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STORMWATER NOTES

1. DAVIDSON COUNTY SOILS MAPPING SHOWS THE SOIL TO BE MAURY (McB) SOILS WITH HYDROLOGICAL GROUP A.
2. WATER QUALITY CONCEPT:
 - DESIGN UNDER THE LOW IMPACT DEVELOPMENT MANUAL
 - PERVIOUS PAVEMENT AND BIORETENTION (RAIN GARDENS) WILL BE USED TO TREAT THE RUNOFF.
3. WATER QUANTITY CONCEPT: PROVIDE A STORAGE RESERVIOR UNDER THE WATER QUALITY SYSTEMS TO INFILTRATE EXCESS RUNOFF.
4. DRAINAGE: EXISTING DRAINAGE DISCHARGES TO THE ALLEY. THE PROPOSED DRAINAGE WILL BE INFILTRATED WITH ANY DISCHARGE CONTINUING TO THE ALLEY; OR TO THE STREET IN THE FRONT YARDS.
5. OFF-SITE IMPROVEMENTS MAY BE REQUIRED IF AN ADEQUATE DOWNSTREAM CONVEYANCE/SITE DISCHARGE IS NOT AVAILABLE.

TENNESSEE CONSTRUCTION GENERAL PERMIT NOTICE OF COVERAGE (NOC) CERTIFICATION

The project associated with these submitted plans does not require coverage covered under Tennessee Construction General Permit.

[Signature]
Project Engineer
03/12/15

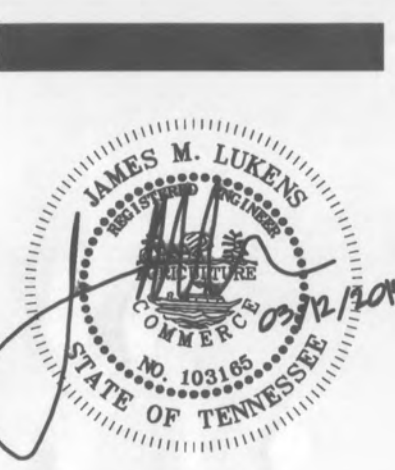
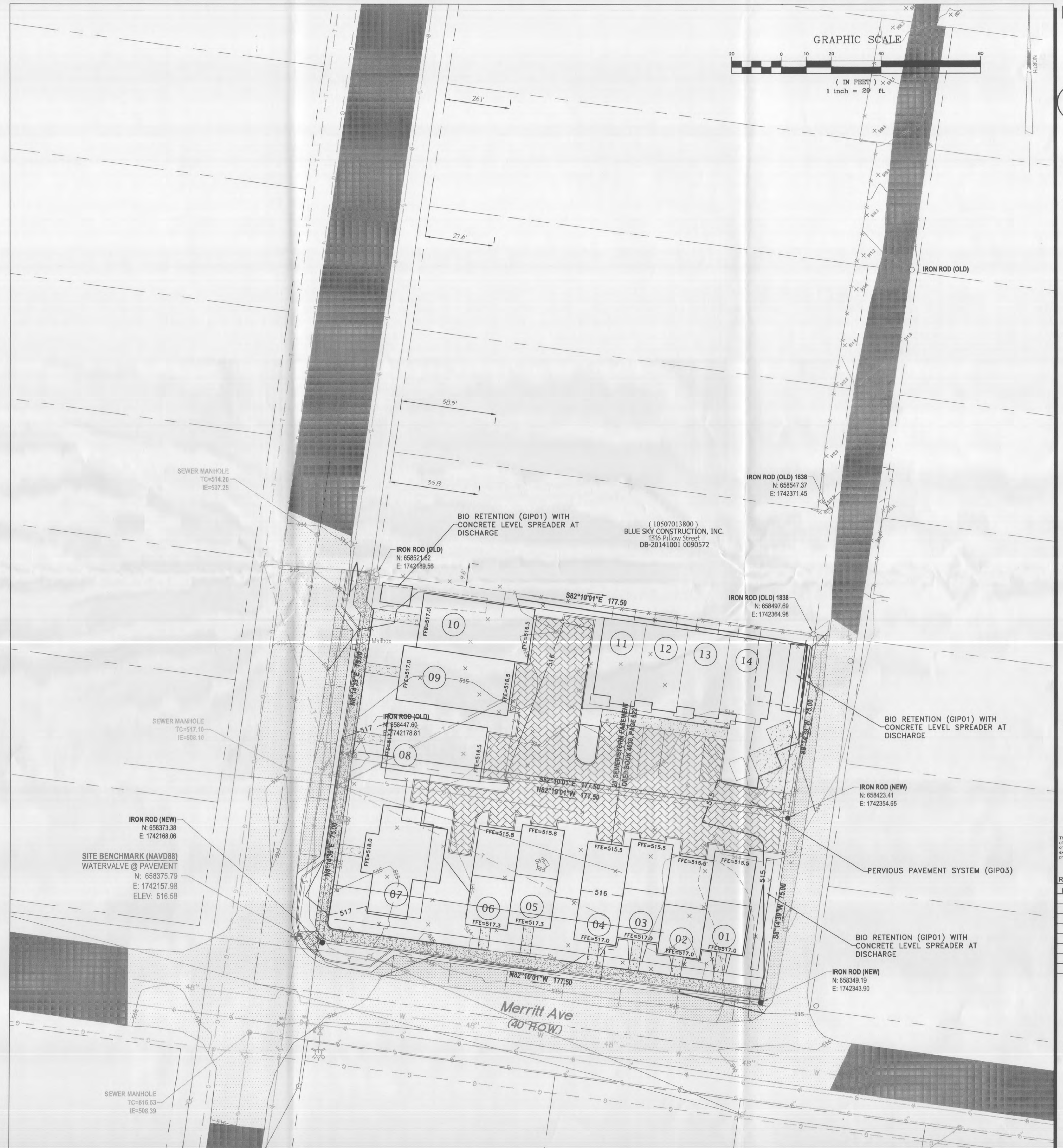
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AS-BUILT NOTE

IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME I, SECTION 3.9, AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:

- UNDERGROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- ABOVE GROUND DETENTION AND WATER QUALITY INFRASTRUCTURE
- PUBLIC STORM SEWER INFRASTRUCTURE
- CUT & FILL IN THE FLOODPLAIN
- SINK HOLE ALTERATIONS

THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.



