





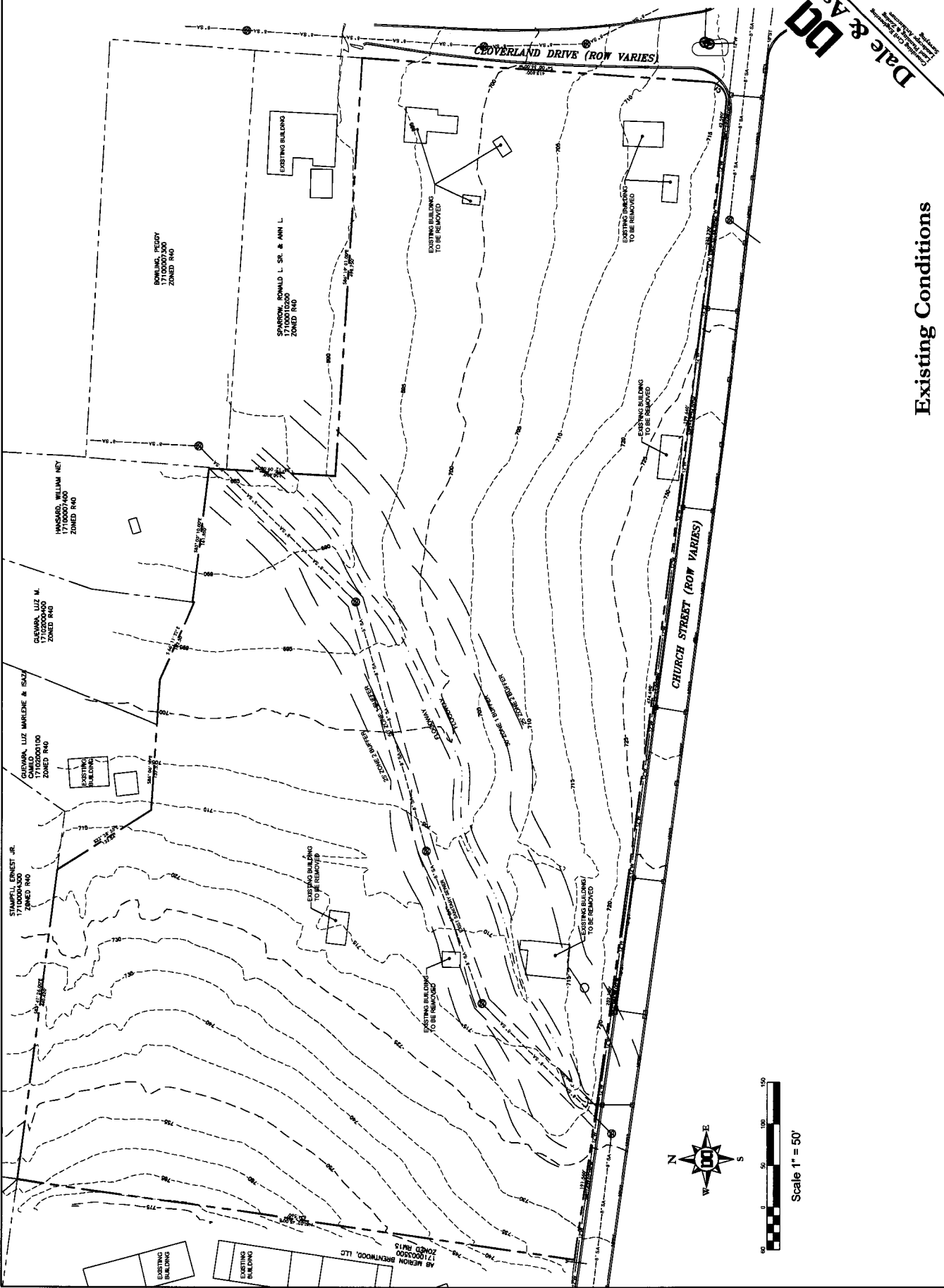
REVISIONS:  
 12/26/14  
 12/26/14  
 02/27/15

DATE: 11/26/14

**Plum Orchard**  
 Church Street Brentwood  
 Nashville, Davidson County, Tennessee

DATE: 11/26/14  
 PROJECT: 14-001  
 SHEET: 2 OF 6

**DA**  
 Dale & Associates  
 10000 Old Hickory Road, Suite 200  
 Nashville, TN 37203  
 (615) 855-1100  
 www.daleandassociates.com



