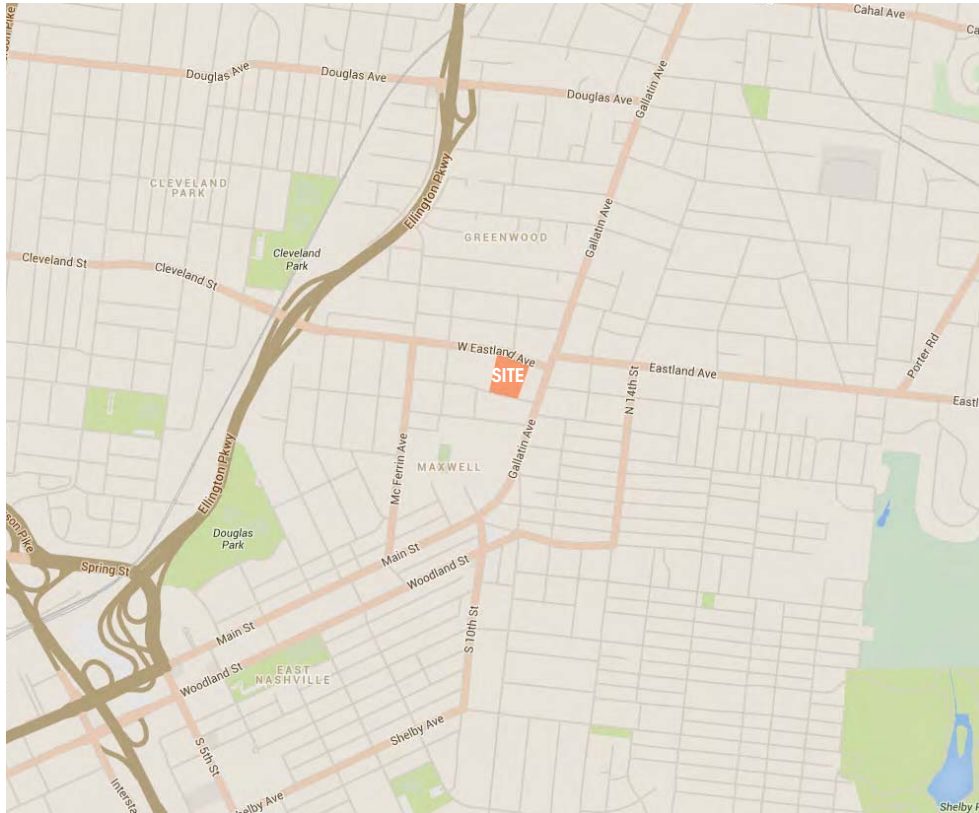


LIV EAST

1034 West Eastland Preliminary SP
MPC Case Number - 2014 SP - 075 - 001
October 17, 2014

Site Vicinity Map

MPC Case Number- 2014SP-075-001



Site Info
 Site is 4.66 acres of land located:
 1034 West Eastland Avenue
 Map 83-05, Parcel 131
 Council District 5 - Scott Davis

Owners of Record
 Sophia's Heart Foundation, Inc.
 2479 Mufreesboro Pike STE #515
 Nashville, TN 37217
 Hsing Liu
 615-708-6922

Developer
 LIV Development
 Andrew Murray or Robb Crumpton
 205.484.2836
 andrew@livdev.com or robb@livdev.com

Civil Engineer
 Civil Site
 Kevin Gangaware
 615-248-9999
 keving@civil-site.com

Land Planner / Architect
 Smith Gee Studio
 Scott Morton
 615-739-5555
 smorton@smithgeestudio.com



Existing Conditions

MPC Case Number- 2014SP-075-001

Site Info

Site is 4.66 acres of land located:

