

Burchwood Bungalow

Preliminary SP Application# 2014P-088-001

Map 072-10, Parcel 63.00

1033 Burchwood Avenue

Nashville, Tennessee

Purpose: To Create A Specific Plan District To Allow 8 Single Family Residential Homes.

Notes:

- 1) The development of this project shall comply with the requirements of the adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, article X, Tree Protection and Replacement Procedures).
- 2) Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 75-940 and approved by the Metropolitan Department of Water Services.
- 3) This property is shown in Zone "C" and outside the 100-Yr Floodplain as shown on FEMA Map 47037C0228F dated April 20, 2001.
- 4) All sidewalks are to be constructed in conformance with the Major and Collector Street Plan as well as Metro Public Works Sidewalk Design Standards.
- 5) Wheelchair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings.
- 6) The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit.
- 7) Per Fire Marshal no part of any building shall be more than 500 ft. from a fire hydrant via an approved hard surfaced road. Metro Ordinance 095-1541 Section 1558.020 B. Fire mains shall be large enough to flow required fire flow. Mains over 600 ft. in length should be increased to the next size larger in diameter.
- 8) Any approvals are subject to Public Works Approval of the construction plans. Final design and improvements may vary based on field conditions.
- 9) Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.
- 10) Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (minimum driveway culvert in Metro ROW is 15" CMP).
- 11) All development within the boundaries of this plan meets the requirement of the American With Disabilities Act and the Fair Housing Act.
- 12) For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the RM20-A zoning district as of the date of the applicable request or application.
- 13) Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- 14) Building elevations for all street courtyard and parking area facades shall be provided with the final site plan.

Developer/Owner:

Landmark Homes of Tennessee Inc.
6064 Central Pike
Mt. Juliet, TN 37122
Contact: Gary Waniewski
Phone: 615-773-0700

Engineer/Applicant:

Site Engineering Consultants, Inc.
C/O Jamie Reed, P.E., R.L.S.
President/Design Engineer
850 Middle Tennessee Blvd.
Murfreesboro, TN 37129
Phone: 615-895-7901
Fax: 615-895-2567

Floodplain Note:

This property lies within Zone X, not in a Special Flood Hazard Area, as defined by FIRM Maps for Nashville & Davidson County, Tennessee
Map Number 47037C0228F, Effective date April 20, 2001.

SP Development Standard:

Existing Use = Daycare Center
Proposed Use = Multi-Family Residential
S.U.1010
Type "A" Unit Footprint 24'x30' (8 Units) (2,160 Sq Ft.)
Type "B" Unit Footprint 30'x30' (2 Units) (2,700 Sq Ft.)
- @ 3-BR Units (3-Story Stacked)
Total Floor Area: 18,360 Sq Ft.
Total Land Area: 0.472 Acres
Impervious Surface Area: 0.27 Acres
Building Height = 3 Story, 38'

Setbacks Standards:

Front: Builds To 5-10'
Side: 5'
Rear: 5'

Buffer Yard Requirements:
Provided: None Required: None

Deed Reference:

8th Council Manic District Davidson County, TN
Council Person: Scott Davis
Existing Zoning = RB&CS
Proposed Zoning: SP
Fallback Zoning: RM20-A
Adjacent Zoning: MU2-A
Tax Map 072-10, Parcel 63.00
Parcel ID: 072-10-0-063.00

Parking Standards:

Required: (8 Units x 2.0 Sp/Unit For 3-BR)+16 Spaces
Total Provided: 32 Spaces

Site Data:

8 Bldgs. (Area: 0.472 Acres)
ISR = $\frac{18,360}{43,560} = 42\% = 58\%$



Site Location Map
Not To Scale

Electric Service:

Nashville Electric Service (NES)
1214 Church Street
Nashville, Tennessee 37246
(615) 747-6607

Gas Service:

Nashville GAS (Piedmont)
(615) 734-0734

Water Service:

Metro Water Service
1600 2nd Avenue North
Nashville, Tennessee 37208
(615) 862-4598

Sewer Service:

Metro Water Services
1600 2nd Avenue North
Nashville, Tennessee 37208
(615) 862-4598

Telephone Service:

Bellsouth
(800) 285-2020

Utility Location:

Tennessee One-Call
(800) 351-1111

Drawing Index

Sheet No.	Title
C0.0	Cover Sheet
C1.0	Existing Conditions, Initial SWPP Plan, Demolition Plan
C2.0	Site Plan
C3.0	Utility Plan
C4.0	Grading & Drainage Plan
C5.0	Notes & Details
C5.1	Details
L1.0	Landscape Plan
L2.0	Landscape Plan
A2.1	Exterior Elevations

S.E.C. Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

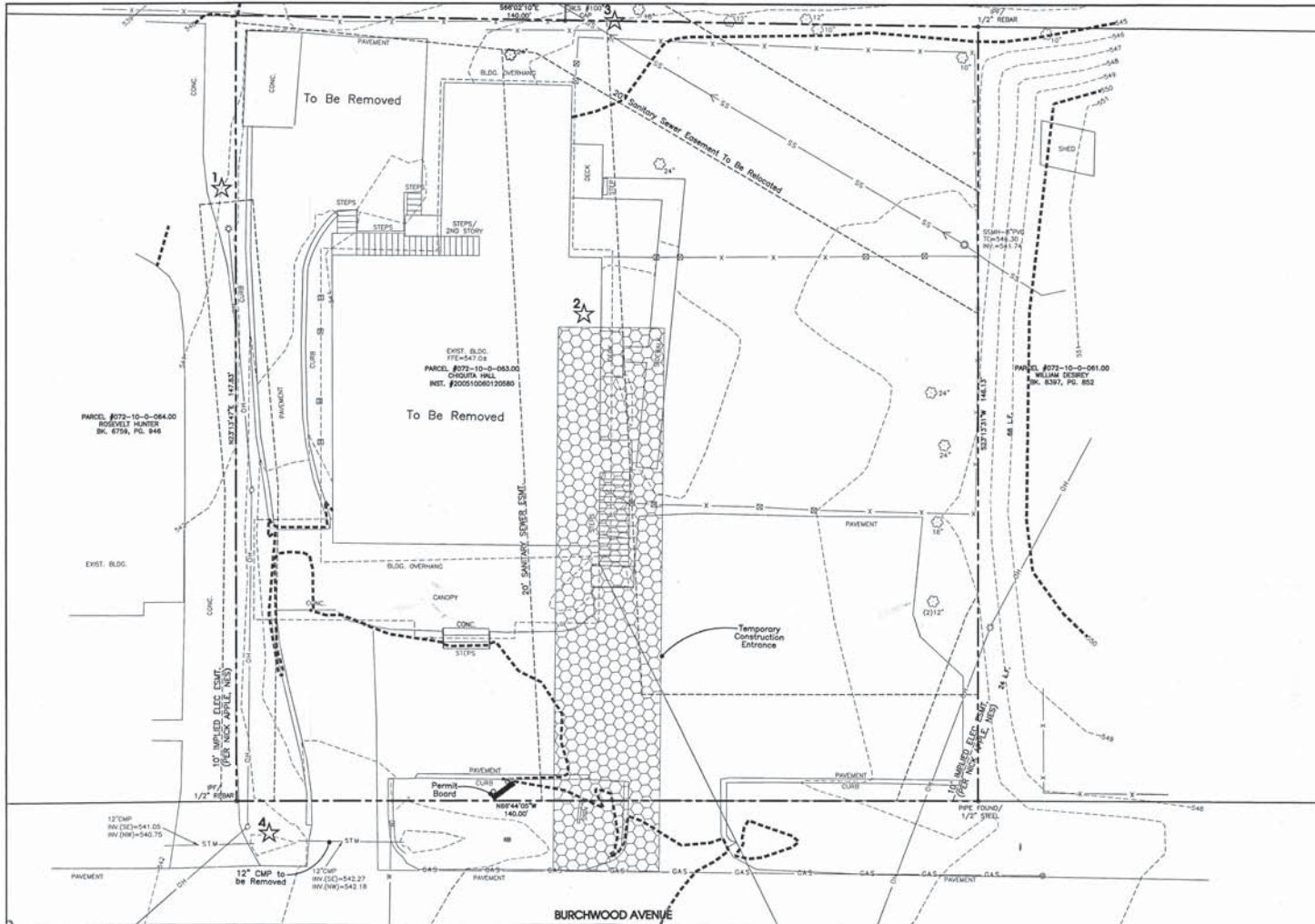
850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: JREED@SEC-CIVIL.COM FAX: (615) 895-2567
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