**Existing Conditions**

REVISIONS:  
 11/22/14  
 12/29/14  
 01/09/15  
 02/27/15

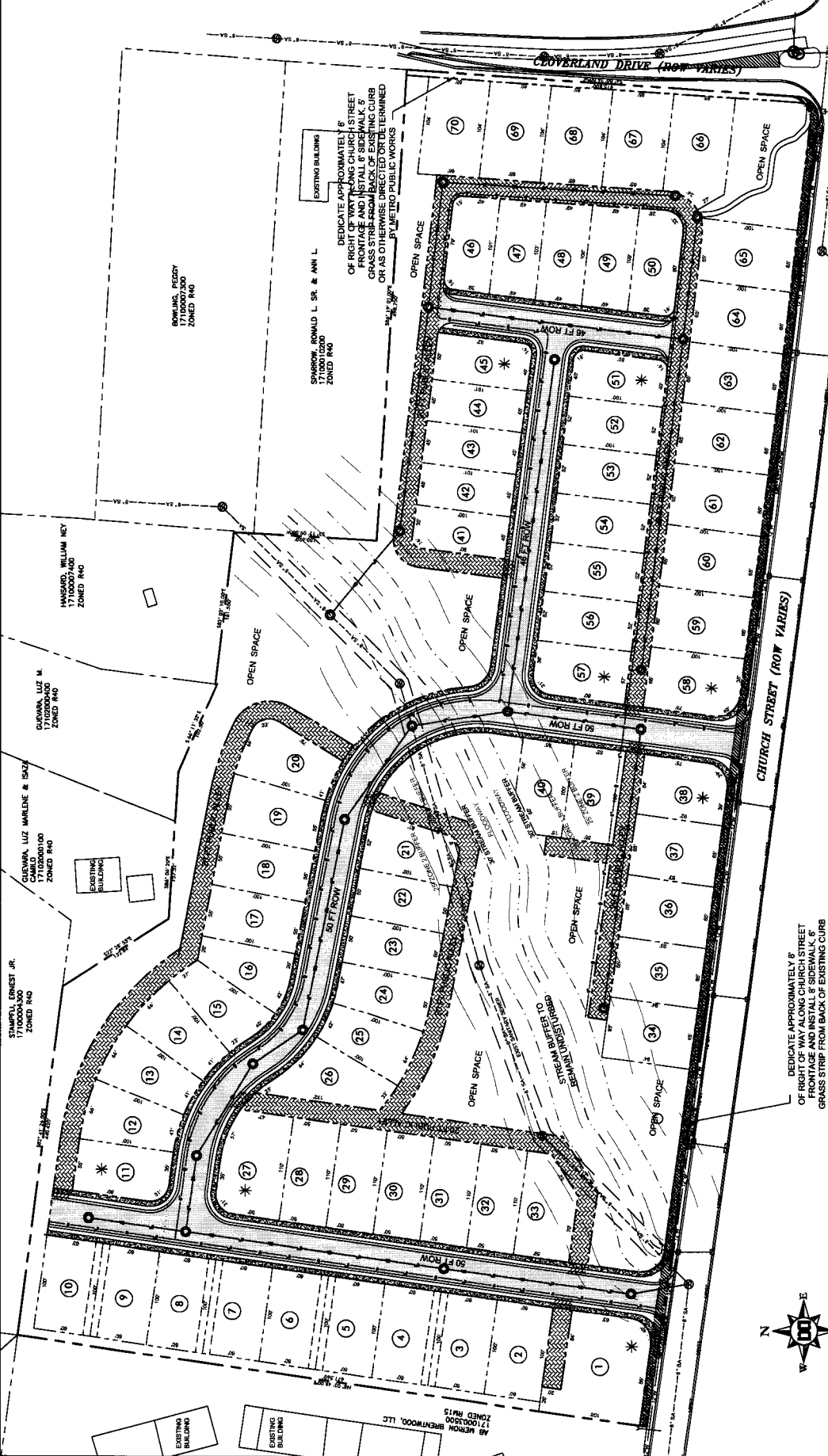
DATE: 12/29/14

**Plum Orchard**  
 Preliminary Specific Plan  
 Church Street Brentwood  
 Nashville, Davidson County, Tennessee

**Date & Associates**  
 1710000400  
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MFC Case Number: 1710000400  
 CADD File: 1710000400.dwg  
 Date Plotted: 12/29/14  
 Plotter: HP DesignJet 5000