1034 West Eastland Avenue

Map 83-05, Parcel 131

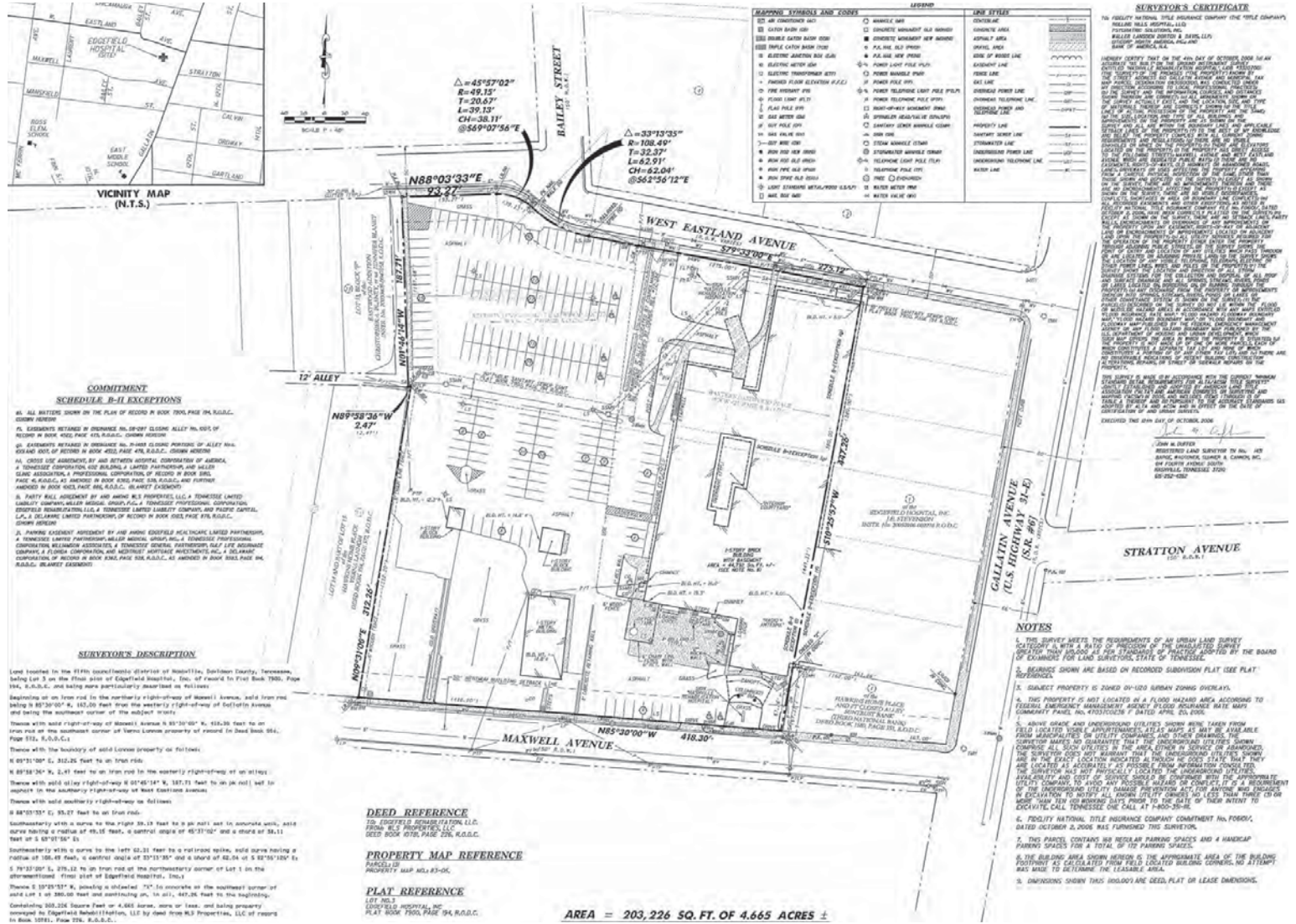
Council District 5 - Scott Davis

Current Zoning: Office / Residential 20 (OR20)

Land Use Policy: T4 Urban Neighborhood Maintenance

Proposed Land Use Policy: T4 Urban Community Center

Overlays: None



Land Use Policy

Current Land Use Policy

The property is located within Subarea 5 of the East Nashville Community Plan. The current land use policy for the entire property is T4 Urban Neighborhood Maintenance. The SP site plan will retain the T4 NM policy on a portion of the site (approx. 0.75 acres) that will serve as a transition to the single family homes within the Maxwell Heights Neighborhood.

Proposed Land Use Policy

The land use policy within for the remaining site area located closest to the Gallatin Pike Corridor (approx. 2.92 acres +/-) is proposed to be amended to T4 Urban Commercial Center land use policy.

The proposed land use policy amendment for the property will enhance the character of the neighborhood by providing additional housing choices not yet offered in the area and by concentrating housing near the BRT line, near a neighborhood commercial center (grocery stores, pharmacy, etc.) and along the West Eastland and Gallatin Pike corridors. The Community Plan amendment of a portion of this site increases the depth of the existing Community Center policy along Gallatin Pike without encroaching on the historic neighborhood. Maintaining T4 Neighborhood Maintenance on a portion of the site provides an opportunity to buffer and to transition to the existing single-family community. Furthermore, the proposed T4 Community Center policy will benefit the envisioned development by allowing higher density and increased height on this large redevelopment site.

The enclosed SP application provides a plan that meets the vision of the community and is consistent with the T4 Urban Commercial Center and the T4 Urban Neighborhood Maintenance policies.

East Nashville Community Plan

The plan accomplishes the following critical goals identified in the East Nashville Community Plan:

1. Preserve the character and atmosphere of existing residential neighborhoods.

Objectives:

- Maintain and extend streetscapes that are friendly to pedestrians and cyclists.
- Preserve historic features and ensure compatible design and good quality of new or renovated structures.
- Increase opportunities for local residents to be part of (including employed in) new construction or business development in the area.
- Prevent the destabilizing encroachment of nonresidential or incompatible infill through application of appropriate urban design principles and informed community involvement.

2. Improve the appearance and function of the main corridors and other commercial areas.

Objectives:

- Focus most commercial activity at major nodes along Gallatin and Dickerson Pikes.
- Make improvements such as more coordinated signage that is appropriately scaled for a pedestrian environment, landscaping, ADA compliant sidewalks, transit stops, and other streetscape elements.
- Encourage local residents and merchants associations to attract needed new businesses and high density housing to the corridors that would increase population, preserve existing residential neighborhoods, and help support local businesses.