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LUKENS Engineering Consultants
PO Box 1586
Brentwood, TN 37024-1586
Phone 615-804-4817
lukens@lukensengineering.com

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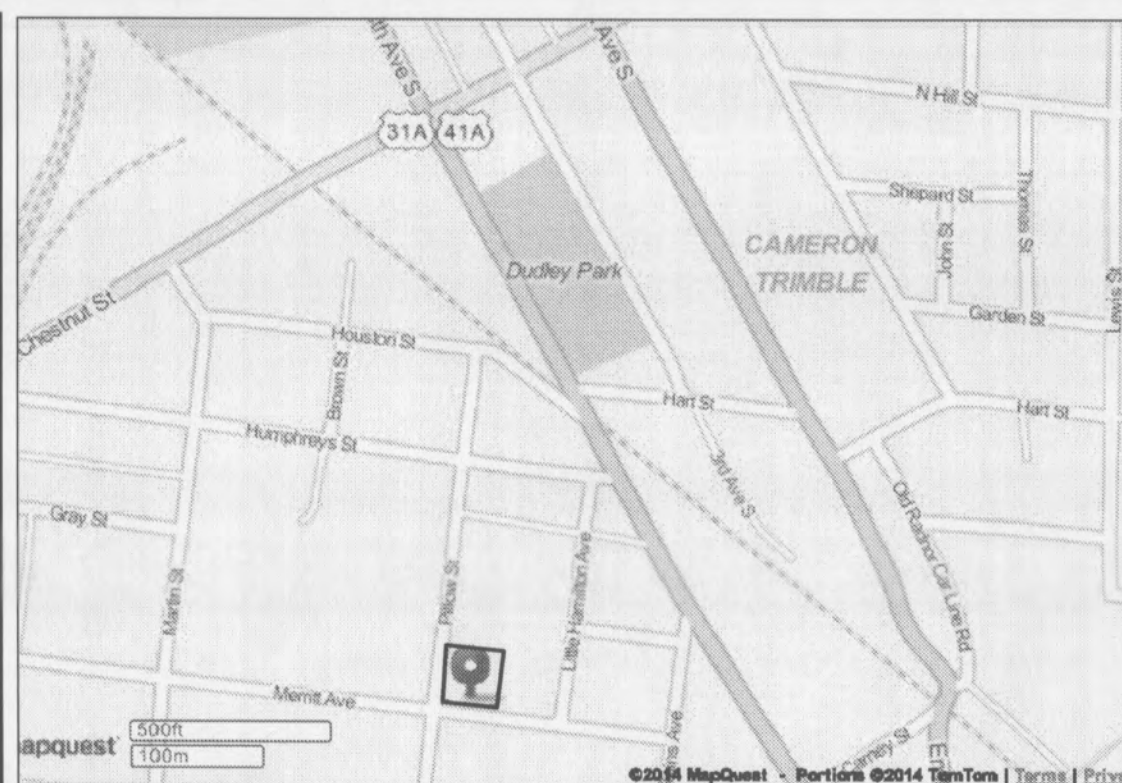
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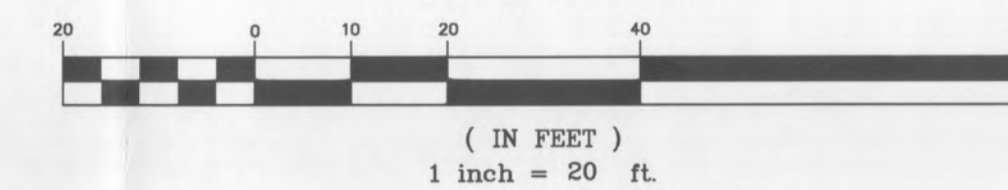
STORMWATER MANAGEMENT PLAN

