

WEST PLAN SP

Being Parcel 119 & 124 on Tax Map 114
Davidson County, Tennessee

Erosion Control and Grading Notes

Use as small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by spraying or other acceptable means. Cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 6-12-12 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.

Soil erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section top-14. Turbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction. A contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.

Access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick. Placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the site investigator report). Solid fill material is to be free of soil, roots, frozen soils, or any other decomposable material. Solid fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.

A contractor shall notify the Metro Davidson County Department of Public Works construction compliance division, three days prior to beginning the work. A contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.

Excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use. A contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights. A contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction and caused by itself, its sub-contractors, or the carelessness of any of its employees.

Work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.

Erosion control measures shall remain in place until site is stabilized & construction is complete. A contractor shall provide an area for concrete wash down and equipment fueling in accordance with metro sp-10 and sp-13, respectively. Contractor to delineate exact location with flag department during the preconstruction meeting. Grading permits to include bemp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes pertaining to said bemp's shall be shown on the epic plan.

A buffer area shall be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

Landscape Notes

A landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities. Planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch. All materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and stumps.

A landscape contractor shall be responsible for the fine grading of all planting areas. Planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer. Planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch. Landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.

A landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment. Planting trees to remain shall be protected from construction damage. Selectively prune dead wood. Disturbed areas shall be planted with turf as indicated on the materials schedule.

Deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted. Landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period. Plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality. Materials shown have been selected specifically for this project.

Wire backsets shall be completely removed and disposed of, burp should be removed or punctured in at least 5 places. Remove all twine from leaved materials. Watering is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period. Canopy trees shall be located within 15' of an overhead utility. No trees shall be located within a public utility easement. Location of plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no less than 5' from the centerline of drainage.

Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

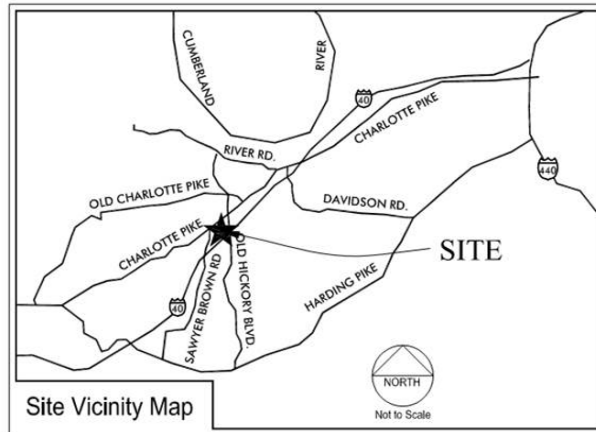
Signage Notes

Work within the public right of way requires an excavation permit from the department of Public Works. Proof-filling of all street subgrades is required in the presence of the Public Works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance. All signs are to be 30 inch by 30 inch. All signs are to be 1/2 inch white letters on a 1/2 inch green aluminum blade, high intensity reflective. Pavement marking are to be thermoplastic.

Water and Sewer Notes

Water and sewer construction shall be in accordance with specifications and standard details of the Harpeth Valley Utility District. A contractor is responsible for reimbursing the cost of inspection. A contractor is to provide and maintain the construction identification sign for private development approved. Connections to existing manholes shall be by coring and resilient connector method. Reduced pressure backflow prevention devices (rpbd) or dual check valve will be required on all test and fill lines (pumper) needed for water main construction and must be approved by the metro water services.

Water meters shall be a minimum of 24" not to exceed a maximum of 28" below finished grade. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.