3. Improve community appearance in general.

Objectives:

- Apply appropriate urban design principles to new development so that it complements and enhances its neighborhood.

4. Increase commercial choices available to residents.

Objectives:

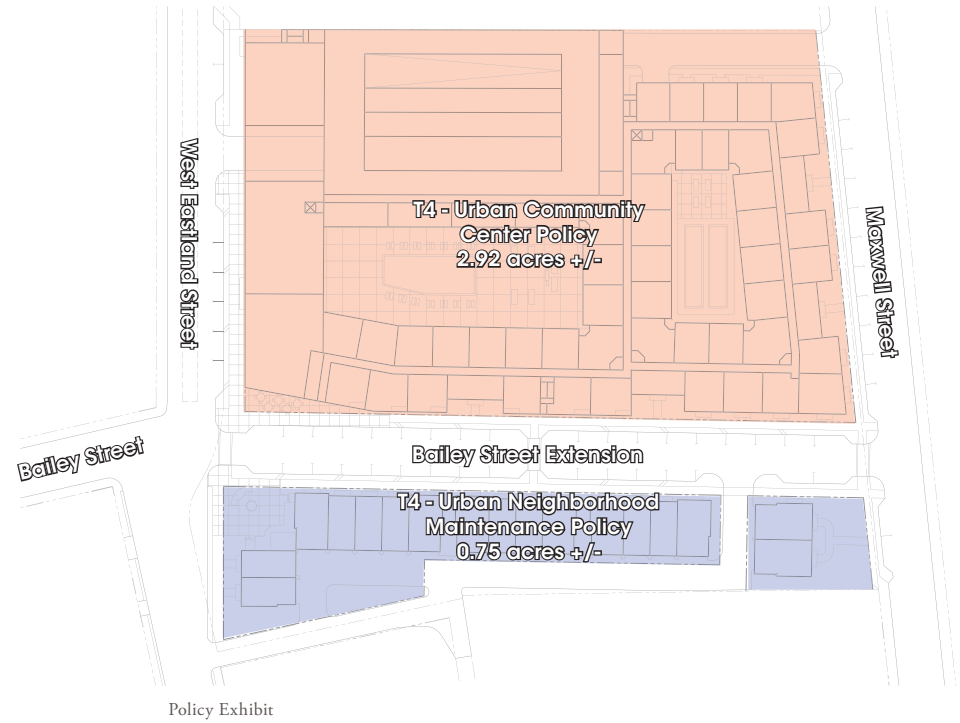
- Support well-designed, conveniently located commercial services within walking distance of residential areas, especially in the Neighborhood and Center Transit categories.
- Provide adequate opportunities at appropriate locations at neighborhood centers and nodes along Gallatin and Dickerson Pike for needed goods and services to develop.

5. Improve transportation infrastructure to meet the needs of an urban environment.

Objectives:

- Enhance the accessibility, circulation, and urban design of the transportation system for all modes of travel.
- Increase transit options and provide more comfortable and attractive transit stops.

Add sidewalks, bikeways, and greenways throughout the community.



Concept Plan

Purpose

The purpose of this SP application is to provide zoning for a mixed-use development including up to 320 multifamily units, 17 townhomes and 6,000 square feet of commercial space within the East Nashville community.

Vision

As per the East Nashville Community Plan's vision for a mixture of uses on the Gallatin Corridor, the plan provides for the redevelopment of this underutilized property into a mixed-use urban community. The goal is to create a place that enhances the neighborhood by providing needed housing options and commercial opportunities while respecting the surrounding neighborhoods historical context. The plan will create a sense of place, enhancing the quality of life and instilling a sense of belonging and community pride in residents.

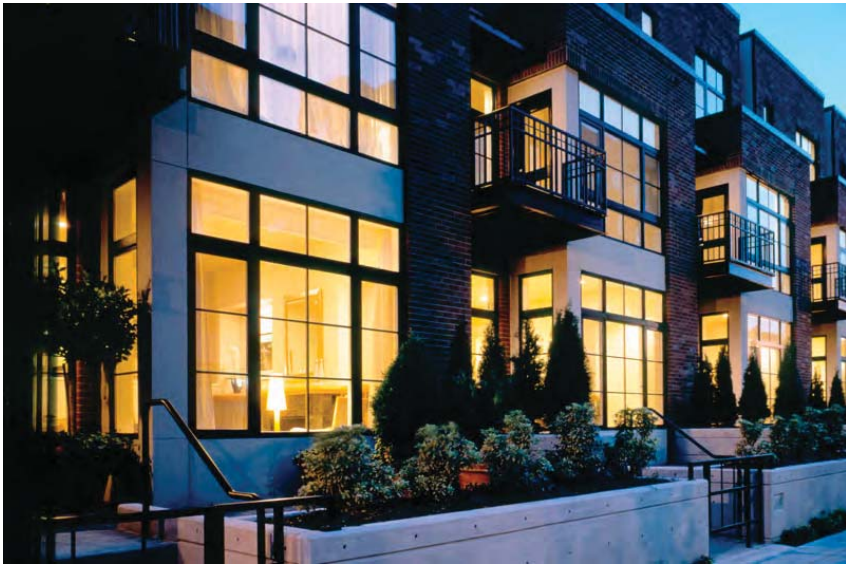
The plan places more intensity towards the Gallatin and W. Eastland corridors, focusing density and commercial development within higher traffic areas. This includes the opportunity for a small neighborhood retail use and project amenities such as club room and fitness facility. The streetscape along W. Eastland will provide opportunities for outdoor dining and outdoor plaza space. It is envisioned that the community club room could serve as a meeting facility for the surrounding community and neighborhood groups.