C2.1



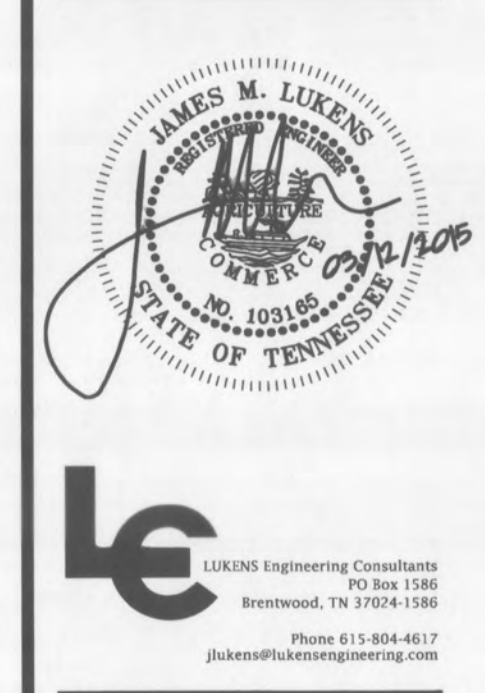
VICINITY MAP NOT TO SCALE

GRAPHIC SCALE



PROJECT NOTES

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UTILITY NOTES

- THE EXISTING UTILITIES ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE NOT GUARANTEED TO BE EITHER ACCURATE OR ALL INCLUSIVE. OBTAIN THE AID OF EXISTING UTILITY OWNERS TO LOCATE THEIR RESPECTIVE FACILITIES BEFORE EXCAVATING IN ANY AREA.
- UTILITIES NOT SHOWN ON THIS PLAN MAY EXIST. IF UTILITIES ARE DISCOVERED DURING EXCAVATION, CONTACT OWNER'S REPRESENTATIVE AND ENGINEER FOR PROPER COORDINATION. REMOVE, REWORK, AND/OR RE-ROUTE THE EXISTING UTILITIES AS RECOMMENDED BY OWNER'S REPRESENTATIVE.
- SANITARY SEWER: ABANDON EXISTING SEWER EASEMENT, EXTEND NEW SEWER MAIN WITH EASEMENT INTO PROPERTY AND INSTALL SERVICE LINES TO THE NEW MAIN. CONSTRUCT SANITARY SEWER SERVICES IN ACCORDANCE WITH THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICE REQUIREMENTS. ALL CONNECTIONS TO THE SEWER TO BE BY A LICENSED MASTER PLUMBER.
- WATER: CONSTRUCT WATER SERVICES IN ACCORDANCE WITH THE METROPOLITAN DEPARTMENT OF WATER AND SEWERAGE SERVICE REQUIREMENTS. ONLY METRO WATER SERVICES PERSONNEL MAY TAP THE PUBLIC MAINS. ALL CONNECTIONS TO THE WATER TO BE BY A LICENSED MASTER PLUMBER.
- GAS: PIEDMONT NATURAL GAS TO EXTEND SERVICES TO THE UNITS AND SET THE METERS.
- ELECTRIC: NASHVILLE ELECTRIC SERVICE TO DESIGN ELECTRIC PRIMARY AND SERVICE CONNECTIONS. SCHEMATIC LAYOUT PROVIDED ON THIS SHEET IS SUBJECT TO CHANGE.



PRELIMINARY SP [CASE NO. 2015SP-017-001]

PILLOW STREET COTTAGES
 1322 Pillow Street, Nashville, TN 37203

Map 105-07 Parcel 136 & 137

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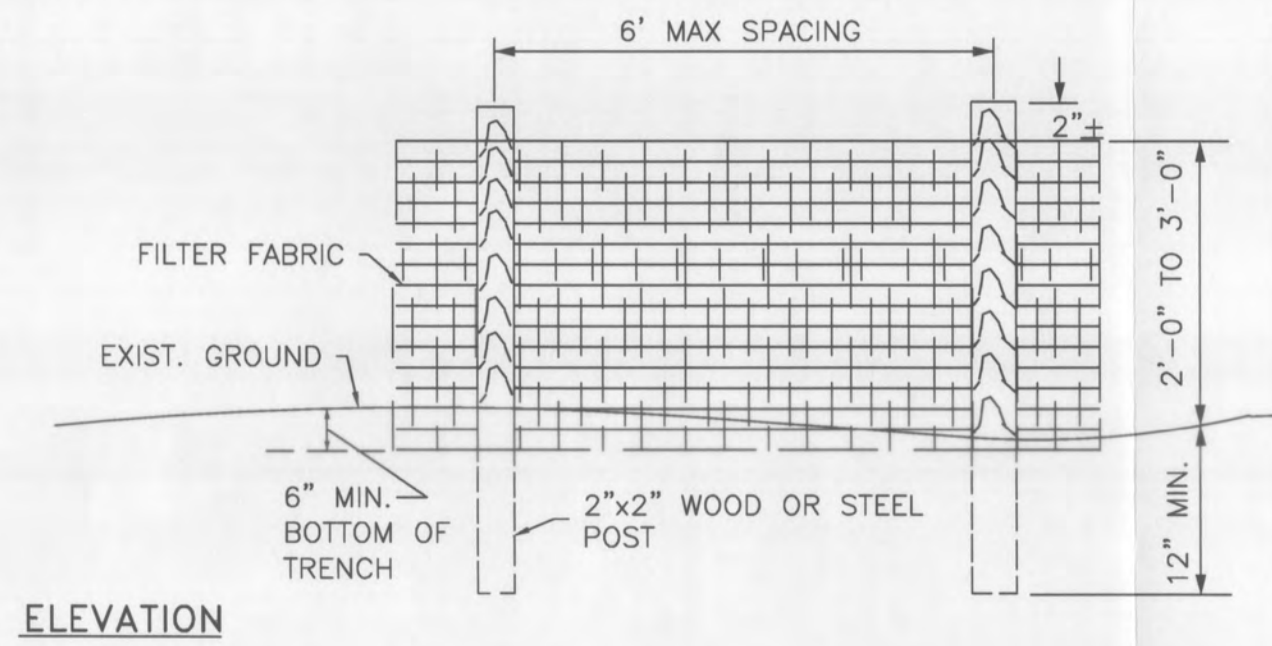
REVISIONS/ISSUES		
NO	DESCRIPTION	DATE