Standard SP Notes

- The purpose of this SP is to receive preliminary approval to permit a development consisting of 322 multifamily dwelling units.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Stormwater management ordinance no. 78-840 & approved by the Metropolitan Department of Water Services.
- This property does not lie within a flood hazard area as identified by FEMA on map 47037C0306 dated April 20, 2001.
- All public sidewalks are to be constructed in conformance with Metro Public Works standards design standards.
- Wheel chair accessible curb ramps, complying with applicable Metro Public Works standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the Metropolitan Fire Marshal's office, prior to the issuance of a building permit.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater manual (minimum driveway culvert in metro right of way is 15' cmg).
- Harpeth Valley Utility District shall be provided sufficient & unencumbered ingress & egress of all times in order to maintain, repair, replace & inspect any stormwater facilities within the property.
- Solid waste pickup to be provided by trash compactor as shown on this plan.
- This drawing is for illustration purposes to indicate the basic premise of the development. The final unit count and details of the plan shall be governed by the appropriate regulations at the time of final application.
- Minor modifications to the Preliminary SP Plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of commission or council approval, the property shall be subject to the standards, regulations and requirements of the MUA zoning district as of the date of the applicable request or application.
- This development shall occur in one phase.

General plan consistency note

The current specified land use for the subject site is T3 NE.

The NE structure plan is intended to accommodate residential developments with a density range of up to 20 units per acre. Developments with densities in the upper end of the density range are intended for properties with good accessibility, or located on a corridor, and not intended to be placed within areas of lower densities. Appropriate uses within the NE structure plan include a broad range of housing types including multifamily, attached single family & detached single family with smaller lots. The streetscape features consistent use of lighting and more formal landscaping and are served by high levels of connectivity with street networks, sidewalks, bikeways and mass transit.

ARCHITECTURAL REQUIREMENTS

THE PROPOSED MULTIFAMILY BUILDINGS ARE TO BE BUILT IN CHARACTER WITH THE BELLEVUE AREA. THE BUILDING EXTERIORS SHALL CONSIST OF PRIMARILY MASONRY PRODUCTS (NO VINYL).



8/18/14

Development Summary

Property Information

645 Old Hickory Blvd.
Nashville, TN 37209
Parcel 119, Map 114

7461 Charlotte Pike
Nashville, TN 37209
Parcel 124, Map 114

Council District 22 (Shoif Weiner)

Owner of Record

Agape Fellowship Church
645 Old Hickory Blvd.
Nashville, TN 37209

Developer

Brad Johnson
One Glen Lane Parkway, Suite 125
Atlanta, GA 30328
Contact: Brad Johnson
Phone: 678.539.1001
Email: b.johnson@westplan.com

Civil Engineer

Dale and Associates
516 Heather Place
Nashville, Tennessee 37204
Contact: Roy Dale, PE
Phone: 615-297-5166
Email: roy@daleandassociates.net

Flood Note

This property is not located within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map (FIRM) Number 47037C036 F. Dated April 20, 2001.

Site Area

Parcel 119, Map 114 - 2.23 ac
Parcel 124, Map 114 - 28.28 ac

SPECIFIC PLAN DEVELOPMENT SUMMARY

Use	Multifamily	R15
Property zoning		R15
Surrounding Zoning	R15, RM4, CL & CS	
Site Area	30.51 Acres	
Number of units / density	322 total dwelling units / 10.56 per acre	
FAR	0.36	
ISR	70% max. / 35% proposed	
Front yard setback	15' from Right Of Way	
Side yard	20' from property line	
Rear yard	20' from property line	
Height standards	3 story basement units, 4/3 split	

Parking and Access

Ramp location and muber	(1) access on Old Hickory Blvd.
	(1) access on Charlotte Pike
Distance to nearest existing ramp (Min. 30')	Old Hickory Blvd. 100' to driveway north Old Hickory Blvd. 200' to driveway south
Distance to intersection	Charlotte Pike 1000' north
Required parking based on uses	Interstate 550' south 427 stalls required
Parking Proposed	519 stalls (1.61 per unit)

Sheet Schedule

- C0.0 Notes & Project Standards
- C1.0 Existing Conditions Plan
- C2.0 Site Layout Plan
- C3.0 Site Utility & Grading Plan
- L1.0 Site Landscape Plan