The plan creates a pedestrian friendly environment surrounding the site through the inclusion of streetscape improvements, traffic calming, wide sidewalks, landscaping and a highly aesthetic backdrop that prominently engages the public realm. In addition, the plan creates a new street, extending Bailey Street through the site providing a new access point for the neighborhood. An entry feature is also provided at the intersection of West Eastland and Bailey Street providing a beautiful gateway into the neighborhood.

The plan includes several amenities for the neighborhood and residents of the community including a pool courtyard, fitness center, leasing center, grilling area, corner plaza, outdoor dining and many other amenities.



Architectural Character



Utility Plan

MPC Case Number- 2014SP-075-001

Water & Stormwater Notes

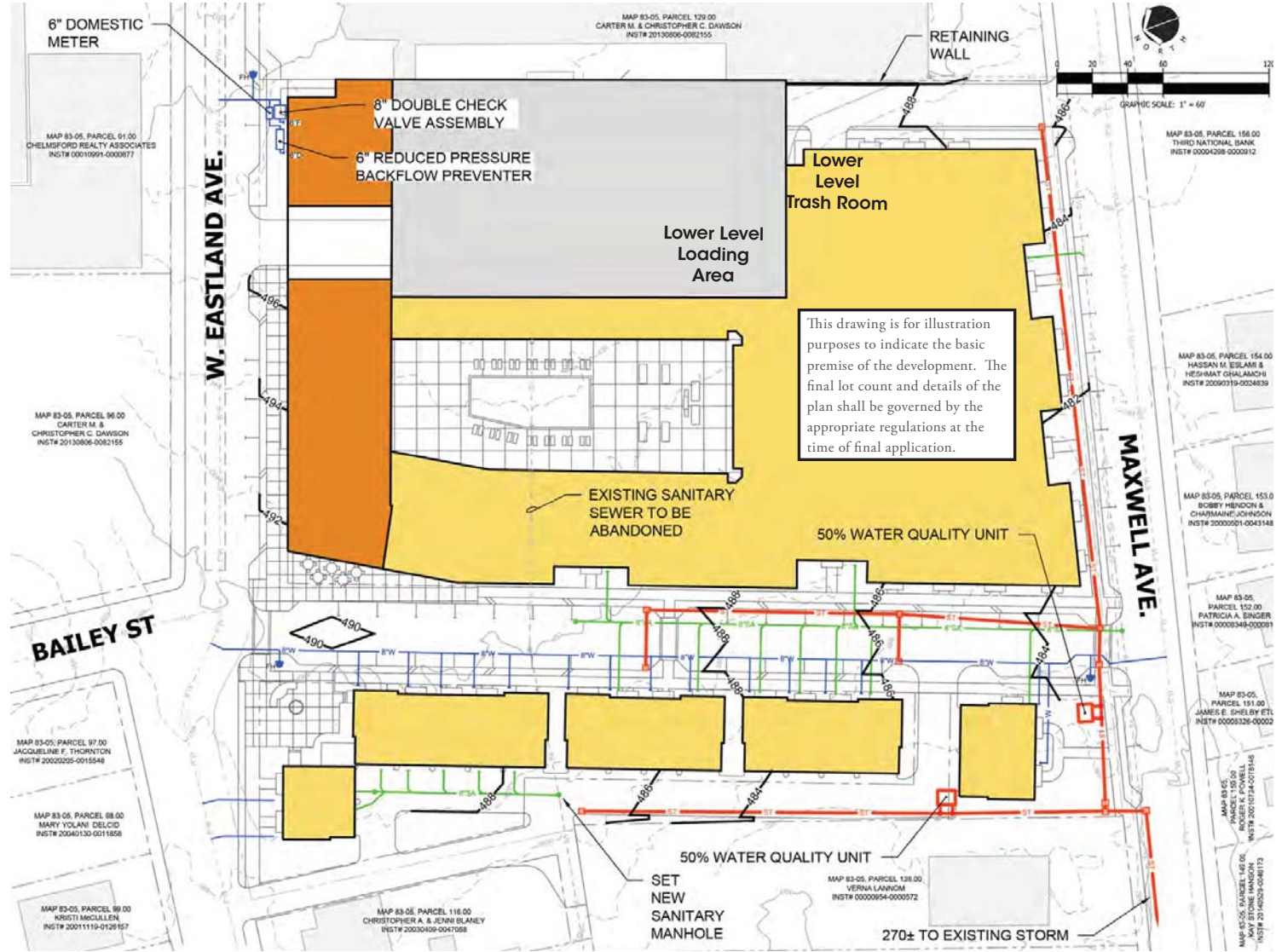
- All water and sewer construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The disturbed area for this project is approximately 4.7 acres.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.
- Any excavation, fill or disturbance of the existing ground must be done in accordance with Stormwater Management Ordinance 78-840 and approved by the Metro Department of Water Services.
- According to FEMA's current flood maps (47037C0236F, dated April 20, 2001), as well as Metro's GIS information, there is no 100-year floodplain within the SP boundary.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (minimum driveway culvert in Metro ROW is 15" CMP).
- The sanitary sewer line shall be PVC-SDR 35 or Class 52 DIP.
- The water lines shall be class 52 ductile iron pipe.
- Individual water and sewer service lines are required for each home (where applicable).
- Water meters shall be no deeper than 24" from the top of meter to proposed finished grade unless otherwise required by the local water department.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.
- The proposed stormwater management for this project includes collection of the site stormwater on the main site and directed to a stormwater quality unit and a stormwater detention pond (if required) as shown on this plan. The discharge from the detention pond shall then be routed to the existing storm sewer located in Maxwell Avenue along the southern boundary of the project site. The stormwater quality and detention measures for this project will meet the requirements of the Metro Stormwater Ordinance that are in effect at the time of the final SP submittal.