PROJ. NO.: 03478
 DATE: 2015.03.12

UTILITY PLAN

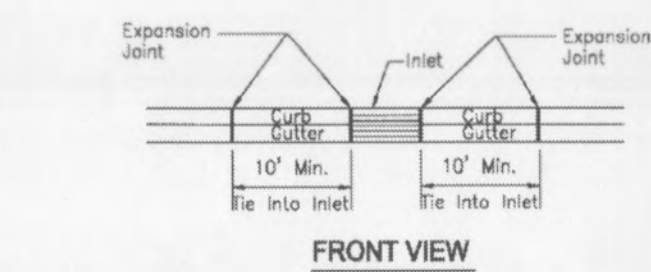
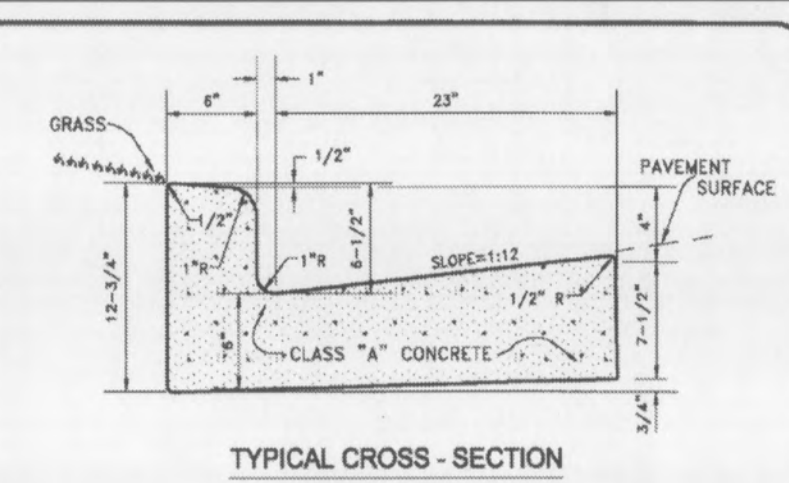
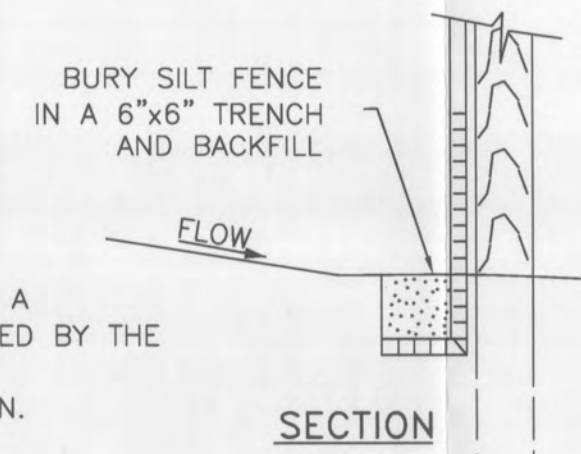
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- NOTES:**
- FILTER CLOTH SHALL HAVE APPROVED BACKING OR A BUILT-IN REINFORCED STRUCTURE, AS RECOMMENDED BY THE MANUFACTURER TO SUPPORT THE FILTER CLOTH.
 - INSTALL FENCE ALONG A LEVEL CONTOUR ELEVATION. TURN LAST 7 FEET UP SLOPE.
 - MAX. TRIBUTARY AREA = 0.25 ACRES/100 L.F.
 - REFER TO METRO BMP TCP-13

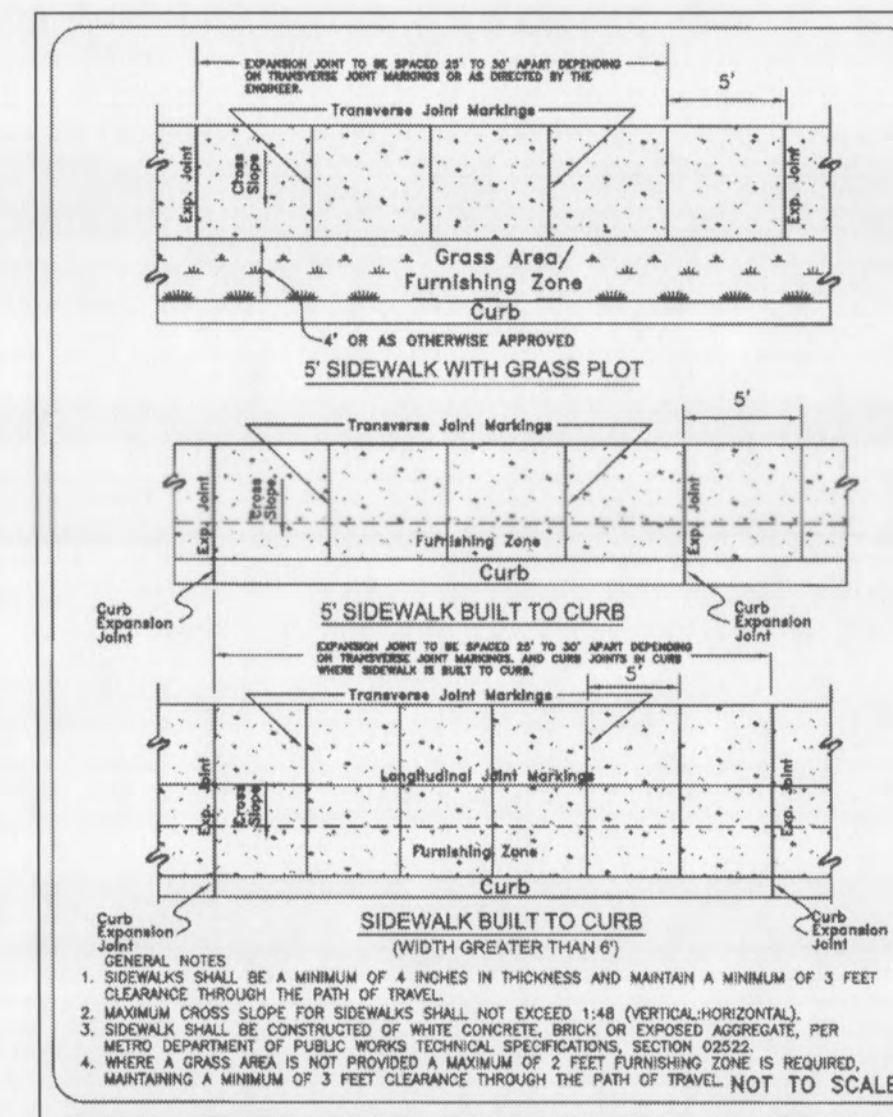
SILT FENCE 10
SCALE: N.T.S.