Notes & Project Standards

Dale & Associates
Civil Engineering
Landscaping Architecture
Surveying
1011 Hickory Place
Nashville, Tennessee
(615) 297-5166

REVISIONS:

WEST PLAN SP

DATE: August

PROJECT
West 11

C1
10



Scale 1" = 80'

Erosion Control and Grading Notes

1. Expose as small an area of soil as possible on the site for no more than 15 days. Keep dirt within tolerable limits by spreading or other acceptable means.
2. All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 6-12 fertilizer (unless otherwise specified in written specifications), 5 lbs. or more of Kentucky 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
3. Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section 10-14.
4. Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
5. The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
6. Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 6" thick.
7. The placing and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 6" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, roots, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
8. The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
9. The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
10. Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
11. The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
12. The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
13. All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinance or regulations relating to portions of work which he is to perform.
14. All erosion control measures shall remain in place until site is stabilized & construction is complete.
15. Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro cp-10 and cp-13, respectively. Contractor to coordinate exact location with rpdas department during the preconstruction meeting. Grading permits to include long's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the spec plan.
16. The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.

WEST PLAN SP

DATE: August



REMAINDER OF SITE
MIMOSA SOIL TYPE
(NO DELROSE SOILS
SUBJECT TO SLIDING
HAVE BEEN MAPPED
ON THIS PROPERTY)

TOP OF HILL
(BODINE SOIL TYPE)

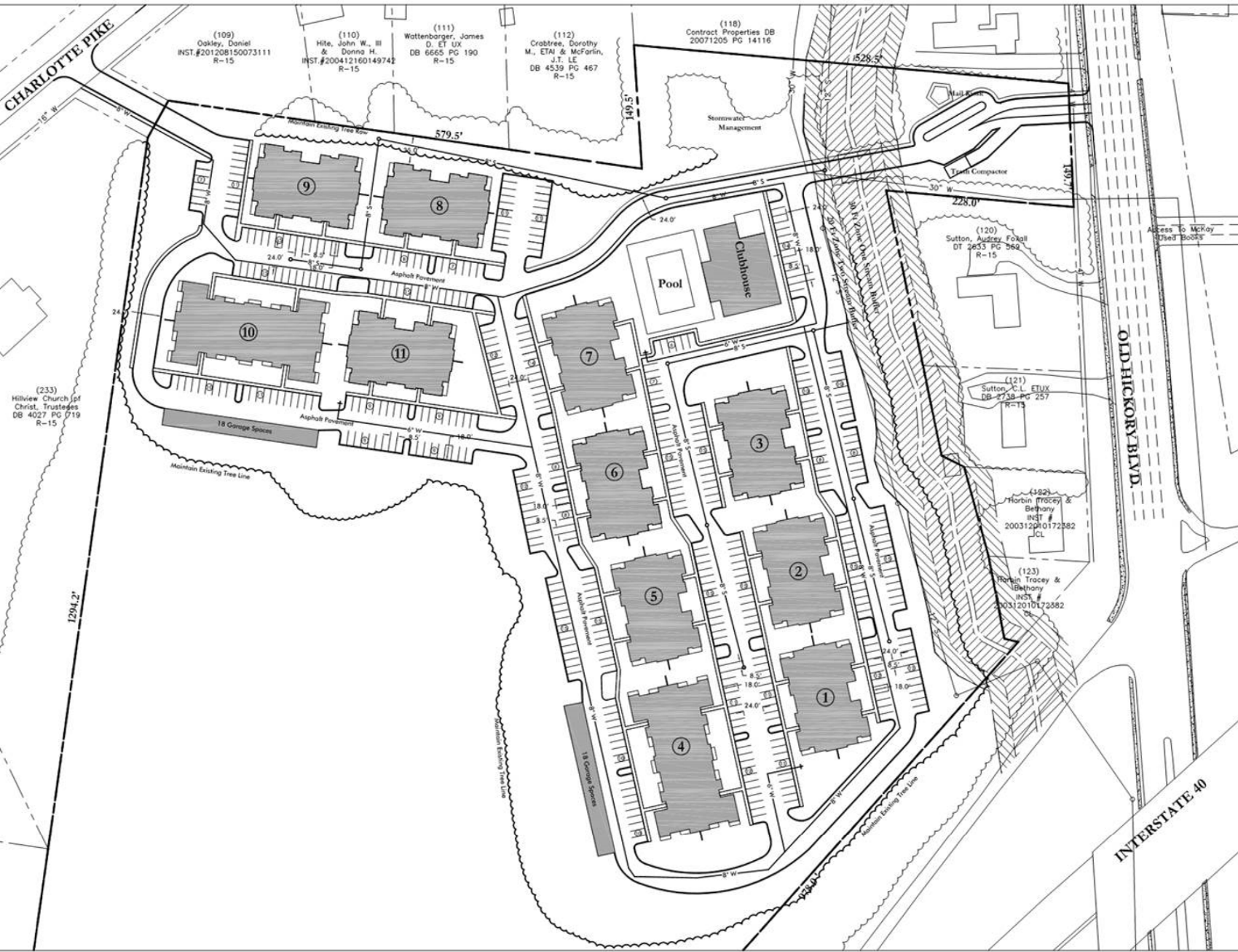
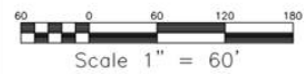