Utility Notes

- All proposed public utilities and services shall be installed underground.
- Trash and recycling service is to be contracted between the developer / owner and a private hauler.

Fire Department Notes

- The required fire flow shall be determined by the Metro/Nashville Fire Marshall's Office prior to the issuance of a building permit.
- The requirements of the Metro Fire Marshall's Office for emergency vehicle access and adequate water supply for fire protection must be met prior to the issuance of any building permits.



This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.

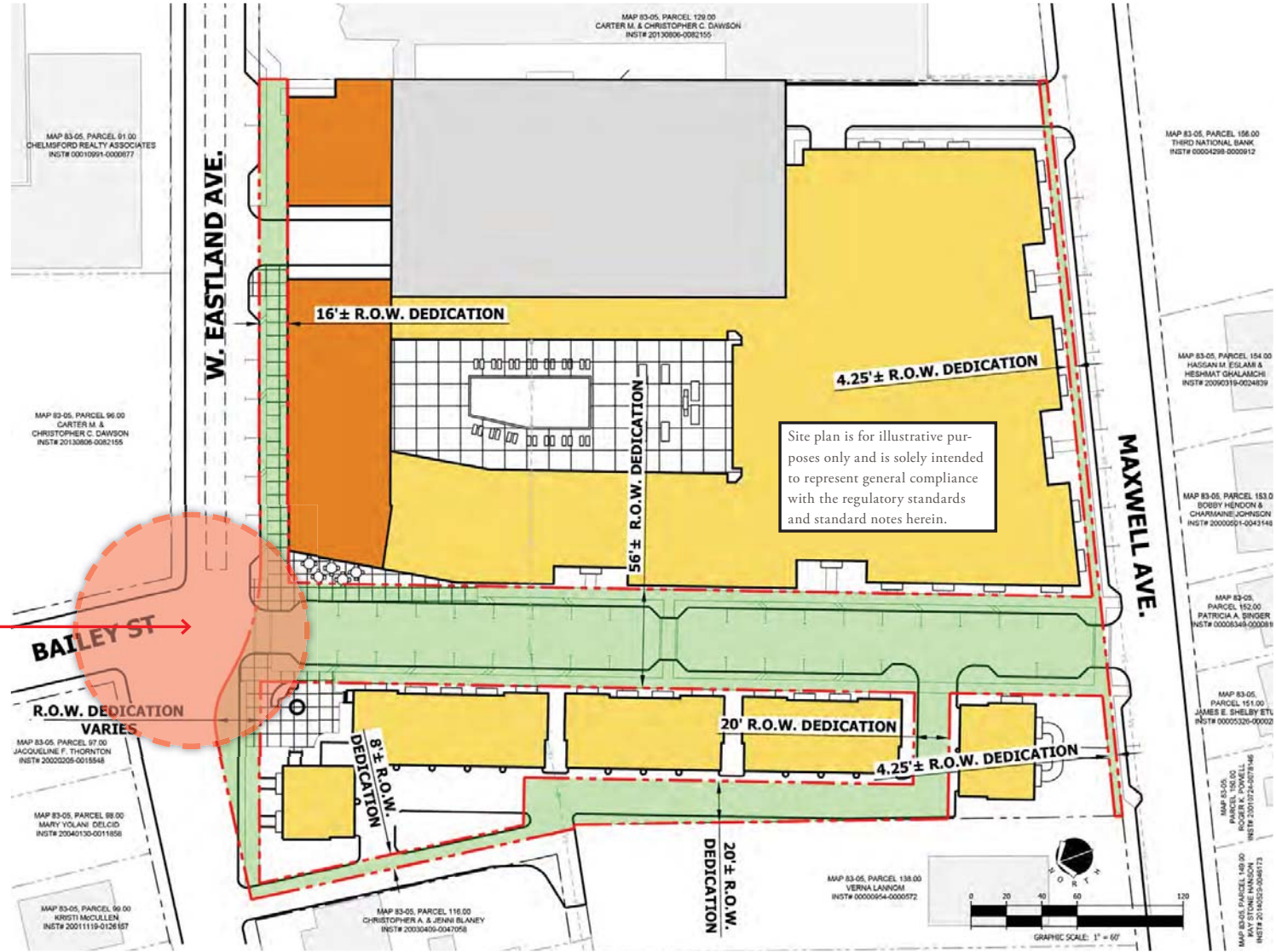
Infrastructure Plan

MPC Case Number- 2014SP-075-001

Public Works Notes

- All roadway, driveway, sidewalk, and curb construction shall conform to the requirements and specifications of Metro Public Works.
- A Traffic Impact Study will be completed prior to Final SP approval. Developer shall construct any off-site roadway improvements with Final SP plan. Roadway improvements will be in accordance with the TIS findings and conditions.
- Handicap ramps shall have a maximum slope of 1:12.
- All access drives and driveways within the community shall be private.
- Sidewalks along all public streets must be located in public Right-of-way. Additional Right-of-way dedication may be required.
- Alley shall be improved to MPW ST-263. The Right-of-way dedication must be recorded prior to the issuance of building permits.

Road re-alignment and detailed construction drawings for the streetscape elements shall be reviewed and determined if they are appropriate with the final site application



Pedestrian Experience

Notes