By: James F. Reed III Date: 1-12-15
Jamie F. Reed III P.E. TN. Reg. #109938

SP Development Schedule
SP To Be Developed In One Phase

Sheet C0.0
Burchwood Bungalow
Preliminary SP Application
S.E.C. Project #14310
Submitted: 10-30-14
Revised: 12-17-14



Legend:

EXIST. CONCRETE MONUMENT	INLET PROTECTION FILTER	BENCHMARK	SEWER/STORM FLOW DIRECTION	EXISTING PHONE	EXISTING STORM
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL	BLOW OFF VALVE	TENTIC ARROW	EXISTING ELECTRIC	PROPOSED STORM
IRON PIN FOUND (I.P.F.)	H.C. SIGN	CONCRETE BELLARD	TURN LANE ARROWS	PROPERTY LINE	EXISTING CONTOUR LINES
EXIST. SIGN POST	HEADWALL	GATOR BASIN	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	EASEMENTS	PROPOSED CONTOUR LINES
EXIST. SEWER CLEANOUT	WINGED HEADWALL	CURB INLET	WATER METER	RIGHT OF WAY	EXISTING SANITARY SEWER
EXIST. MANHOLE (COVER & FRAMES)	MANHOLE	AREA DRAIN	WHEEL STOP	EROSION CONTROL SILT FENCE	PROPOSED SANITARY SEWER
EXIST. CATCH BASIN (STORM SEWER)	PROPOSED SPOT ELEVATION	CONCRETE THRUST BLOW	DOUBLE DETECTOR CHECK VALVE	EROSION S.D.	EXISTING WATER
EXIST. WATER/GAS VALVE	EXIST. SIGN ELEVATION	FIRE DEPT. CONNECTION	DRAINAGE STRUCTURE DESIGNATION	EXISTING FENCELINE	PROPOSED WATER
EXIST. TELEPHONE RISER	POST INDICATOR VALVE	FIRE HYDRANT	MINIMUM BUILDING SETBACK LINE	PHASE BOUNDARY	
EXIST. GAS RISER	REDUCER	GAS METER	DRYLOD CURB	EXISTING GAS LINE	
ELECTRICAL ENCLOSURE	REMOTE FIRE DEPT. CONNECTION	GATE VALVE & BOX	CURB & BUTTER	EXISTING GAS LINE	
EXIST. WATER METER	REVISION NUMBER	EXTERIOR CLEANOUT	CONCRETE SWALE	PROPOSED GAS LINE	
EXIST. UTILITY POLE	ISP RAMP				
EXIST. FIRE HYDRANT	BLINDY FLOW ARROW				

Temporary Cover Seeding Mixtures

Seeding Dates	Cross Seed	%
January 1 to May 1	Italian Rye	33%
	Korean Lespedeza	33%
	Summer Oats	34%
May 1 to July 15	Sudan - Sorghum	100%
May 1 to July 15	Starr Millet	100%
July 15 to January 1	Balboa Rye	67%
	Italian Rye	33%

Outfall Points Table

Point Number	Description
1	Western Property Line Along Parcel 64
2	Temporary Construction Exit
3	Northern Property Line Along Parcel 58 & 60
4	Southwest Property Corner (Ditch)

Stormwater Notes:

- The property owner to an adjacent tributary of the Cumberland River (Shannon Reservoir).
- These notes are to be installed within 7 days of final grading.
- Muddy vehicle tires to be hosed off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours.
- Contractor to provide an area for concrete wash down and equipment fueling to maintain with limits CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES Department during preconstruction meeting. Grading practices to include BMP's designed to control site erosion such as dispersed building materials, erosion filter, and sanitary erosion that may cause adverse impacts to water quality. The location of and/or notes referring to said BMP's shall be shown to the CDSC Plan.
- Existing boundary and topographical information taken from a survey prepared by SEC, Inc.
- All erosion control measures are to be removed prior to as-built approval.
- Disturbed/Graded Area: 0.47 Acres

Stormwater As-Built Certification:

Notwithstanding to the North Stormwater Management Manual, Volume 1, Section 3.5, As-Built Certification, NPDES Stormwater District must approve the following as-built prior to issuance of the Use & Occupancy Permit:

- Final stormwater management plan
- Final stormwater quality infrastructure
- Final stormwater monitoring
- Final site stabilization
- Final site certification

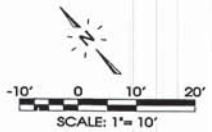
Engineer shall contact Stormwater Development Review Staff for submitted requirements.

Storm Water Permit Certification:

The Project Associated With These Submitted Plans is Covered Under Tennessee Construction General Permits (Not Qualified for)

Disturbed/Graded Area: 0.47 Acres

Design Engineer - James F. Reed II, Inc. #109328



* Muddy vehicle tires to be hosed off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours.

All erosion control measures are to be removed prior to as-built approval.

Disturbed/Graded Area: 20,470 Sq.Ft.

* Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with the NPDES Department during the pre-construction meeting.

Existing Boundary & Topographical Information Taken From A Survey Prepared By SEC, Inc.

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING • SURVEYING • LAND PLANNING

800 MIDDLE TENNESSEE BUILDING • MEMPHIS, TENNESSEE 38102
14310 BIRCHWOOD AVENUE, SUITE 200 • NASHVILLE, TENNESSEE 37217
NO PORTION OF THIS DOCUMENT MAY BE REPRODUCED WITHOUT THE WRITTEN PERMISSION OF SEC, INC.

PROJECT NO. 14310
JOB NO. 14310
SHEET: C1.0

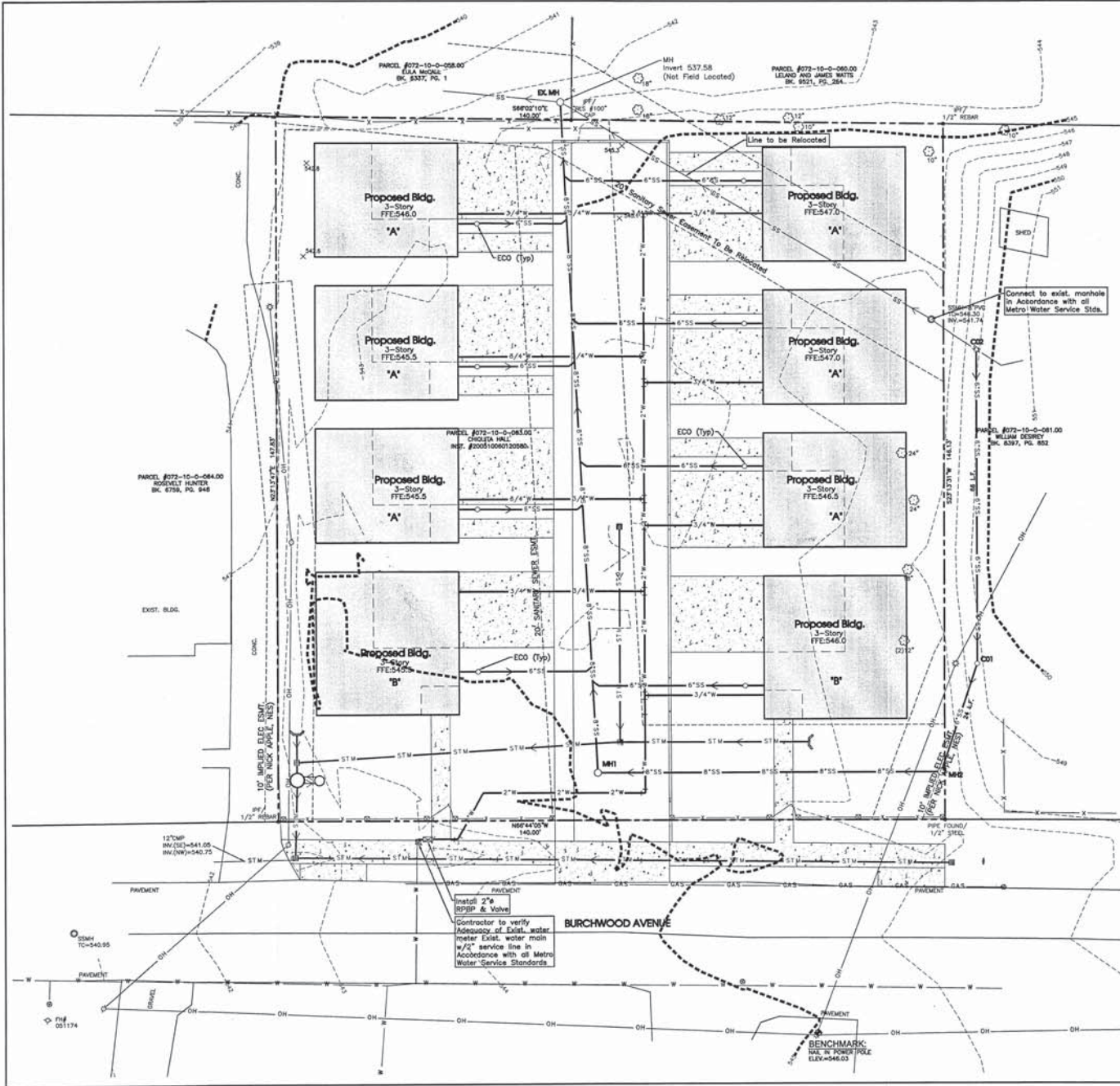
Burchwood Bungalow
1033 Burchwood Ave.
Preliminary SP Application#
Nashville, Tennessee