DATE: 12/29/14  
 PROJECT: 1710000400  
 SHEET: 3 OF 6



**UTILITY NOTES**

- 1) WATER AND SEWER SERVICE TO BE PROVIDED BY METRO WATER SERVICES.
- 2) WATER AND SEWER SERVICE LOCATIONS WILL BE PROVIDED DURING FINAL SP PROCESS.
- 3) WATER SERVICE SHALL BE PROVIDED BY AN 8" PUBLIC WATER LINE EXTENSION. INDIVIDUAL WATER METERS SHALL BE PROVIDED FOR EACH UNIT.
- 4) SEWER SERVICE SHALL BE PROVIDED VIA PROPOSED 8" SEWER MAIN WITH 6" SERVICE LATERALS TO EACH UNIT.

**PUBLIC WORKS NOTES**

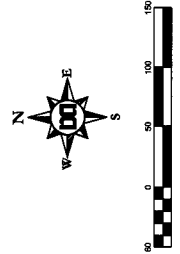
- 1) FINAL CONSTRUCTION DRAWINGS SHALL COMPLY WITH THE DESIGN STANDARDS.
- 2) FINAL CONSTRUCTION DEPARTMENT OF PUBLIC WORKS. FINAL DESIGN MAY VARY BASED UPON FIELD CONDITIONS.
- 3) LOTS 3/4, 5/6, 7/8, AND 9/10 TO BE SERVED BY A COMMON 15 FOOT WIDE ACCESS EASEMENT.
- 4) DRIVEWAY AND BIKE TO BE OPENED ALONG THE WIDTH OF THE SITE IN ORDER TO PROVIDE A DEDICATED RIGHT TURN LANE ONTO CHURCH STREET.

**GENERAL NOTES**

- 1) HOMES CONSTRUCTED ON LOTS 1, 11, 27, 38, 45, 51, 57, AND 58 SHALL HAVE A PRIMARY FACADE FACING THE MAIN STREET AND A SECONDARY FACADE AND SECONDARY DOORWAY OR OTHER FEATURE FACING THE SECONDARY STREET.
- 2) SIDEWALKS SHALL BE 15 FOOT WIDE ACCESS EASEMENT. GARAGES FOR THESE HOMES SHALL BE SIDE OR REAR ENTRY AND SCREENED FROM THE PUBLIC STREET.
- 3) ALL HOMES SHALL HAVE GARAGES WITH ACCESS FROM THE ABUTTING REAR ALLEY WITH THE EXCEPTION OF LOTS 3, 18B, 19, 20.