The following exhibits represent compliance to the relevant Major and Collector Street Plan requirements and other Metro Public Works standards. These exhibits illustrate the minimum compliance for build-to-zone requirements on each street cross section. Should variations be needed to this plan based on field conditions and/or plan adjustments, the owner will work with Planning staff and Metro Public Works as necessary to comply with Metro standards.

Porches/Stoops may encroach up to 3 ft. of frontage planting/setback areas with landscaping provided in between porches and/or stoops.

Bailey Street:

- Provide on-street parking and landscape bulb-outs.
- Provide a 4 foot planting zone for landscaping and street trees.
- Provide a 8 foot sidewalk zone (multi-family) / 6 foot sidewalk zone (townhomes).
- Provide a 2 foot min. frontage planting area and setback.
- Install crosswalks at the western and southern intersection leg of Bailey Street and West Eastland Avenue; the northern intersection leg of Bailey Street and Maxwell Street; and one mid-block crosswalk on Bailey Street.

Maxwell Street:

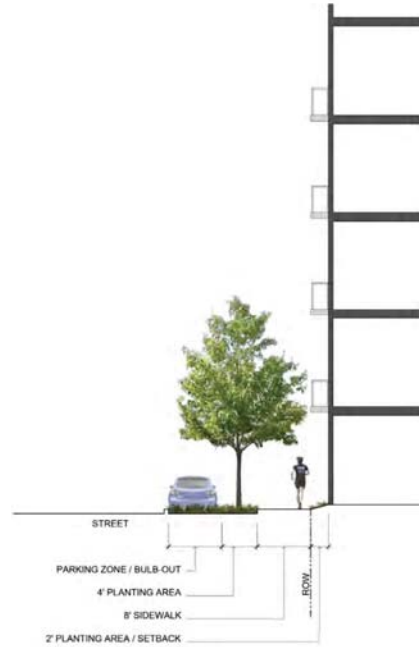
- Relocate Curb to provide on-street parking and landscape bulb-outs.
- Provide a 4 foot planting zone for landscaping and street trees.
- Provide a 6 foot sidewalk zone
- Provide a 5 foot min. frontage planting area and setback.

West Eastland T4-M-CA-2:

- Relocate Curb to provide on-street parking and landscape bulb-outs.
- Create continuous center turn lane from Gallatin Pike to Bailey Street.
- Re-align West Eastland to eliminate s-curve and add bulb-outs and a landscaped entry feature with a pedestrian refuge.
- Provide a 4 foot planting zone for landscaping and street trees or tree wells.
- Provide a 8 foot clear sidewalk zone.
- Provide a 4 foot planting area / sidewalk zone.
- Install crosswalks at the western and southern intersection leg of Bailey Street and West Eastland Avenue.