REVISIONS: 12-17-14, 02/01/2016

DRAWN BY: SJA
DATE: 2-7-14
CHECKED: JBF
FILE NAME: 14310project.dwg
SCALE: 1"=10'
JOB NO. 14310

Existing Conditions, Initial SWPPP & Demolition Plan

C1.0



Legend:

□	EXIST. CONCRETE MONUMENT	○	BENCHMARK
●	IRON PIN SET (P.F.S.)	○	HANDICAP PARKING SYMBOL
○	IRON PIN FOUND (P.F.F.)	V.A.	NON ACCESSIBLE HANDICAP DESIGNATION
+	EXIST. SIGN POST	○	HC SIGN
○	EXIST. SEWER CLEANOUT	+	PROPOSED SIGN POST
○	EXIST. MANHOLE (SEWER & PHONE)	+	CONCRETE BOLLARD
○	EXIST. CATCH BASIN (CUSTOM SEWER)	○	WHEEL STOP
○	EXIST. WATER/GAS VALVE	+	CONCRETE SODWALK
○	EXIST. TELEPHONE RISER	+	EXTENDED CURB
○	EXIST. GAS RISER	+	CURB & GUTTER
○	ELECTRICAL ENCLOSURE	+	TRAFFIC ARROW
○	EXIST. WATER METER	+	TURN LANE ARROWS
○	EXIST. UTILITY POLE	+	ROBSON NUMBER
○	EXIST. FIRE HYDRANT	+	DRAINAGE STRUCTURE DESIGNATION
○	POST INDICATOR VALVE	+	DRAINAGE PIPE DESIGNATION
○	BLOW OFF VALVE	+	RFI RAMP
○	REDUCER	+	RAMP/FLOW ARROW
○	REMOVE FIRE DEPT. CONNECTION	+	WELT BOLLER PROTECTION
○	CONCRETE THRUST BLOCK	+	PROPOSED SPOT ELEVATION
○	DOUBLE DETECTOR FIRE CHECK VALVE	+	EXIST. SPOT ELEVATION
○	FIRE DEPT. CONNECTION	+	SEWER/STORM FLOW DIRECTION
○	FIRE HYDRANT	+	CATCH BASIN
○	GATE VALVE & BOX	+	CURB INLET
○	WATER METER	+	AREA DRAIN
○	GAS METER	+	HEADWALL
○	GREASE TRAP	+	WINGED HEADWALL
○	EXTERIOR CLEANOUT	+	CONCRETE SWALE
○	MANHOLE	+	TYPE - 2 - HEADWALL

SEC Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING - SURVEYING - LAND PLANNING
 850 MIDDLE TENNESSEE BOULEVARD - MEMPHIS, TENNESSEE 37515
 901 NORTH WASHINGTON - MEMPHIS, TENNESSEE 37503
 1000 WEST WASHINGTON - MEMPHIS, TENNESSEE 37504
 1000 WEST WASHINGTON - MEMPHIS, TENNESSEE 37504

Burchwood Bungalow
 1033 Burchwood Ave.
 Preliminary SP Application#
 Nashville, Tennessee

Existing Boundary & Topographical Information Taken From A Survey Prepared By SEC, Inc.

Note:
 Private Sanitary Sewer Lines To Be 6" Class 45 PVC Pipe @ 1% Min. With Cleanouts Located 60' O.C. Sewer Shall Maintain.

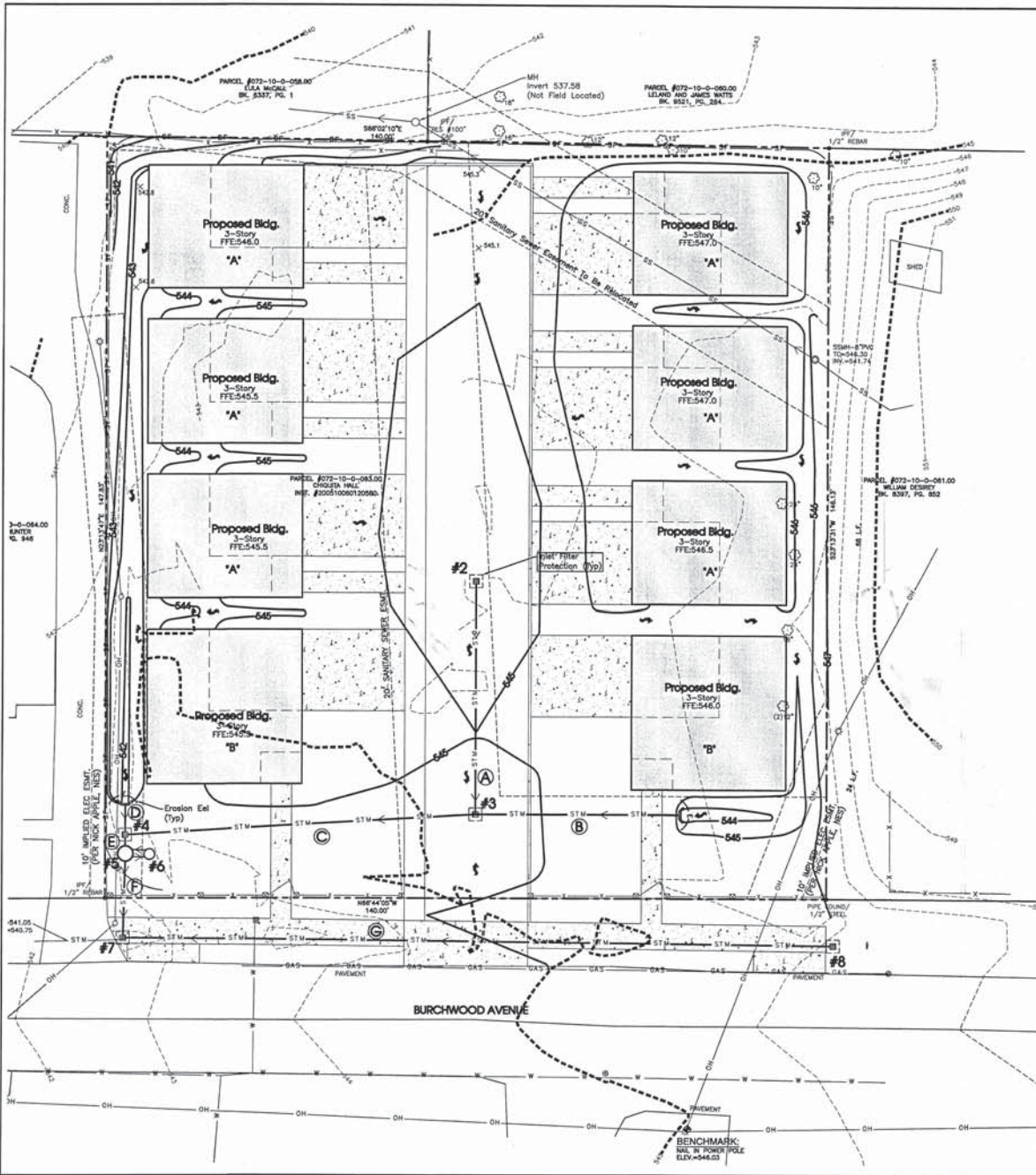
SEWER CLEANOUT SCHEDULE

CLEANOUT	T.O.C.	INV.
C01	549.0	539.30
C02	548.8	542.0



UTILITY PLAN

DATE: 3-7-14
 CHECKED: [Signature]
 FILE NAME: 14310project.dwg
 SCALE: 1" = 10"
 JOB NO.: 14310
 SHEET: C3.0



DRAINAGE STRUCTURE TABLE

STR #	T.O.C.	INV. (IN)	INV. (OUT)	DESCRIPTION
1				NOT USED
2	544.40	542.10	542.10	24"x24" Catch Basin
3	544.60	541.80	541.80	24"x24" Catch Basin
4	544.10	541.50	541.45	24"x24" Catch Basin
5	544.00	B)541.25 D)541.25	541.20	48" Manhole
6	544.00	541.20	541.20	AS-3 Aqua Swirl
7	543.20	541.05	541.05	24"x24" Catch Basin
8	545.50		542.41	24"x24" Catch Basin