8/18/14

Dale & Associates
 Consulting Civil Engineering
 Land Planning & Zoning
 Surveying

1000
 West
 C2
 20

EXISTING CONDITIONS



- Public Works Notes**
1. All work within the public right of way requires an excavation permit from the department of public works.
 2. Proof-rolling of all street subgrades is required in the presence of the public works inspector. Inspection of the binder course is required prior to final paving in the presence of the public works inspector. These requests are to be made 24 hours in advance.
 3. Stop signs are to be 30 inch by 30 inch.
 4. Street signs to have six inch white letters on a nine inch green aluminum blade, high intensity reflective.
 5. All pavement marking are to be thermoplastic.

- Water and Sewer Notes**
1. All water and sewer construction shall be in accordance with specifications and standard details of the Harpeth Valley Utilities District.
 2. The contractor is responsible for reimbursing the metro water services the cost of inspection.
 3. The contractor is to provide and maintain the construction identification signs for private development approved.
 4. All connections to existing manholes shall be by coring and resilient connector method.
 5. Reduced pressure backflow prevention devices (rpbd) or dual check valve will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the metro water services.
 6. All water meters shall be a minimum of 2 1/2" not to exceed a maximum of 2 3/4" below finished grade.
 7. Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
 8. Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.

WEST PLAN SP

DATE: August



Dale & Associates
 Consulting Civil Engineering
 Land Use Planning
 Surveying

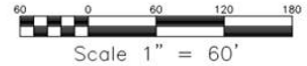
CONCEPT LAYOUT AND UTILITY PLAN

PROJECT

West

C3

30



CHARLOTTE PIKE

OLD HICKORY BLVD.