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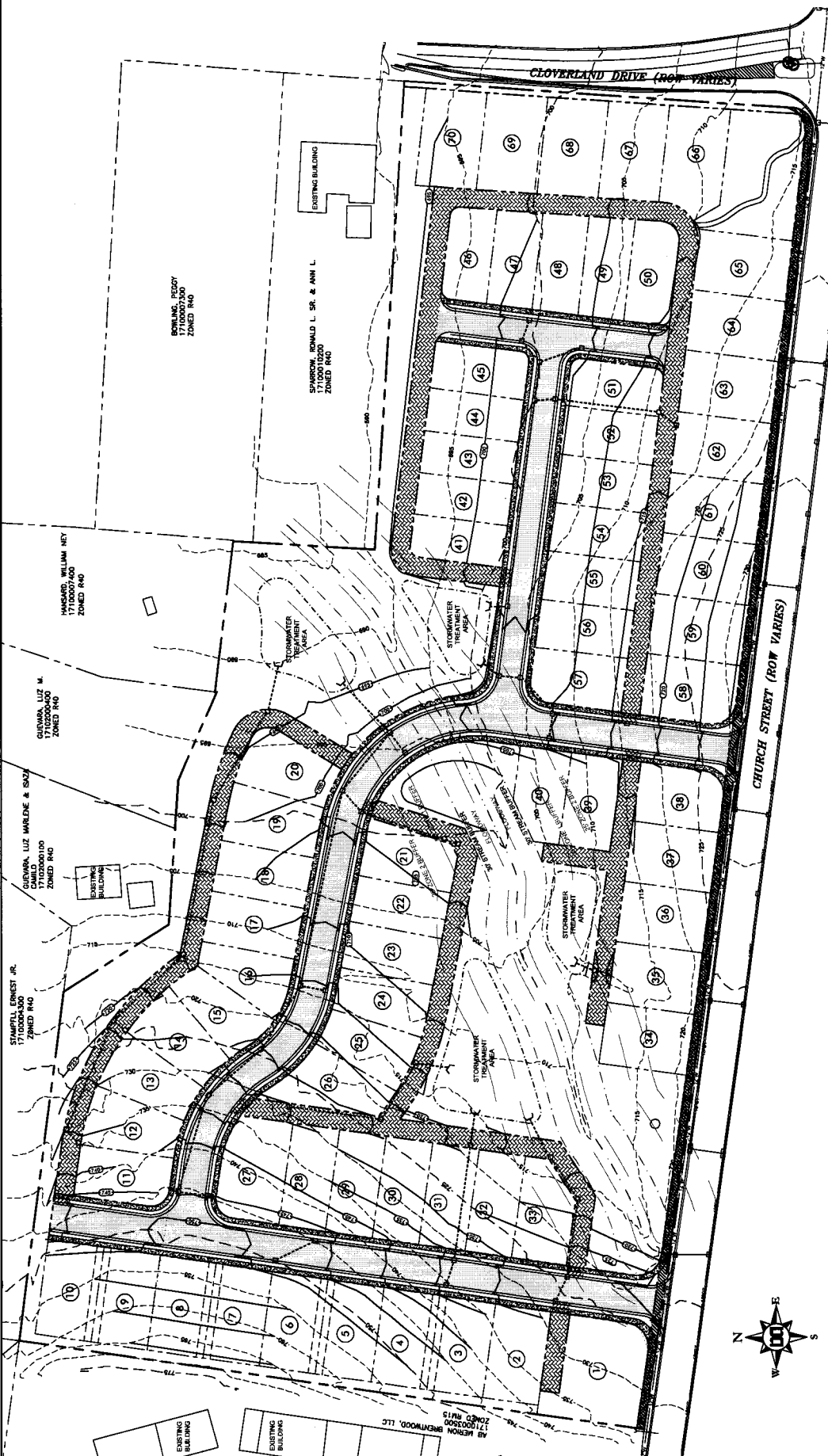
**Proposed SP Site Layout and Utilities**



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**Plum Orchard**  
 Preliminary Specific Plan  
 Church Street Brentwood  
 Nashville, Davidson County, Tennessee

**C4**  
 Sheet 4 of 6  
 Date & Associates  
 11000 Old Hickory Road  
 Suite 200  
 Nashville, TN 37203  
 Phone: 615-297-1000  
 Fax: 615-297-1001  
 www.dateandassociates.com



**STORMWATER NOTES**

1. STORMWATER FOR THIS SITE WILL BE TREATED BY STORMWATER INFRASTRUCTURE
2. THIS SITE IS RESPONSIBLE FOR WATER QUALITY TREATMENT IN ACCORDANCE WITH THE METRO STORM WATER MANAGEMENT MANUAL IN ORDER TO PROVIDE THE FULL WATER QUALITY TREATMENT OF 80% TSS REMOVAL
3. ANY TREATMENT PROCESS AND WILL MEET THE REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL

**METRO STORMWATER COMMENTS**

1. BUFFERWAYS AND BUFFERWAY BUFFERS ARE NOT NEAR ANY CATCH BASINS AND 25 FOOT BUFFERWAYS ARE NOT NEAR ANY CATCH BASINS AND ARE INDICATED ON THIS PLAN AS VARIANCES WILL BE REQUIRED FOR ANY DISTURBANCE WITHIN THESE BUFFERWAY OR BUFFERWAYS
2. BUFFERWAYS ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND NOT DISTURBED BY ANY CONSTRUCTION OR OTHER ACTS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL VOLUME 11
3. ONLY A PRELIMINARY VARIANCE WAS OBTAINED FOR THIS PROPERTY INDICATING BUFFERWAYS AND BUFFERWAY BUFFERS ARE NOT NEAR ANY CATCH BASINS AND 25 FOOT BUFFERWAYS ARE NOT NEAR ANY CATCH BASINS AND ARE INDICATED ON THIS PLAN AS VARIANCES WILL BE REQUIRED FOR ANY DISTURBANCE WITHIN THESE BUFFERWAY OR BUFFERWAYS
4. ONLY A PRELIMINARY VARIANCE WAS OBTAINED FOR THIS PROPERTY INDICATING BUFFERWAYS AND BUFFERWAY BUFFERS ARE NOT NEAR ANY CATCH BASINS AND 25 FOOT BUFFERWAYS ARE NOT NEAR ANY CATCH BASINS AND ARE INDICATED ON THIS PLAN AS VARIANCES WILL BE REQUIRED FOR ANY DISTURBANCE WITHIN THESE BUFFERWAY OR BUFFERWAYS

**Storm Drainage/ Water Quality**

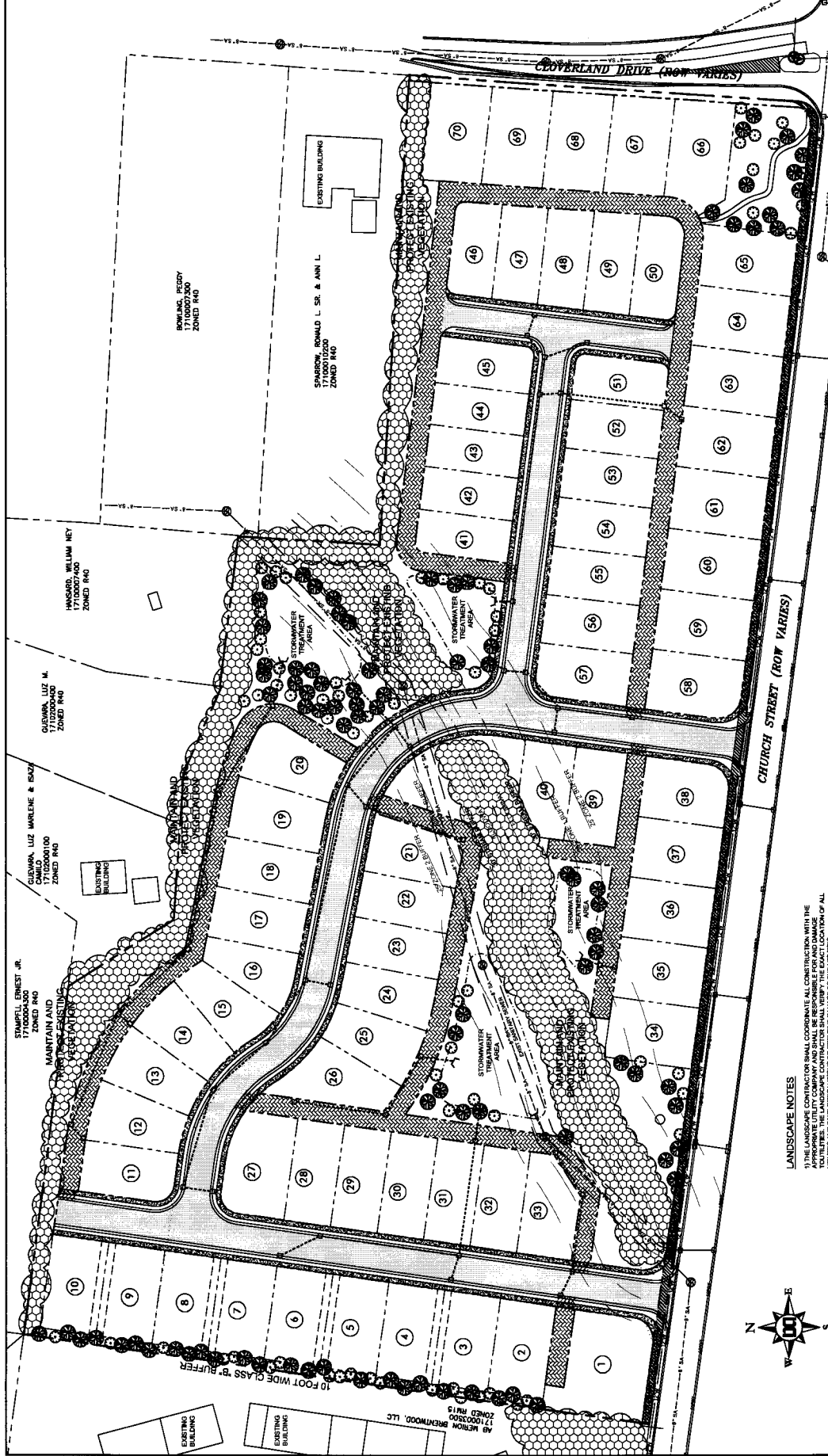
Scale 1" = 50'