PIPE TABLE

PIPE NO.	SIZE/TYPE	INV. (IN)	INV. (OUT)	SLOPE %	LENGTH (LF)
A	12" HDPE	542.10	541.80	0.67	45
B	12" HDPE	543.25	541.80	3.63	40
C	12" HDPE	541.80	541.25	0.81	68
D	12" HDPE	541.60	541.25	7.00	5
E	12" HDPE	541.45	541.20	5.00	5
F	15" RCP	541.20	541.05	0.88	17
G	15" RCP	542.41	541.05	1.00	136

Stormwater Notes:

- The property owner is an on-entitled tributary of the Cumberland River (Chattanooga Reservoir).
- Shed slopes are to be stabilized within 7 days of final grading.
- Stable vehicle tires to be hoisted off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours.
- Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-12 and CP-13 respectively. Contractor to coordinate exact location with NPDES department during pre-construction meeting. Prohibit to include BMP's designed to control site erosion such as dechlorinated building materials, chumbers, fill, and sanitary wastes that may cause adverse impacts to water quality. The location of end-of-pipe valves relating to wet BMP's shall be shown to the NPDES Plan.
- Existing inventory and topographic information taken from a survey prepared by SEC, Inc.
- All erosion control measures are to be removed prior to as-built approval.
- Disturbed/Graded Area: 0.47 Acres

Stormwater As-Built Certification:

Notwithstanding to the Metro Stormwater Management Manual, Volume 1, Section 3.8, the As-Built Certification and Stormwater Control must approve the following as-built prior to issuance of the Use & Occupancy Permit:

- Intermittent detention and storm quality infrastructure
- Public storm water infrastructure
- Set 48" or in the Manhole
- Site plan alterations

Engineer and sealed Stormwater Management Review Staff for additional requirements.

Storm Water Permit Certification:

The Project Associated With These Submitted Plans is Covered Under Tennessee Construction General Permits 100 (Qualified Site)

Total Disturbed Area is 0.47 Acres

Design Engineer: [Signature] Date: 1-12-15

Existing Boundary & Topographical Information Taken From A Survey Prepared by SEC, Inc.

Muddy vehicle tires to be hoisted off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours.

All erosion control measures are to be removed prior to as-built approval.

Disturbed/Graded Area: 0.47± Ac.

Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with the NPDES Department during the pre-construction meeting.

Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78/840 and approved by The Metropolitan Department of Water Services.

Legend:

EXIST. CONCRETE MONUMENT	EXIST. WATER METER	TURN LANE ARROWS
IRON PIN SET (P.S.)	EXIST. UTILITY POLE	REVISION NUMBER
IRON PIN FOUND (P.F.)	POST INDICATOR VALVE	DRAINAGE STRUCTURE DESIGNATION
EXIST. SIGN POST	BLOW OFF VALVE	DRAINAGE PIPE DESIGNATION
EXIST. SIGN POST	REDUCER	ISF RAMP
EXIST. MANHOLE (COVER & FRAME)	REMOTE FIRE DEPT. CONNECTION	CONCRETE THURST BLOCK
EXIST. CATCH BASIN (STORM SEWER)	DOUBLE DETECTOR CHECK VALVE	CONCRETE SPOT ELEVATION
EXIST. WATER/GAS VALVE	FIRE DEPT. CONNECTION	EXIST. SPOT ELEVATION
EXIST. TELEPHONE RISER	FIRE HYDRANT	SEWER/STORM FLOW DIRECTION
EXIST. GAS RISER	GATE VALVE & BOX	CATCH BASIN
ELECTRICAL ENCLOSURE	WATER METER	AREA DRAIN
EXIST. WATER METER	GAS METER	HEADWALL
EXIST. UTILITY POLE	GREASE TRAP	WHEED SIGN
POST INDICATOR VALVE	EXTENSION CLEANOUT	CONCRETE DRIVE
BLOW OFF VALVE	MANHOLE	TYPE - S - HEADWALL
REDUCER	EXISTING PHONE	
REMOTE FIRE DEPT. CONNECTION	EXISTING ELECTRIC	
CONCRETE THURST BLOCK	PROPERTY LINE	
CONCRETE SPOT ELEVATION	EASEMENTS	
SEWER/STORM FLOW DIRECTION	RIGHT OF WAY	
CATCH BASIN	EROSION CONTROL SILT FENCE	
AREA DRAIN	EROSION EEL	
HEADWALL	EXISTING TREELINE	
WHEED SIGN	EXISTING FENCELINE	
CONCRETE DRIVE	MINIMUM BUILDING SETBACK LINE	
	PHASE BOUNDARY	
	EXISTING GAS LINE	
	PROPOSED GAS LINE	
	EXISTING STORM	
	PROPOSED STORM	
	EXISTING CONTOUR LINES	
	PROPOSED CONTOUR LINES	
	EXISTING SANITARY SEWER	
	PROPOSED SANITARY SEWER	
	EXISTING WATER	
	PROPOSED WATER	

SEC, Inc.
 ENGINEERING - SURVEYING - LAND PLANNING
 600 MADISON BOULEVARD, NASHVILLE, TENNESSEE 37203
 PROJECT NO. 14310
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Burchwood Bungalow
 1033 Burchwood Ave.
 Preliminary SP Application#
 Nashville, Tennessee

Grading, Drainage, & Final EPC Plan

DATE: 12-17-14
 DRAWN: SLK
 DATE: 3-7-14
 CHECKED: JRF
 FILE NAME: 14310project.dwg
 SCALE: 1"=10'
 JOB NO. 14310
 SHEET: C4.0

811
 Know what's below.
 Call before you dig.

SCALE: 1"=10'

0 10' 20'