- GENERAL NOTES:**
- Expansion joints to be spaced a maximum of 100 feet apart or as directed by the Engineer.
 - Expansion joints will also be required at tangent points, ramps, and inlets.
 - Contraction joints are to be cut into curbs and gutter every 10 feet to a depth of D/4, where D equals the thickness of the section. The spacing of 10 feet may be reduced at closures but no section of curb and gutter shall be less than 6 feet.
 - There will be a minimum of 10 feet tie in of curb inlets on each side of the inlet. An expansion joint will be used on each side of the tie in.
 - Cost of joints to be included in the unit bid price for concrete curb with gutter.

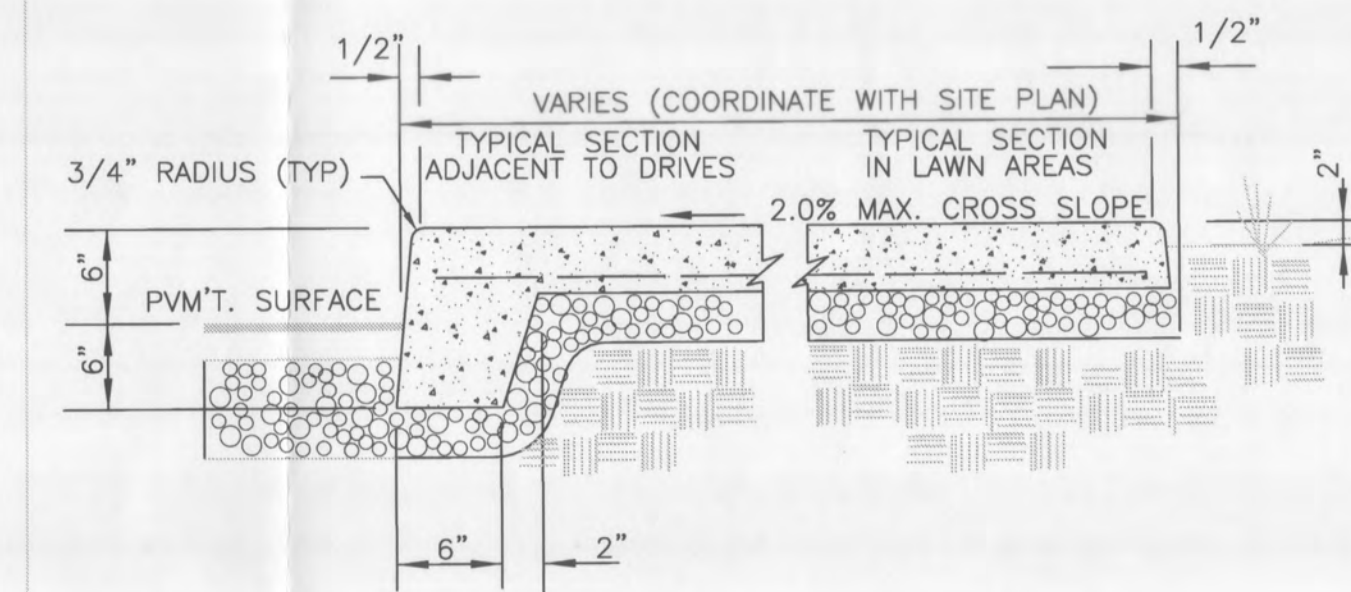
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CURB WITH GUTTER	DWG. NO. ST-200
ASST. DIR. [Signature]	DATE: 7/13/10	REVISED: 07/21/00
DIRECTOR: [Signature]	DATE: 7/24/10	

METRO CURB & GUTTER 9
SCALE: N.T.S.