INTERSTATE 40

(109) Oakley, Daniel
INST.#201208150073111
R-15

(110) Hite, John W., III
& Donna H.
INST.#200412160049742
R-15

(111) Watterbarger, James
D. ET UX
DB 6685 PG 190
R-15

(112) Crabtree, Dorothy
M. ET AI & McFarlin,
J.T. LE
DB 4539 PG 467
R-15

(118) Contract Properties DB
20071205 PG 14116

(120) Sutton, Audrey Fokali
DT 2653 PG 562
R-15

(121) Sutton, C.L. ETUX
DB 2713 PG 257
R-15

(122) Harbin Tracey & Bethany
INST # 20031210172382
CL

(123) Harbin Tracey & Bethany
INST # 20031210172382
CL

STORMWATER NOTES

- 1) THE SOIL TYPE FOR THIS SITE IS A UD (MIMOSA-URBAN LAND COMPLEX) WHICH FALLS WITHIN THE "C" HYDROLOGICAL SOIL GROUP.
- 2) THE SITE IS RESPONSIBLE FOR WATER QUALITY AND WATER QUANTITY. TO PROVIDE THE FULL WATER QUALITY TREATMENT OF 80% TSS REMOVAL, A WATER QUANTITY/QUALITY BMP SYSTEM IS PROPOSED DESIGN OF THIS SYSTEM WILL BE PROVIDED DURING THE FINAL SP PROCESS.
- 3) STORM SEWER SYSTEM ON THIS PLAN IS SHOWN SCHEMATICALLY. FINAL DESIGN WILL BE PROVIDED REQUIREMENTS OF THE STORMWATER MANAGEMENT MANUAL.
- 4) THIS PROJECT WILL DISTURB MORE THAN 1 ACRE, THEREFORE, A NOI WILL BE SUBMITTED TO TDEC DURING FINAL SP PROCESS.
- 5) THE STREAM CROSSING WILL USE THE EXISTING BRIDGE AND PAVED SURFACE.
- 6) A WALL WILL BE PLACED ALONG THE ZONE TWO BUFFER TO AVOID FILLING IN SAND BUFFER OR THE WALL COULD BE ELIMINATED WITH A PROPER STORMWATER YARDAGE.
- 7) METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED ACCESS IN ORDER TO MAINTAIN AND REPAIR UTILITIES IN THIS SITE.