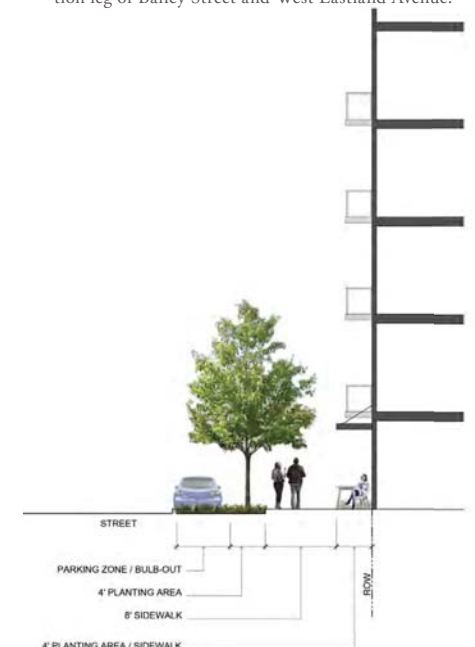
**Bailey Street
Townhomes**



**Bailey Street
Multi-family**



**Maxwell Street
Multi-family**

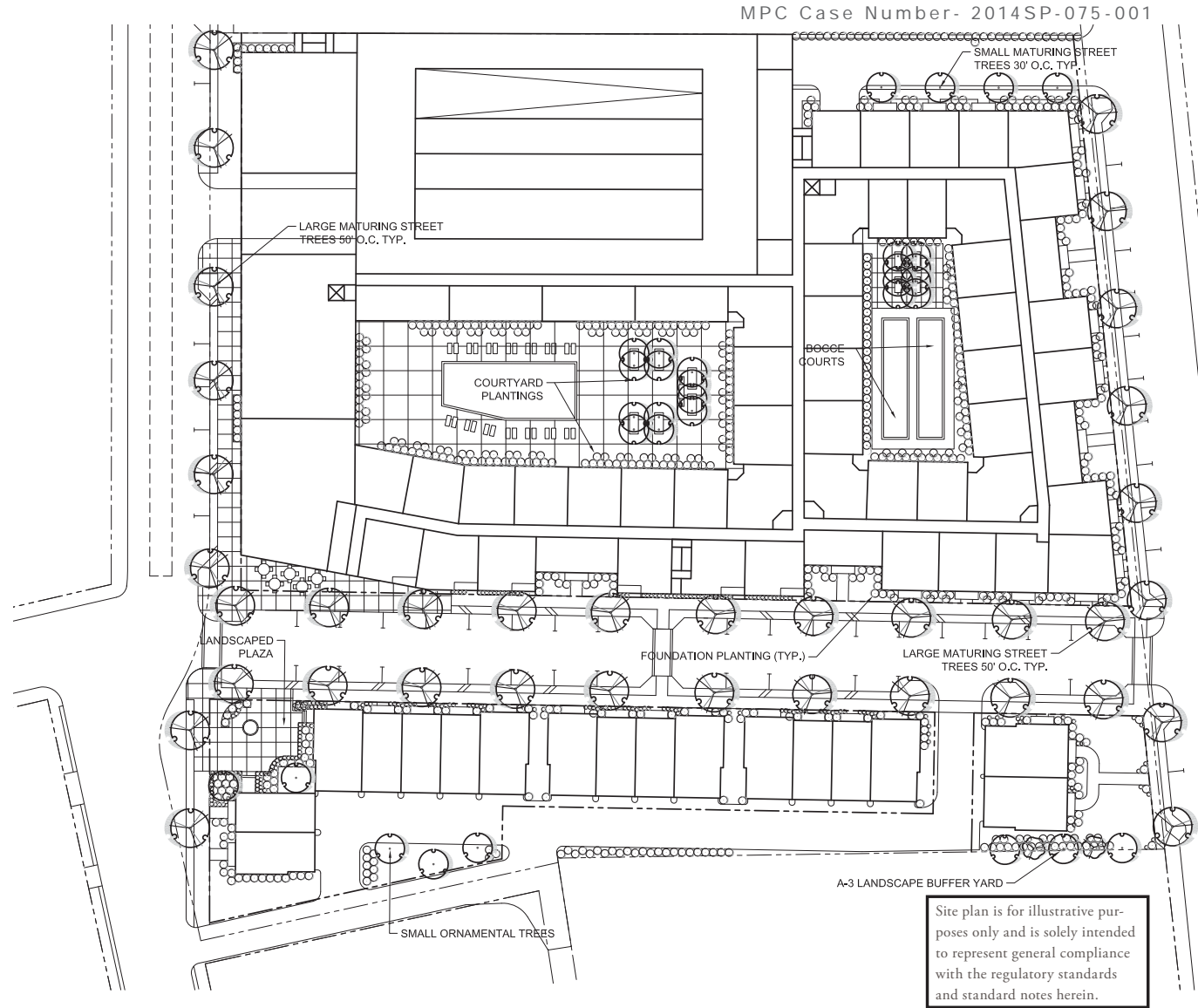


**West Eastland Avenue
Mixed-use**

Landscape Plan

Landscape Standards

- The developer of this project shall comply with the requirements of the SP and adopted tree ordinance 2008-328 (Metro Code Chapter 17.24).
- Street trees shall be provided along all street frontages at a minimum spacing average of fifty (50) linear feet.
- All landscaping shall be properly irrigated and maintained by a landscape contractor; if drought resistant plant material is used, irrigation shall not be required.
- Where trees are planted in rows, they shall be uniform in size and shape.
- All plants shall be freshly dug, sound, healthy, vigorous, well branched, free of disease, insect eggs, and larvae, and shall have adequate root systems.
- All container grown material shall be healthy, vigorous, well-rooted plants and established in the container in which they are sold. The plants shall have tops which are good quality and are in a healthy growing condition. All root bound plants shall be rejected.
- Groups of shrubs shall be placed in a continuous mulch bed with smooth continuous lines. All mulched bed edges shall be curvilinear in shape following the contour of the plant mass. Trees located within four feet of shrub beds shall share same mulch bed.
- Plant locations may be adjusted in the field as necessary to be clear of drainage swales and utilities. Finished planting beds shall be graded so as to not impede drainage away from buildings. If significant relocations are required, contractor shall contact landscape architect for resolution. Failure to make such relocations known to the owner or landscape architect will result in contractor's liability of plant materials
- Trees should remain vertical and upright for the duration of the guarantee period. Guys and strapping shall be removed after one growing season.
- The root crown to be at finished grade or no greater than a maximum of one inch higher (after settling) than finished grade.
- Buffering requirements per MUG-A shall be waived with the exception of Building F which shall have an A-3 Landscape buffer yard.