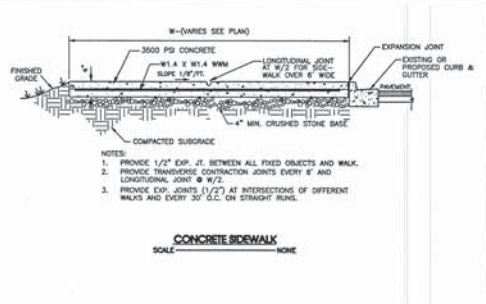
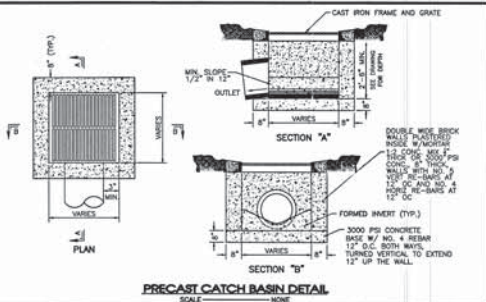
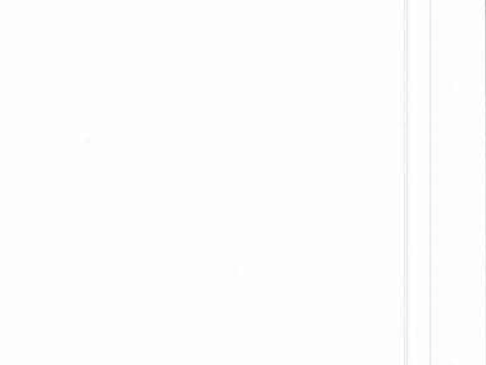
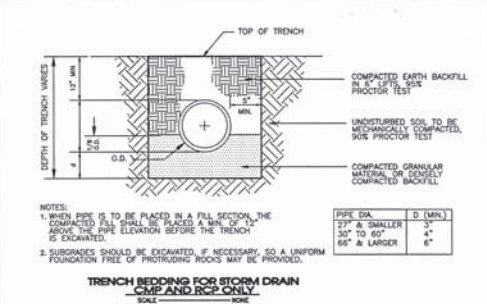
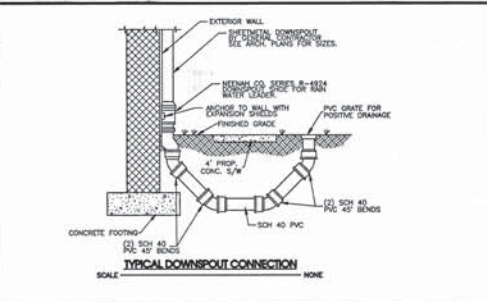
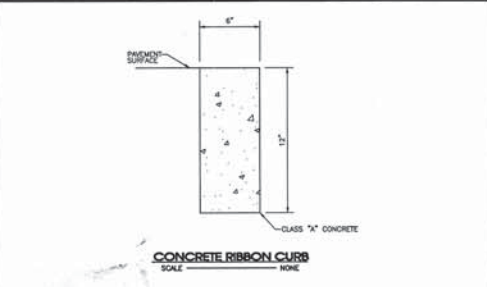
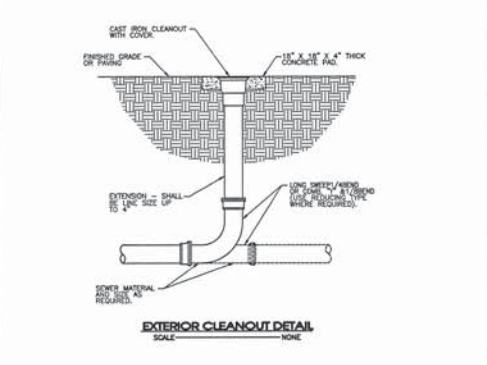
- Site Notes:**
1. Dimensions shown at curved areas are to face of curb or property line.
 2. Contractor shall immediately notify the architect or engineer of any discrepancies found between these plans and/or field conditions prior to construction.
 3. Apparent errors, discrepancies, or omissions on the drawing shall be brought to the attention of the engineer prior to bid submission. The contractor may not use apparent errors, discrepancies, or omissions present on the drawings presented for bidding for additional charges after bids have been submitted. The engineer shall be permitted to make corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the contract documents.
 4. The contractor shall employ a Registered Land Surveyor of Tennessee to provide construction layout surveying services.
 5. The contractor shall state all improvements using the geometric data provided in the drawings. It is the sole responsibility of the contractor to constantly check and check all improvements to ensure adequate finishing, both horizontal and vertical, prior to the installation of any improvements.
 6. The specifications, notes, and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The contractor shall furnish and install the work complete and ready for operation.
 7. After completion of construction, the contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other obstructions not associated with construction. The contractor is expressly responsible for ensuring the site is clean and in operable condition at the time of final acceptance.
 8. A separate R.O.M. Erosion Permit issued from Metro Public Works shall be required for any excavation or construction in the public R.O.M.
 9. The contractor is responsible for the protection and replacement of all property signs on this site.
 10. These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the professional engineer's seal. The owner shall hold harmless and indemnify the architect and engineer from and against any and all claims of any nature whatsoever arising from such use.
 11. Existing utility lines shown are approximate locations only and shall be field verified prior to any construction. If upon field location any deviations from the shown depths locations shall be reported to the owner or engineer prior to construction.
 12. The contractor will provide all necessary protective measures to safeguard existing utilities from damage during the construction of this project. In the event that special equipment is required to work over or around the existing utilities, the contractor shall be required to provide such equipment. The cost of protecting utilities from damage and furnishing of any required special equipment will be included in the price bid for other items of construction.
 13. The contractor shall notify each individual utility owner of his plan of operation in the area of their respective utilities. Prior to commencement of work the contractor shall contact each utility owner and request them to properly locate their respective utilities on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
 14. These utility owners who participate in the "Tennessee One Call" system can be notified toll free at 1-800-351-1111.

- General Utility Notes:**
1. Existing utility lines shown are approximate locations only and shall be field verified prior to any construction. If upon field location any deviations from the shown depths locations shall be reported to the owner or engineer prior to construction.
 2. The contractor will provide all necessary protective measures to safeguard existing utilities from damage during the construction of this project. In the event that special equipment is required to work over or around the existing utilities, the contractor shall be required to provide such equipment. The cost of protecting utilities from damage and furnishing of any required special equipment will be included in the price bid for other items of construction.
 3. The contractor shall notify each individual utility owner of his plan of operation in the area of their respective utilities. Prior to commencement of work the contractor shall contact each utility owner and request them to properly locate their respective utilities on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
 4. The contractor shall refer to the architectural plans for the actual location of all utility entrances including sanitary sewer laterals, domestic water and fire protection, electrical, telephone, and gas services. The contractor shall coordinate installation of utilities to such a manner as to avoid conflicts and ensure proper depths are achieved as well as coordinating with regulatory agencies as to location and scheduling of tie-ins and connections to their facilities.
 5. All underground utilities (water, sanitary sewer, storm sewer, electrical conduits, irrigation systems, etc.) shall be in place prior to the placement of all road base course material.
 6. The utility contractor shall be held responsible for all tie and tie-in fees required, as well as cost of the underground service connections to their facilities.
 7. These utility owners who participate in the "Tennessee One Call" system can be notified toll free at 1-800-351-1111.
 8. For budgeting purposes, the owner/developer should check with the Metro Water & Sewer Services for connection fees which may be substantial.
 9. All water and sewer connections shall be in accordance with the specifications outlined by the Metropolitan Department of Water & Sewerage Services.
 10. The contractor shall be responsible for reimbursing the Metropolitan Department of Water & Sewerage Services for the cost of inspection.
 11. The contractor shall provide and maintain the construction identification signs for approved private developments.

- Metro Water & Sewer Notes:**
1. Reduced pressure back flow preventer (R.B.P.F.) or dual check will be required on all tests and fill lines (umpers) needed for water main construction and must be approved by the Department of Water Services.
 2. Water meters shall be no deeper than 24" from the top of the meter to the proposed finished grade.
 3. The contractor shall notify the Metro Water and Sewer Services and arrange inspection prior to beginning construction of waterline services.
 4. Coordinates and dimensions shown are to centerline of pipe, or fitting, or to centerline of manhole.
 5. The top elevation of all manholes in paved areas shall match finished grade. The top elevation of manholes in grass areas shall be 6" above the finished grade.
 6. The minimum horizontal separation between the closest two points of the water and sewer lines shall be 10". The minimum vertical separation between the closest two points of the water and sewer lines shall be 18".
 7. The sanitary sewer pipe material shall be P.V.C., S.D.R. 35, sewer pipe unless otherwise noted on plan.
 8. All connections to existing manholes shall employ the soring and reallent connector method.
 9. All water construction shall be in accordance with specifications and standard details of the Metro Water Services.
 10. The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
 11. The contractor is to provide the maintain the construction identification signs for private development approved.
 12. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
 13. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.

- Grading Notes:**
1. The contractor shall comply with all pertinent OSHA provisions and the manual of accident prevention and construction, issued by the A.S.C. of America, Inc. and the health regulations of construction issued by the U.S. Department of Labor. The contractor is responsible for all aspects of daily worker and site safety.
 2. The contractor shall conform to all local codes and perform all work in accordance with the required governing agencies and their standard drawings and specifications. The contractor shall give all notices and obtain all inspections by the required governing agencies.
 3. Topsoil and other material not suitable for fill shall be disposed of offsite in accordance with and at the direction of the owner's representative. Material disposed of off site shall be disposed of in a lawful manner and in areas that are permitted for the reception of such material.
 4. Excavated subgrade and each layer of fill material shall be of quality acceptable to the owners representative and shall not include organic material, boulders, debris, and other material. Cut or stripped areas shall be proof rolled prior to any filling. All grading activity and placement of material shall be monitored by a qualified geotechnical engineer (or their representative) or as directed by the owner's representative. Material shall meet or exceed compaction requirements specified in the project specifications or for roads and drives, with the applicable sections for material and placement for roadways in the Metropolitan Nashville Department of Public Works specifications.
 5. Topographic information provided by field run survey by SED, Inc.
 6. Contractor shall verify existing and finished grades, dimensions, etc. prior to beginning work and notify the owners representative of any discrepancies and/or errors in the plans prior to commencing work, S.E.C. Inc. makes no warranties or claims about the accuracy of the existing survey or conditions.
 7. The locations of utilities shown within these plans are approximate only. Exact locations shall be determined in the field by contacting the utility companies involved.
 8. The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor shall be required to furnish such equipment. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
 9. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility. Some utilities can be located by calling the Tennessee One Call System at 1-800-351-1111. The contractor shall give the affected utility owners no less than 3, nor more than 10 days notice.
 10. The site work contractor shall coordinate the installation of all underground utilities with his work. All underground utilities (water, sanitary sewer, storm sewer, electrical conduits, irrigation systems, and any other miscellaneous underground utilities, devices, or structures) shall be in-place prior to the placement of base course material.
 11. The contractor shall cut existing pavement and curbs as necessary to assure a smooth fit and continuous grade.
 12. The contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes and all utilities prior to construction.
 13. Clearing and grubbing limits shall include all areas disturbed by grading operation.
 14. Any graded or disturbed areas shall have 4 inches of topsoil, seed, mulch, fertilizer and water applied until a healthy stand of grass is obtained. The restoration shall closely follow construction.
 15. All pipe entering storm sewer structures shall be grouted to ensure connection of structure is water tight.
 16. This property lies within Zone X, not in a Special Flood Hazard Area, as defined by FEMA maps for Nashville & Davidson County, Tennessee map 4703702228F, Effective date April 20, 2001.
 17. Handicap accessible routes shall be constructed and sloped in accordance with all applicable provisions of the A.D.A.
 18. No slope shall be steeper than 3:1 unless otherwise noted. Use erosion control matting on slopes 3:1 or steeper.
 19. The contractor shall make field adjustments as necessary to provide a smooth vertical and horizontal transition between existing and proposed pavements, slopes, etc.
 20. This plan makes no determination or guarantee of the suitability of the geotechnical conditions for the work indicated. Determination of the subsurface conditions is solely the responsibility of the contractor.
 21. The project limits are to be property lines. No work shall be done, and the existing features shall not be disturbed, outside of the project limits.