Erosion Control and Grading Notes

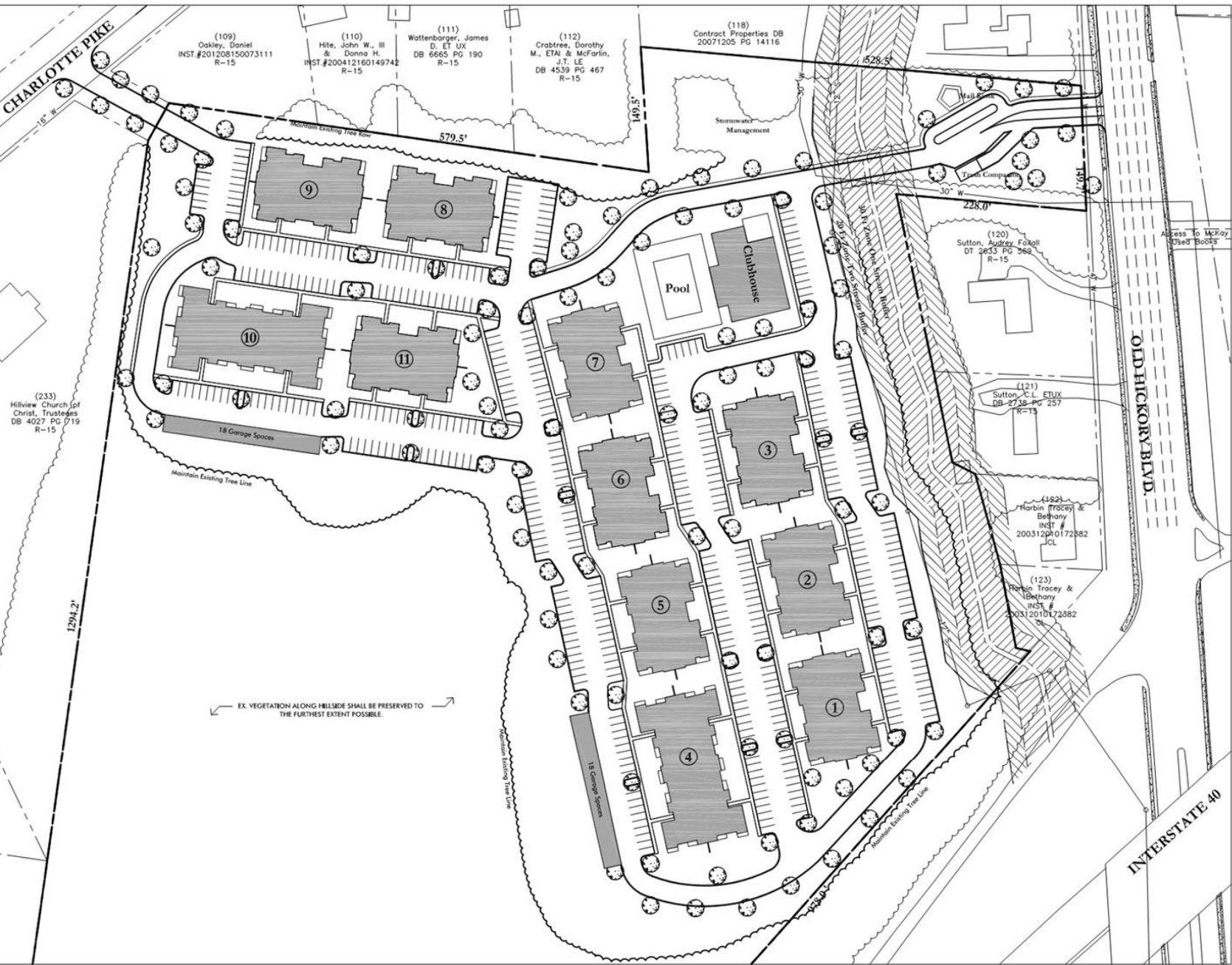
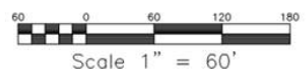
1. Expose on small an area of soil as possible on the site for no more than 15 days. Keep dust within tolerable limits by spraying or other acceptable means.
2. All cut/fill areas to have a minimum of 6" of topsoil cover. Areas dressed with topsoil shall receive 12 lbs. per 1000 sq. ft. of 6-12-12 fertilizer (unless otherwise specified in written specs) and 31 lbs. of poultry 31 fescue seed per 1000 sq. ft., and a straw mulch cover of 70%-80% coverage (approximately 125 lbs. per 1000 sq. ft.), unless otherwise noted within written specifications.
3. Erosion control barrier is called out on plans and is to comply with the Metropolitan stormwater management manual, volume four, section top-14.
4. Disturbed areas are to be graded to drain as indicated in the plan to sediment barriers during and upon the completion of construction.
5. The contractor shall be responsible for the verification and the location of any existing utilities. It shall be the responsibility of the contractor to avoid damage to all existing utilities during construction. If damage does occur to any such installation, full repair will be accomplished as per the current specification governing such work.
6. Any access routes to the site shall be based with crushed stone, ASTM #1 stone, 100' long and at least 8" thick.
7. The piling and spreading of any fill material is to be started at the lowest point and brought up in horizontal layers of 8" thickness (or as directed by the soils investigative report). Said fill material is to be free of sod, root, frozen soils, or any other decomposable material. Said fill is to be compacted to a minimum of 95% standard proctor, or as otherwise specified by the soils report or written specifications.
8. The contractor shall notify the Metro Davidson County department of Public Works construction compliance division, three days prior to beginning the work.
9. The contractor shall locate and stake the layout of the site in the field for inspection by the engineer. The contractor shall check the grades and final dimensions on the ground, and report any discrepancies to the engineer immediately for a decision.
10. Surplus excavation of topsoil shall be placed on the site as approved by the owner for the purpose of future landscape use.
11. The contractor shall furnish and install all necessary temporary works for the protection of the public and employees, including warning signs and lights.
12. The contractor shall be responsible for any damage done to the premises or adjacent premises or injuries to the public during the construction caused by himself, his sub-contractors, or the carelessness of any of his employees.
13. All work is to be completed with compliance to the rules and regulations set forth by Metro Water Services. The contractor shall give all necessary notice, obtain all permits, and pay fees required for the completion of his portion of the work. He shall also comply with all city, county and state laws and ordinances or regulations relating to portions of work which he is to perform.
14. All erosion control measures shall remain in place until site is stabilized & construction is complete.
15. Contractor to provide an area for concrete wash down and equipment fueling in accordance with metro op-10 and op-13, respectively. Contractor to coordinate exact location with road department during the preconstruction meeting. Grading permits to include bmp's designed to control site wastes such as discarded building materials, chemicals, litter and sanitary wastes that may cause adverse impacts to water quality. The location of and/or notes referring to said bmp's shall be shown on the aspc plan.
16. The buffer along waterways will be an area where the surface is left in a natural state, and is not disturbed by construction activity. This is in accordance with the Stormwater Management Manual Volume 1 - Regulations.