REVISED: 11/27/14  
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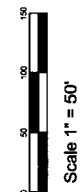
**Plum Orchard**  
 Church Street Brentwood  
 Nashville, Davidson County, Tennessee

DATE: 11/26/14  
 SHEET NO. 02  
 PROJECT NO. 1400000000  
 DWA Project #13164  
 Plum Orchard SP  
 COUNTY: DAVIDSON  
 C5  
 Sheet 5 of 6



- LANDSCAPE NOTES**
- 1) THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE UTILITIES. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND TAKE PRECAUTIONS TO PREVENT DAMAGE TO THE UTILITIES.
  - 2) ALL PLANTING TO BE INSTALLED SHALL BE SUPPLIED WITH ROUNDUP CONTRACTORS DISPOSABLE MATERIALS AND STRAPS INDICATED FOR REMOVAL SHALL BE REMOVED AND DEPOSED OFF-SITE BY THE CONTRACTOR. BACKFILL HOLES WITH TOPSOIL, TREE ROOTS AND ROCKS.
  - 3) THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GRADING OF ALL PLANTING AREAS.
  - 4) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 18-20-20 3-3-6 @ 15-18 POUNDS PER TON.
  - 5) CONTRACTORS SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
  - 6) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
  - 7) ALL PLANTING SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVE TRIMMING IS ALLOWED.
  - 8) ALL DISTURBED AREAS SHALL BE PLANTED WITH TREE AS INDICATED ON THE MATERIALS SCHEDULE.
  - 9) ALL DECIDUOUS TREES, EXISTING AND PROPOSED SHALL BE PRUNED TO PROVIDE A MINIMUM CLEARANCE UNLESS OTHERWISE NOTED.
  - 10) THE LANDSCAPE CONTRACTOR SHALL PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIALS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY UNDESIRABLE ASSOCIATED PLANT SIZES SHOWN ARE MINIMUMS REQUIRED BY THE LOCAL MUNICIPALITY AND MATERIALS SHOWN HAVE BEEN SELECTED SPECIFICALLY FOR THIS PROJECT.
  - 11) ALL WIRE BASKETS SHALL BE COMPLETELY REMOVED AND DISPOSED OF. BURLAP AND MULCH SHALL BE REMOVED AND DISPOSED OF AT LEAST 14 DAYS BEFORE ALL PLANTING MATERIALS ARE PLANTED.
  - 12) STUMPING IS NOT ALLOWED UNLESS REQUIRED BY MUNICIPALITY ON SITE CONDITIONS. THE LANDSCAPE CONTRACTOR SHALL REMOVE WIRES AFTER A ONE YEAR PERIOD.
  - 13) NO CANDY TREE SHALL BE LOCATED WITHIN 15' OF AN OVERHEAD UTILITY. NO TREE SHALL BE LOCATED WITHIN 15' OF A POWER LINE. ALL PLANTING MATERIALS SHALL BE WITHIN A DAMAGE EXEMPTION IS ACCEPTABLE, BUT ONLY IF INSTALLED AS NOT TO DISTURB EXISTING DRAINAGE FLOW. IN SUCH INSTANCES, THE MATERIALS SHALL BE LOCATED TO CLEAR 15' FROM THE CONTIGUOUS SIDEWALK OR DRIVEWAY. ALL PLANTING MATERIALS TO BE LOCATED IN TREE GRASSES, SEE LIGHTING PLAN FOR PROPOSED LIGHT LOCATIONS.