- Erosion Control Notes:**
1. The site contractor is responsible for establishing and maintaining suitable erosion and sediment control devices on-site during construction as required to prevent all from leaving site. Silt will not be allowed beyond construction limits.
 2. The contractor is responsible for removing silt from site if not reusable on-site and ensuring plan alignment and grade in all ditches at completion of construction.
 3. The contractor is responsible for cleaning out all storm drainage structures, including flumes, pipes, etc. prior to completion of this project.
 4. Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.
 5. Erosion control measures are to be installed prior to any grading on-site and are to be maintained in place until stabilization of erodible soils has been accomplished.
 6. Prior to commencing cut and fill operations, contractor shall install all fencing and detention ponds.
 7. Stabilization measures shall be initiated as soon as possible in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site for a phase of the project must be completed not later than 15 days after the construction activity in that portion of the site has temporarily or permanently ceased. In the following situations, temporary stabilization measures are not required:
 - A) Where the initiation of stabilization measures is precluded by snow cover or frozen ground conditions or adverse weather ground conditions, stabilization measures shall be initiated as soon as practicable; or
 - B) Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 15 days.
 8. Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.

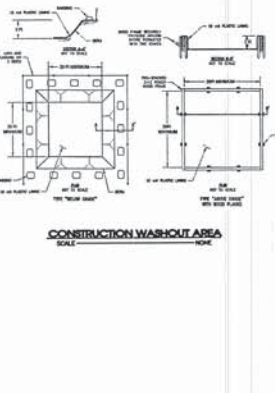
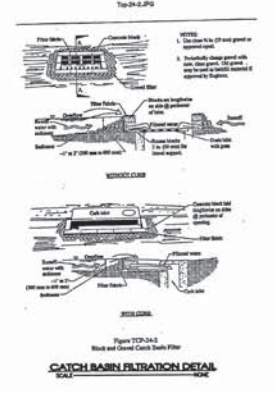
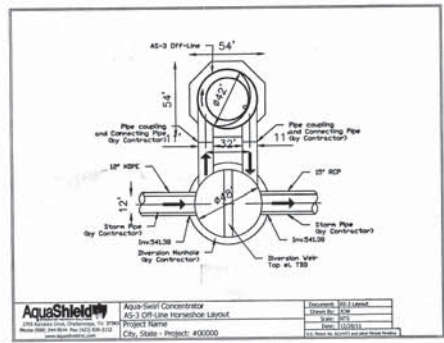
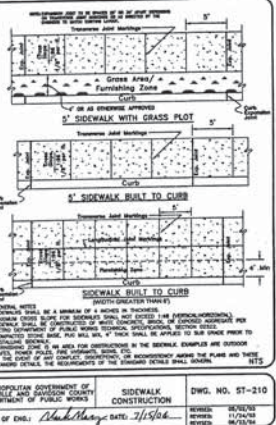
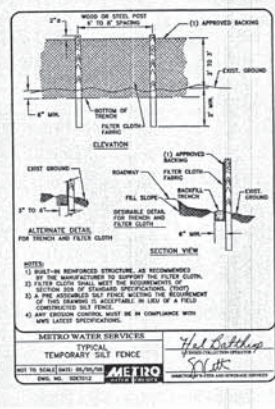
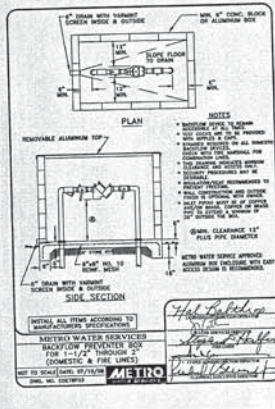
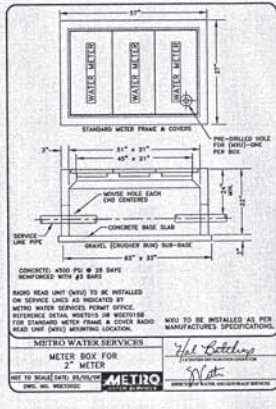
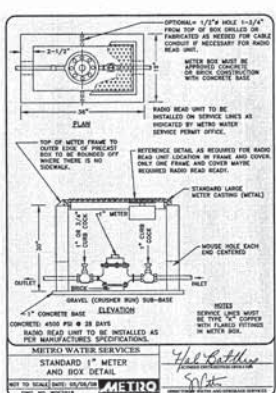
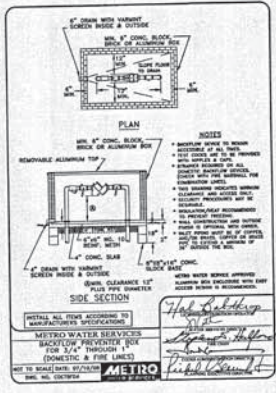


Site Engineering Consultants
 ENGINEERING • SURVEYING • LAND PLANNING
 1800 METRO CENTER BLDG. NASHVILLE, TENNESSEE 37219
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF S.E.C. INC.
 ALL AS-BUILT INFORMATION IS TO BE PROVIDED TO THE ARCHITECT AND ENGINEER WITHIN 30 DAYS OF COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL AS-BUILT INFORMATION TO THE ARCHITECT AND ENGINEER WITHIN 30 DAYS OF COMPLETION OF THE PROJECT.

S.E.C. Inc.
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 LICENSE NO. 14310

Burchwood Bungalow
 1033 Burchwood Ave.
 Preliminary SP Application
 Nashville, Tennessee

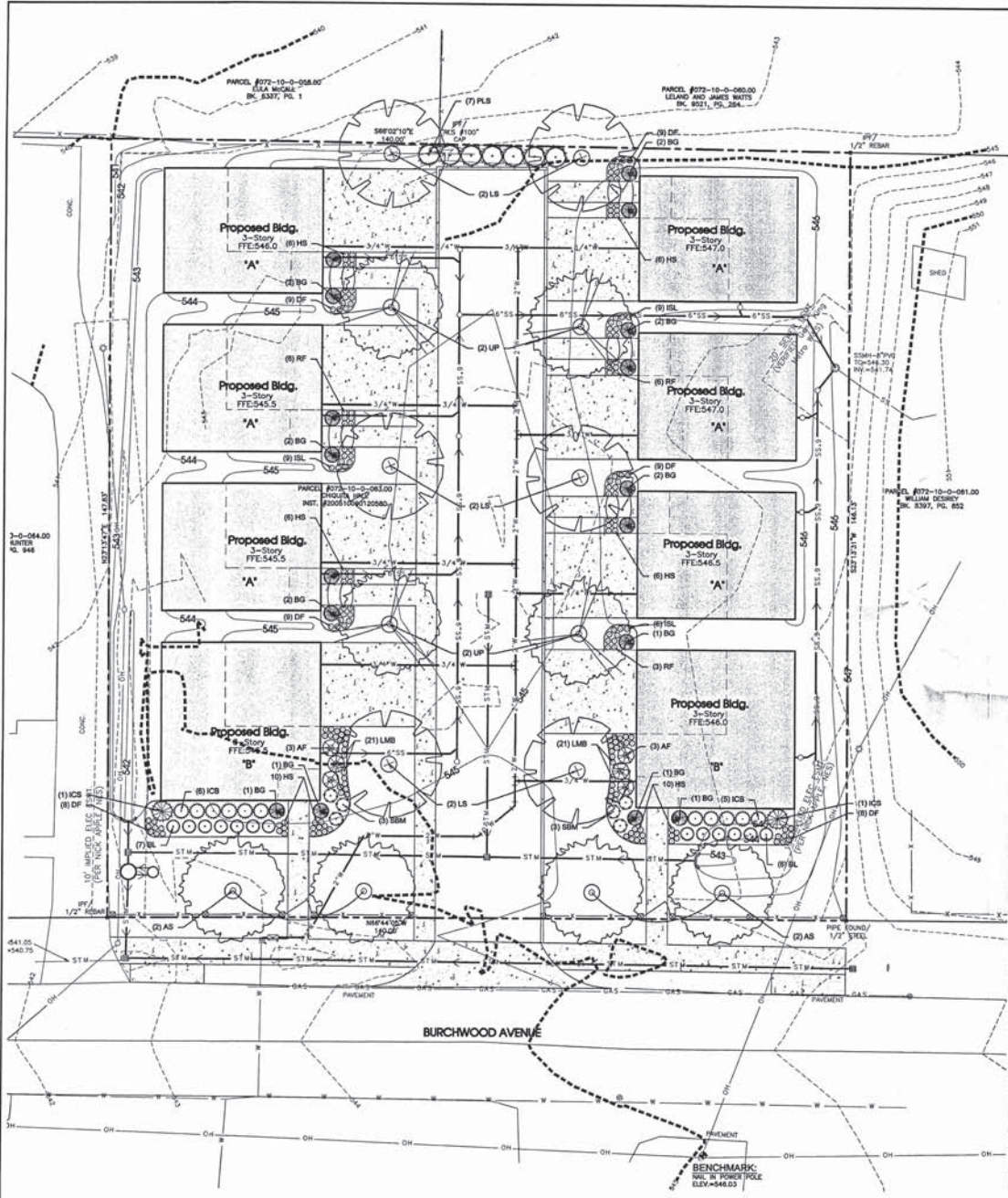
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 SCALE: 1"=20'
 JOB NO: 14310
 SHEET: C5.0