Regulations

Development Summary	
Uses	Mixed Use (MUG-A)
Maximum Number of Multi-family Units	320 units
Maximum Number of Townhome Units	17 units
Maximum Commercial Use	6,000 square feet
ISR	0.90
W. Eastland-Build-to-Zone	0 - 20 ft. *
Maxwell Street Build-to-Zone	5 - 20 ft. * (Bldg. F to match adjacent SF home setback)
Bailey Street Build-to-Zone	2 - 20 ft. *
Alley Setback	3 ft. minimum
Rear Setback	0 ft.
Side Setback	0 ft. (10 ft. minimum for Bldg F)
Minimum Building Separation (Townhomes)	10 ft. minimum
Height Standards	5 stories maximum in 75 feet 3 stories maximum in 36 feet for townhomes
Access	(1) 24 ft. drive on W. Eastland (1) 24 ft. drive on Maxwell St. (1) 20 ft. Alley R.O.W. (1) Bailey Street Extension
Parking	Per UZO parking requirements
* Excluding pedestrian passages, garage entries and open spaces; porches and stoops may encroach up to 3 ft. beyond build-to-zones where applicable.	

nee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.

Permitted Uses

All uses permitted by Mixed Use General Alternative (MUG-A) base zoning designation except the following: Cash Advance, Check Cashing, Drug Treatment Facility, Adult Entertainment, Pawnshop. Commercial uses shall be located in the ground floor of the mixed-use building (Bldg. A).

Parking

Provided parking shall meet the requirements of the UZO parking standards of the Zoning Code (17.20).

It is intended that the total parking provided will be in excess of the minimum requirements of the UZO parking standards.

Parking shall be predominantly provided within a parking area internal to the development. Additional parking spaces may be provided in the form of on-street parking along the perimeter of the project.

Height

The maximum height permitted for Building A shall be five (5) stories within seventy-five (75) feet and a maximum height of four (4) stories within sixty-five (65) feet for the 1st tier immediately adjacent to Maxwell Street. Buildings B through F shall be limited to three (3) stories in height within thirty-six (36) feet measured from finished floor to top of eave. The parking structure shall be subordinate in height to Building A and limited to five (5) stories measured from the W. Eastland Street finished floor.

Unless specifically addressed, height shall be measured from finished floor to top of roof parapet.

Architectural Standards

Buildings shall avoid continuous uninterrupted blank facades. At a minimum, the facade plane shall be interrupted by one of the following for every fifty (50) linear feet of street frontage:

- A change in building material
- A horizontal undulation in the building facade of three (3) feet or greater
- A porch, stoop or balcony

- Street facing building facades shall have a minimum of fifteen (15) percent glazing (measured as a percentage of each floors width x height).
- Ground floor residential units on all street facing building facades shall have a porch or stoop with direct access to public sidewalk for forty-five percent (45%) of total ground floor street facing units.
- Refuse collection, recycling and mechanical equipment shall be fully screened from public view by the combination of fences, walls or landscaping.
- The minimum building frontage along all public streets shall equal eighty percent (80%) minimum, excluding pedestrian passages, garage entries and open spaces.
- All residential units shall have a minimum raised foundations of eighteen (18) inches at the Bailey Street and Maxwell Street frontages, measured at the front setback. Minor reductions may be granted by Planning Staff with the Final SP application for topographically challenged areas and ADA required units.

Signage

The following sign types shall be permitted: Projecting Signs, Wall Mounted Signs, Awning Signs, Ground Mounted Signs, Canopy Signs.

- Ground mounted signs shall be limited to three feet (3 ft.) in width and four feet (4 ft.) vertically.
- External Illumination: Light sources shall be directed towards sign minimizing glare to the side-

walk or adjacent properties.

- Internal Illumination: Signs may be internally illuminated but the sign background must be opaque with only graphic, text or logos being illuminated.
- Signs standards not addressed herein should meet the requirements permitted by the Mixed Use General Alternative (MUG-A) base zoning designation.

Standard Notes

- Approval of any specific plan does not exempt any parcel shown on the plan or any development within the SP from compliance with all provisions of the Metro Zoning Code with respect to floodplain, steep slopes, unstable soils, sinkholes, rock outcroppings, streams, springs and critical lots.
- All development within the boundaries of this plan will be designed based on the requirements of the Americans with Disabilities Act and the Fair Housing Act.
- If required, a subdivision plat will be submitted with the Final SP documents.

Development Schedule

- It is anticipated that the project will begin construction in May of 2015 and will take 16 months to be completed.

Any standard not specifically addressed herein shall comply with the Mixed Use General Alternative (MUG-A) base zoning requirements as of the application date of this Preliminary SP.

Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its design-