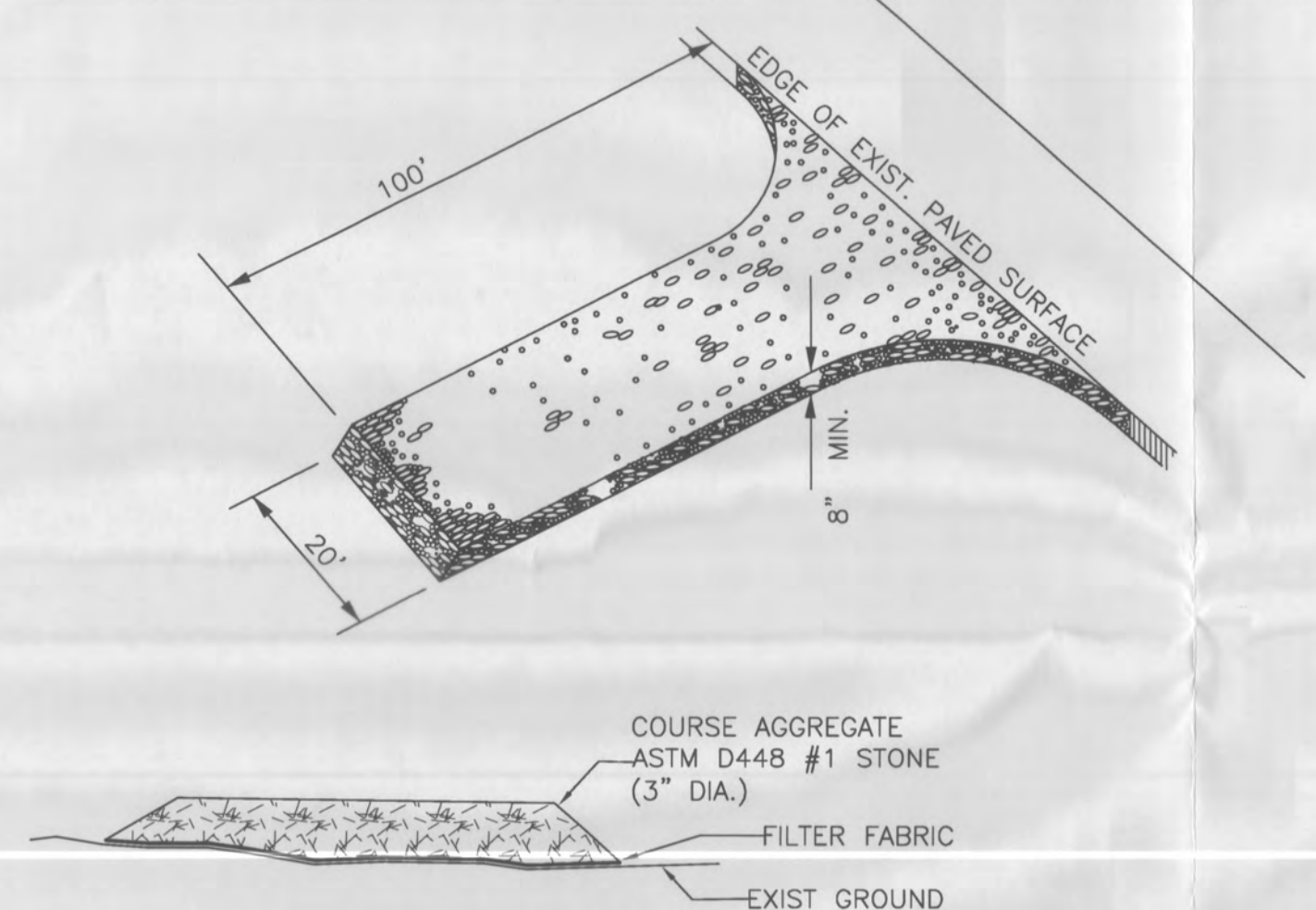
METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY DEPARTMENT OF PUBLIC WORKS	STANDARD CONCRETE SIDEWALK	DWG. NO. ST-210
ASST. DIR. [Signature]	DATE: 5/2/11	REVISED: 04/13/01
DIRECTOR: [Signature]	DATE: 5/19/11	

METRO SIDEWALK 4
SCALE: N.T.S.



- NOTES:**
- SIDEWALK TO BE 4" THICK BROOM FINISHED CONCRETE WITH 4,000 PSI 28 DAY COMPRESSIVE STRENGTH.
 - 4" COMPACTED GRAVEL BASE UNDER CONCRETE.
 - PLACE 3" CONTROL JOINT EVERY 5 FEET AND A 1/2" EXPANSION JOINT EVERY 20 FEET ALONG ENTIRE LENGTH.
 - PLACE 3" EXPANSION JOINT ADJACENT TO ALL STRUCTURES AND OTHER FIXED OBJECTS.

SIDEWALK 3
SCALE: N.T.S.