S.E.C. Inc.
 SITE ENGINEERING CONSULTANTS
 ENGINEERING SURVEYING LAND PLANNING
 6500 MIDLAND TENNESSEE
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 4000 S.W. 10TH AVENUE SUITE 100
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 WWW: WWW.SECINC.COM

Burchwood Bungalow
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 Preliminary SP Application #
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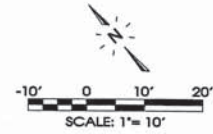
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 FILE NAME: 14310proj.dwg
 SCALE: None
 JOB NO. 14310
 SHEET: C5.1



BURCHWOOD BUNGALOW TREE DENSITY WORKSHEET	
GROSS SITE ACRES	5.47
MINOR AREA (ACRES) BUILDING COVERAGE AREA	0.15
MINOR AREA (ACRES) PARKING COVERAGE AREA	0.50
AREA OF REQUIRED COMPLIANCE X MINOR AREA REQUIRED TREE DENSITY UNITS FOR THE SITE	4.82
MINIMUM NUMBER OF PROPOSED TREES	12
MINIMUM TOTAL TREE DENSITY UNITS PROPOSED TO BE PROVIDED	120

- PLAN NOTES:**
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
 - ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
 - ALL TREES AND SHRUBS SHALL BE PLANTED 7' BEHIND BACK OF CURB.
 - ALL AREAS OF DISTURBANCE, OUTSIDE OF LANDSCAPE BEDS SHALL BE SEEDED OR SOOED WITH REBEL IF FEESUE.

Existing Boundary & Topographical Information Taken From A Survey Prepared By SEC, Inc.



Know what's below.
Call before you dig.

Legend:	
EXIST. CONCRETE MONUMENT	BENCHMARK
IRON PIN SET (P.S.)	HANDICAP PARKING SYMBOL
IRON PIN FOUND (P.F.)	VA. ACCESSIBLE HANDICAP DESIGNATION
EXIST. SIGN POST	NO SIGN
EXIST. BOWER CLEANOUT	PROPOSED SIGN POST
EXIST. MANHOLE COVER & FRAME	CONCRETE BOLLARD
EXIST. CATCH BASIN (STORM SEWER)	WHEEL STOP
EXIST. WATER/GAS VALVE	CONCRETE SIDEWALK
EXIST. TELEPHONE RISER	EXTRUDED CURB
EXIST. GAS RISER	CLUB & GUTTER
ELECTRICAL ENCLOSURE	TRAFFIC ARROW
EXIST. WATER METER	TURN LANE ARROWS
EXIST. UTILITY POLE	REVISION NUMBER
EXIST. FIRE HYDRANT	DRAINAGE STRUCTURE DESIGNATION
POST INDICATOR VALVE	DRAINAGE PIPE DESIGNATION
BLOW OFF VALVE	RIP RAP
RELOCATOR	RUNOFF FLOW ARROW
REMOVE FIRE DEPT. CONNECTION	INLET FILTER PROTECTION
CONCRETE THROUST BLOCK	PROPOSED SPOT ELEVATION
SOUBLE DETECTOR CHECK VALVE	EXIST. SPOT ELEVATION
FIRE DEPT. CONNECTION	SEWER/STORM FLOW DIRECTION
FIRE HYDRANT	CATCH BASIN
SITE VALVE & BOX	CURB INLET
WATER METER	AREA DRAIN
GAS METER	HEADWALL
DRAINAGE TRAP	WIND HEADWALL
EXTENSIVE CLEANOUT	CONCRETE SHALE
MANHOLE	TYPE - X- HEADWALL

PLANTING SCHEDULE	Plant 1410 Submittal August	Plant Key	Plant Name	Common Name	Hgt. Min.	Sp. Mtd.	Plant Size	Type	Color	Spacing	Notes
Group 1	A10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 2	B10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 3	C10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 4	D10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 5	E10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 6	F10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 7	G10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 8	H10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 9	I10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 10	J10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 11	K10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 12	L10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 13	M10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 14	N10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 15	O10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 16	P10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 17	Q10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 18	R10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 19	S10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 20	T10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 21	U10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 22	V10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 23	W10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 24	X10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 25	Y10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.
Group 26	Z10	Star magnolia 'Leprie'	Leprie Star Magnolia	Star Magnolia	12'-14'	2" Cal.	200	DB	As Shown	10' x 10'	As Shown. If clear from, straight water, full canopy, rounded.

SEC, Inc.
SITE ENGINEERING CONSULTANTS
850 MADISON AVENUE, SUITE 1100
NASHVILLE, TENNESSEE 37203
PHONE: (615) 800-7901
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E-MAIL: JRE@SEC-INC.COM
SEC, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.
SEC, INC. IS AN EQUAL OPPORTUNITY EMPLOYER.

Burchwood Bungalow
1033 Burchwood Ave.
Preliminary SP Application#
Nashville, Tennessee

DATE: 12-20-14
CHECKED: RSM
FILE NAME: 14310project.dwg
SCALE: 1"=10'
JOB NO: 14310
SHEET:

TREE SELECTION SPECIFICATIONS:

1. PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLE SUPERIOR IN FORM, COMPACTNESS AND SYMMETRY. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, AND FREE OF DISEASE AND INSECT ADULT EGGS, PUPAE OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH.
2. THERE SHALL BE NO CIRCLING OR GIRDLING ROOTS. CIRCLING ROOTS SHOULD BE CUT IN AT LEAST ONE PLACE.
3. TREES SHOULD BE ROOTED INTO THE ROOT BALL SO THAT SOIL OR MEDIA REMAINS INTACT AND TRUNK AND ROOT BALL MOVE AS ONE WHEN LIFTED, BUT NOT ROOT SOIL. THE TRUNK SHOULD BEND WHEN GENTLY PUSHED AND SHOULD NOT BE LOOSE SO IT PIVOTS AT OR BELOW SOIL LINE.
4. THE POINT WHERE THE TOP-MOST ROOT IN THE ROOT BALL EMERGES FROM THE TRUNK SHALL BE WITHIN TWO INCHES OF THE SOIL SURFACE. IT CAN BE EXPOSED AND VISIBLE AT THE SOIL SURFACE. IF IT IS NOT WITHIN THE TOP TWO INCHES OF SOIL, GENTLY REMOVE THE TOP LAYER OF SOIL FROM THE ROOTBALL UNTIL THE FIRST MAJOR ROOT FLARE IS VISIBLE.
5. THE RELATIONSHIP BETWEEN CALIPER, HEIGHT AND ROOT BALL SIZE SHALL MEET THE ANSI Z601 STANDARD, LATEST EDITION.
6. THERE SHOULD BE ONE DOMINANT LEADER TO THE TOP OF THE TREE WITH THE LARGEST BRANCHES SPACED AT LEAST 6 INCHES APART. THERE CAN BE TWO LEADERS IN THE TOP 10% OF THE TREE IF IT IS OTHERWISE OF GOOD QUALITY.
7. THE TREE CANOPY SHOULD BE SYMMETRICAL AND FREE OF LARGE VOIDS. CLEAR TRUNK SHOULD BE NO MORE THAN 40% OF TREE HEIGHT UNLESS OTHERWISE SPECIFIED IN THE PLANTING SPECIFICATIONS.
8. OPEN TRUNK AND BRANCH WOUNDS SHALL BE LESS THAN 10% OF THE CIRCUMFERENCE AT THE WOUND AND NO MORE THAN 2 INCHES TALL. PROPERLY MADE PRUNING CUTS ARE NOT CONSIDERED OPEN TRUNK WOUNDS. THERE SHOULD BE NO CONKS OR BLEEDING, AND THERE SHOULD BE NO SIGNS OF INSECTS OR DISEASE ON MORE THAN 5% OF THE TREE.
9. IF ANY OF THE ABOVE CONDITIONS ARE NOT MET, TREES MAY BE REJECTED.