8/18/14

Dale & Associates
 Consulting Civil Engineering
 Planning, Surveying, Construction Management
 1015 West 10th Street
 Nashville, TN 37203
 (615) 259-1100

CONCEPT GRADING AND UTILITY PLAN



Landscape Notes

1. The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for and damage to utilities. The landscape contractor shall verify the exact location of all utilities and take precautions to prevent damage to the utilities.
2. All planting and mulch beds shall be sprayed with round-up (contractor's option) prior to the installation of mulch.
3. Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
4. The landscape contractor shall be responsible for the fine grading of all planting areas.
5. All planting areas shall be fertilized with 12#/1000 s.f. of 10-10-10 fertilizer.
6. All planting beds shall have a minimum of 3" depth of shredded hardwood bark mulch.
7. The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
8. The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
9. Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
10. All disturbed areas shall be planted with turf as indicated on the materials schedule.
11. All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
12. The landscape contractor shall provide a one year warranty on all plant materials and replace any dead or dying material within that time period.
13. No plant materials should be substituted without authorization by Dale & Associates. Plant sizes shown are minimums required by the local municipality and materials shown have been selected specifically for this project.
14. All wire baskets shall be completely removed and disposed of, but top should be removed or punctured in at least 5 places. Remove all twine from burlapped materials.
15. Guying is not allowed unless required by municipality or site conditions. The landscape contractor shall remove wires after a one year period.
16. No canopy tree shall be located within 15' of an overhead utility. No tree shall be located within a public utility easement. Locating plant materials within a drainage easement is acceptable, but only if installed as not to disturb existing drainage flow. In such instances, the materials shall be located no closer than 5' from the centerline of drainage.
17. Lighting plan to be coordinated with proposed planting plan. No light poles to be located in tree islands. See lighting plan for proposed light locations.

TREE DENSITY NOTES

METRO TREE DENSITY REQUIREMENTS WILL BE ADDRESSED IN FINAL CONSTRUCTION DOCUMENTS. AT THE PRELIMINARY PHASE OF THIS PROJECT NO DETAILED TREE INFORMATION IS AVAILABLE.

TREE DENSITY UNITS:

30.51 AC x 2.89AC = 27.62 AC x 14 = 386.68 TDU'S REQ'D
 TREE DENSITY WILL BE ACHIEVED THROUGH TREE PLANTING AND TREE PRESERVATION (EXISTING HILLSIDE TREES TO BE PRESERVED)

IRRIGATION NOTE

IRRIGATION WILL BE PROVIDED ON FINAL PLAN. IRRIGATION TO BE DESIGN/BUILD BY LANDSCAPE CONTRACTOR.

EX. VEGETATION ALONG HILLSIDE SHALL BE PRESERVED TO THE FURTHEST EXTENT POSSIBLE.

WEST PLAN SP

DATE: August

Dale & Associates
 Consulting City & Landscape
 Planning Architects
 10111 Littleton Place
 Nashville, Tennessee
 615.977.4000

CONCEPT LANDSCAPE PLAN

PROJECT
 West 1
C5
 50