- 14) ALL PLANTING AREAS SHALL BE FERTILIZED WITH 18-20-20 3-3-6 @ 15-18 POUNDS PER TON.
- 15) CONTRACTORS SHALL VERIFY ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN WILL TAKE PRECEDENCE.
- 16) THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH WRITTEN INSTRUCTIONS ON THE PROPER CARE OF ALL SPECIFIED PLANT MATERIALS PRIOR TO FINAL PAYMENT.
- 17) ALL PLANTING SHALL BE PROTECTED FROM CONSTRUCTION DAMAGE. SELECTIVE TRIMMING IS ALLOWED.
- 18) ALL DISTURBED AREAS SHALL BE PLANTED WITH TREE AS INDICATED ON THE MATERIALS SCHEDULE.



**LANDSCAPING**

**Dale & Associates**

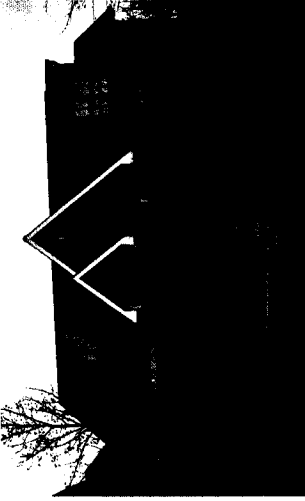


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**Plum Orchard**  
 Preliminary Specific Plan  
 Church Street Brentwood  
 Nashville, Davidson County, Tennessee

**DALE & ASSOCIATES**  
 ARCHITECTS  
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 WWW.DALEANDASSOCIATES.COM

MAP Case Number  
 2014-0001-0001-0001  
 DALE Public Artwork  
 Plum Orchard SP  
**C6**  
 Sheet 6 of 6

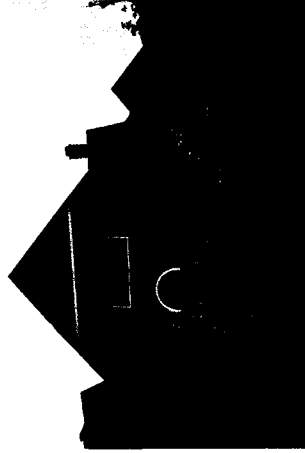


**Front Elevation**

All Buildings To Be Primarily Brick and Stone and Other Masonry Products (No Vinyl). Buildings are Encouraged To Have Front Porch Entrances That Are Elevated Above the Street



**Shared Drive With Side Entries**



**Front Elevation**

All Buildings To Be Primarily Brick and Stone and Other Masonry Products (No Vinyl). Buildings are Encouraged To Have Front Porch Entrances That Are Elevated Above the Street

**Architectural Standards**



**Front Elevation**

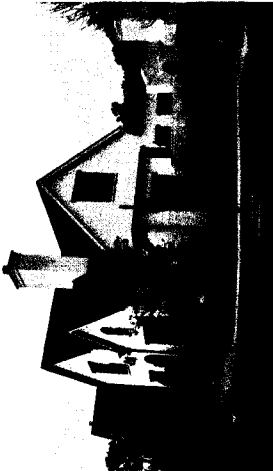
All Buildings To Be Primarily Brick and Stone and Other Masonry Products (No Vinyl). Buildings are Encouraged To Have Front Porch Entrances That Are Elevated Above the Street



**Typical Alley**



**Typical Street View**



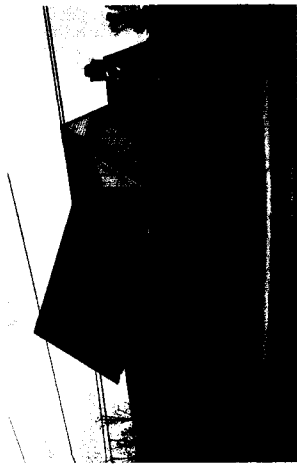
**Corner Lot with Side Courtyard Entry**

All Corner Lots Shall Be Constructed To Address Each Street With A Primary and Secondary Doorway or Other Feature, Thus Creating A Frontage Facade On Each Street



**Corner Lot with Side Doorway**

All Corner Lots Shall Be Constructed To Address Each Street With A Primary and Secondary Doorway or Other Feature, Thus Creating A Frontage Facade On Each Street



**Corner Lot On Main Street**

All Corner Lots Shall Be Constructed To Address Each Street With A Primary and Secondary Doorway Thus Creating A Frontage Facade On Each Street. Buildings Along Church Street and Cloverland Will Set Back 40 Feet From the Edge of Pavement