TREE PLANTING SPECIFICATIONS:

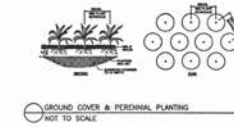
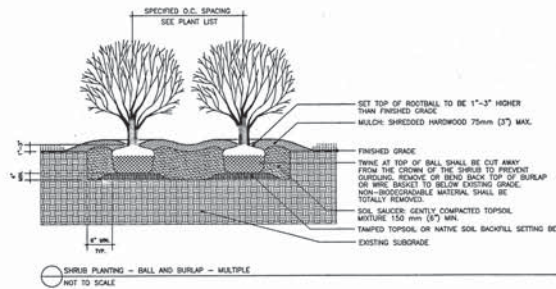
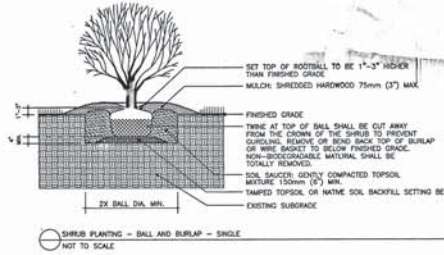
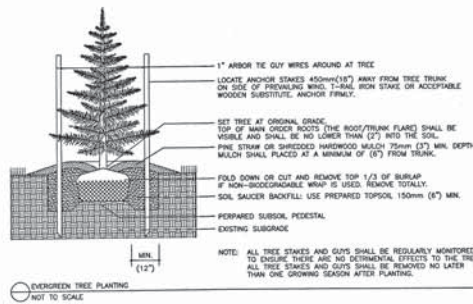
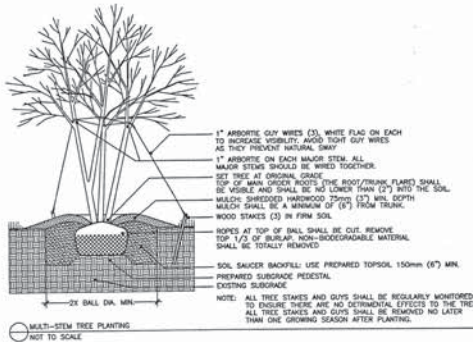
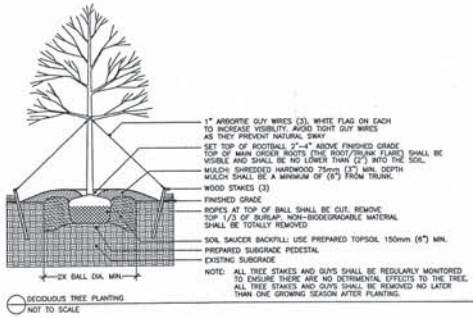
1. THE DEPTH OF THE HOLE DUG SHOULD BE ABOUT 10% LESS THAN THE DISTANCE FROM THE TOP-MOST ROOT (MEASURED WHERE IT JOINS THE TRUNK) TO THE BOTTOM OF THE ROOTBALL. THE WIDTH OF THE HOLE SHALL BE AT LEAST 2 TIMES THE WIDTH OF THE ROOTBALL.
2. CUT AWAY BURLAP AND WIRING SO THAT AT LEAST 2" OF THE ROOTBALL IS EXPOSED. SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY. ALL TWINE AND ROPE SHALL BE REMOVED FROM THE BASE OF THE TREE AND FROM ANY BRANCHES.
3. AFTER PLANTING, THE TOP-MOST ROOT SHALL BE NO MORE THAN 2 INCHES BELOW THE SOIL SURFACE. ADDITIONAL SOIL SHOULD BE REMOVED. THE SURROUNDING GRADE SHOULD BE EVEN WITH OR SLIGHTLY LOWER THAN THE TOP ROOT. PLEASE NOTE: SOME TREES WILL ARRIVE FROM THE NURSERY WITH TOO MUCH SOIL COVERING THE FIRST MAJOR ROOT FLARE. THIS SOIL SHOULD BE REMOVED. THE RESULTING SOIL LINE SHOULD BE EVEN WITH OR ABOVE THE SURROUNDING GRADE.
4. 3 INCHES OF MULCH SHALL BE APPLIED TO COVER THE SIDES OF THE ROOTBALL TO A POINT EVEN WITH THE DEPLINE. DO NOT ADD ANY SOIL TO THE TOP OF THE ROOTBALL. DO NOT ADD MORE THAN 1 INCH OF MULCH TO THE TOP OF THE ROOT BALL.
5. IN POORLY DRAINED SOIL, POSITION THE TOP OF THE ROOTBALL 10% OR MORE ABOVE THE SURROUNDING GRADE. NO MORE THAN 20% OF THE ROOTBALL SHOULD BE ABOVE THE SURROUNDING GRADE.
6. STAKING OF TREES IS NOT ALLOWED UNLESS PERMISSION IS SPECIFICALLY OBTAINED FROM THE CITY PLANNING DEPARTMENT.

LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO THESE UTILITIES.
2. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES.
3. PLANT MATERIALS AND STUMPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DISPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL. FREE OF ROOTS AND ROCKS.
4. TREAT ALL LANDSCAPE BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINE GRADING OF ALL PLANTING AREAS.
6. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETELY MAINTAINING THE WORK (INCLUDING BUT NOT LIMITED TO WATERING, MULCHING, SPRAYING, FERTILIZING, ETC.) OF ALL PLANTING AREAS AND LIVING PER PROJECT SPECIFICATIONS UNTIL FINAL ACCEPTANCE OF THE WORK BY THE OWNER.
7. PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z601 "AMERICAN STANDARD FOR NURSERY STOCK", HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
8. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE. THE LANDSCAPE CONTRACTOR SHALL MAKE ALL REPLACEMENTS PROMPTLY (AS PER DIRECTION OF OWNER).
9. THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
10. THE QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
11. EXISTING TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVELY PRUNE DEAD WOOD.
12. SEED OR SOO ALL AREAS DISTURBED BY CONSTRUCTION AND NOT DESIGNATED AS GROUNDCOVER AREAS.
13. SHRUBS AND GROUNDCOVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
14. UPON COMPLETION AND FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION, A THREE (3) YEAR LANDSCAPE MAINTENANCE BOND WILL BE REQUIRED. THIS BOND SHOULD BE SUBMITTED IN THE NAME OF THE PROPERTY OWNER OF RECORD OR A LEASE HOLDER WHO HAS TEN (10) YEARS OR MORE REMAINING ON A CURRENT LEASE. THE PROPERTY OWNER/LEASE HOLDER SHOULD ALLOW ADEQUATE TIME TO OBTAIN THE BOND AS THIS PROCESS MAY BE LENGTHY AND MAY DELAY THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

PLAN NOTES:

1. ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED TO MINIMUM 3" IN DEPTH BED EDGE AND HAVE 3" MINIMUM DEPTH OF SHREDDED HARDWOOD MULCH.
2. ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
3. ALL SHRUBS SHALL BE PLANTED 3' BEHIND BACK OF CURB.
4. ALL AREAS OF DISTURBANCE, OUTSIDE OF LANDSCAPE BEDS SHALL BE SEEDED WITH REBEL II FESCUE SEED AT 80/1000 AND STRAW OR SOO LAID. SEE PLAN FOR EACH AREA.
5. ALL LANDSCAPE AND LAWN AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM TO BE DESIGNED FOR ALL PLANT MATERIALS AND SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO AN APPLICATION FOR BUILDING PERMIT.



Metro Permit Tracking:
 Permit Tracking No.
 Codes Tracking No.
 Drawsheet Review No.
 Fire Hydrant Flow Test: #156450

SITE ENGINEERING CONSULTANTS
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REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 46320
 STATE OF TENNESSEE

Burchwood Bungalow
 1033 Burchwood Ave.
 Preliminary SP Application#
 Nashville, Tennessee

DESIGNER:	11-11-14 Staff Comments
CHECKER:	12-11-14 Staff Comments
DATE:	10-30-14
CHECKED:	
FILE NAME:	14310ymt.dwg
SCALE:	N/A
JOB NO.:	14310
SHEET:	

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