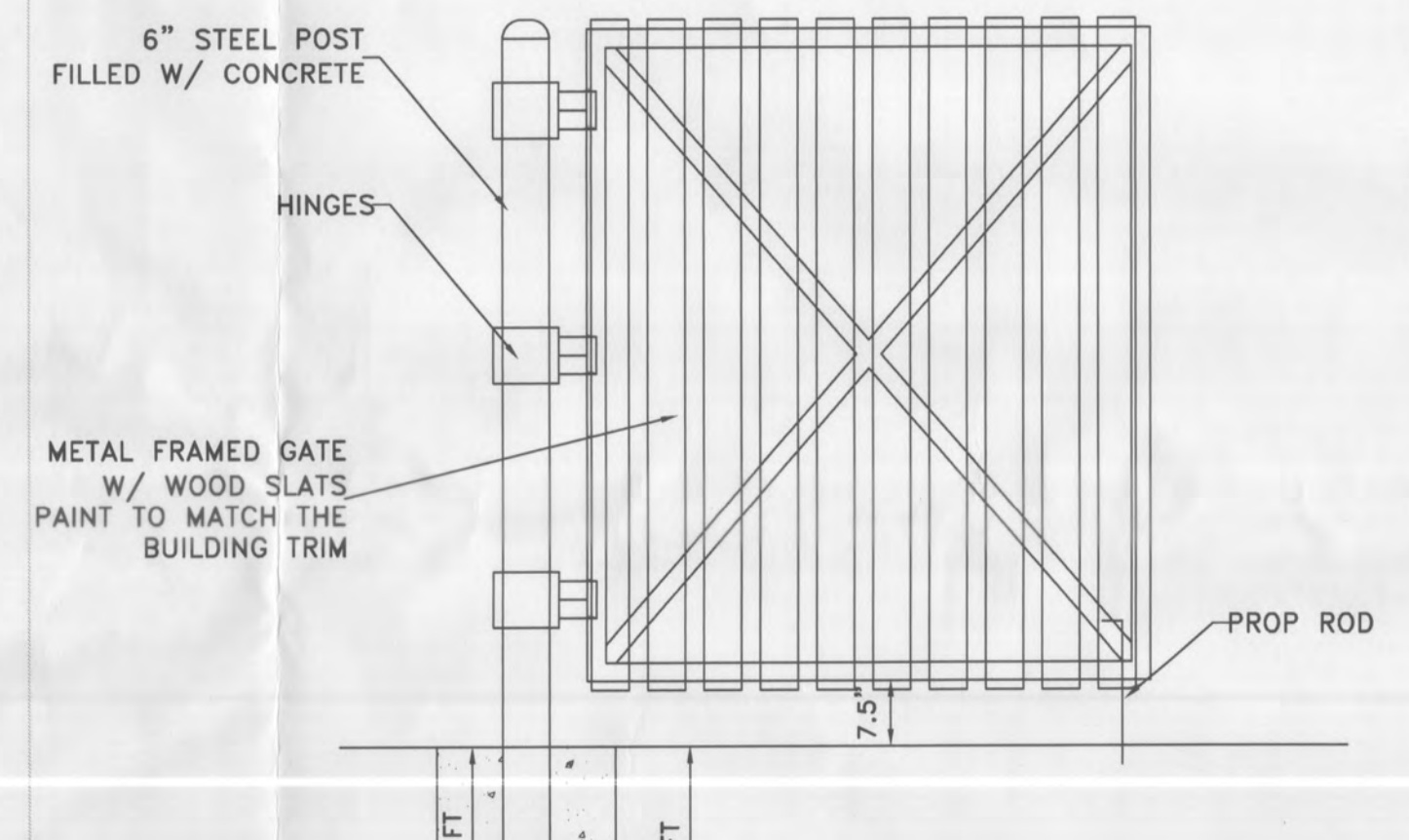


- NOTES:**
- MAINTAIN ACCESS TO PREVENT TRACKING SOIL ONTO PUBLIC ROADS.
 - APPLY ADDITIONAL STONE AS NEEDED.
 - LOCATE AT MAIN CONSTRUCTION ACCESS.

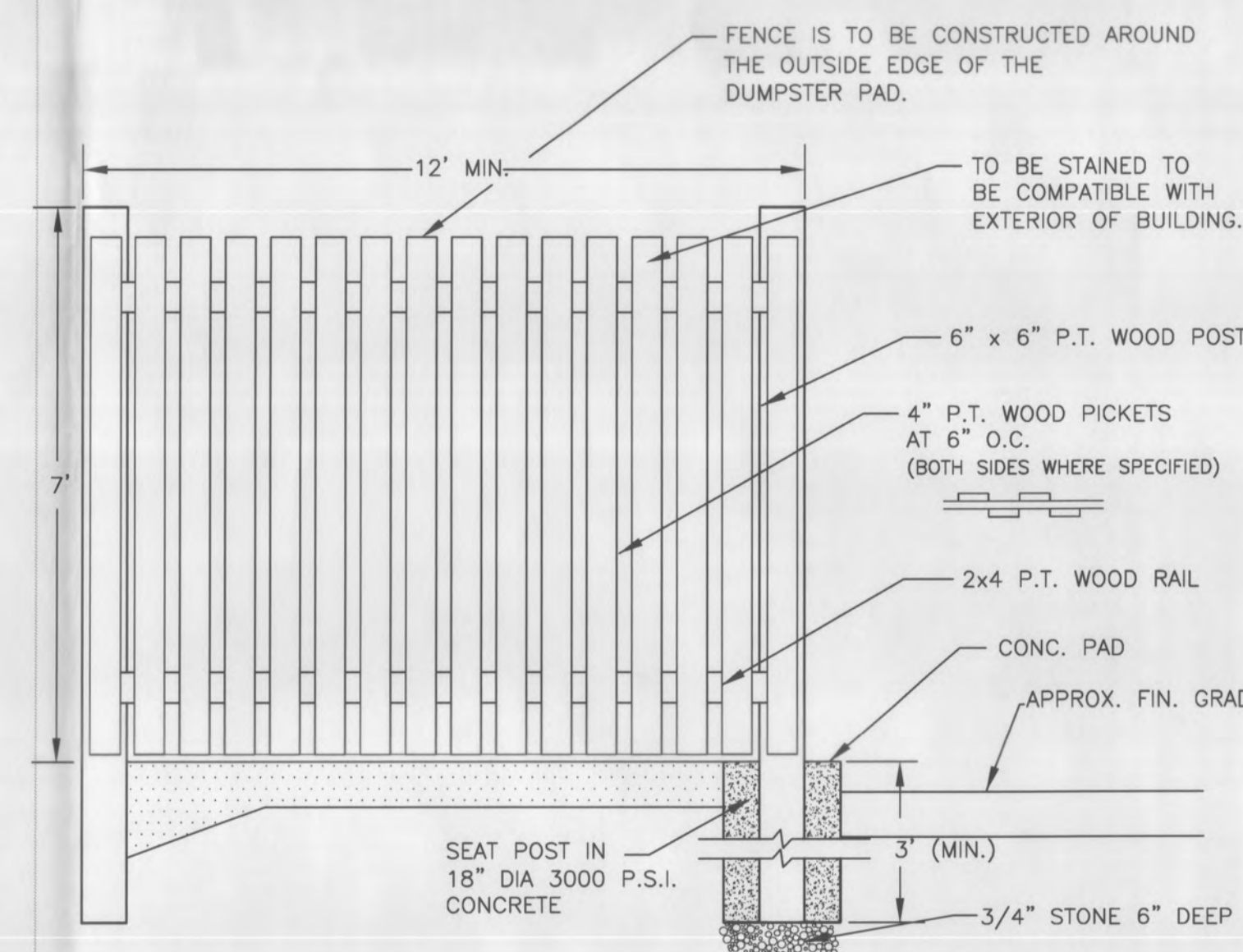
CONSTRUCTION ACCESS 11
SCALE: N.T.S.

DETAIL 8
SCALE: N.T.S.

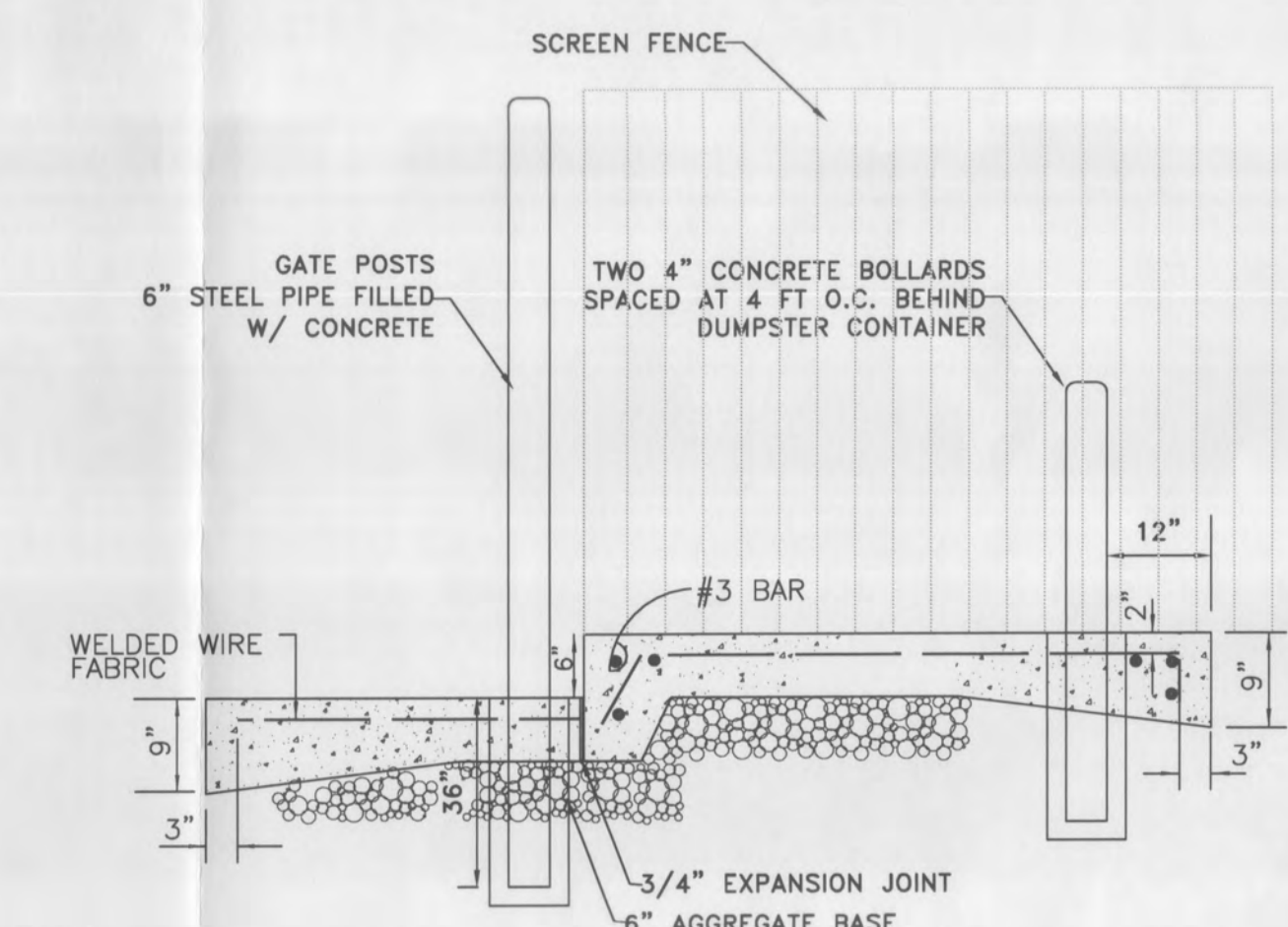
DETAIL 5
SCALE: N.T.S.



DUMPSTER GATE 2
SCALE: N.T.S.



SCREEN FENCE 6
SCALE: N.T.S.



- NOTES:**
- 6" MINIMUM CONCRETE APPROACH PAD AND DUMPSTER PAD. PAD TO BE A MINIMUM OF 12'x12'.
 - THICKEN CONCRETE PAD TO 9" THICK AROUND EDGES FOR 2 FEET MINIMUM.
 - INSTALL 6x6/10x10 WELDED WIRE MESH W/ 12" MIN LAP FROM THE END CROSS WIRES. REINFORCING STEEL AT PERIMETER TO BE 3" CLEAR OF ALL EDGES.
 - MOUNT OPAQUE GATES ON 6" STEEL BOLLARDS. BOLLARDS TO BE SET IN CONCRETE A MINIMUM 36" DEEP AND FILLED WITH CONCRETE AND PAINTED BRIGHT YELLOW.

DUMPSTER PAD 1



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Phone 615-504-6617
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PRELIMINARY SP [CASE NO. 2015SP-017-001]

PILLOW STREET COTTAGES

1322 Pillow Street, Nashville, TN 37203
Map 105-07 Parcel 136 & 137

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NO.	DESCRIPTION

PROJ. NO.: 03478

DATE: 2015.03.12

DETAILS

C4.1



G1 CORNER PERSPECTIVE



D1 SIDE ELEVATION



A1 SIDE ELEVATION

ELEVATIONS & PERSPECTIVES

PROPOSED CONSTRUCTION:
PILLOW STREET COTTAGES
 1322 PILLOW STREET, NASHVILLE, TN

A4.1

REV.	DATE	DESC.
0	01.30.15	FOR SP APPROVAL

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