

Woodstock At Chestnut Hill

Preliminary SP Application# 2014SP-029-001
 Map 105-03, Parcel 346
 1225 4th Avenue South
 Nashville, Tennessee

Purpose: To Create A Specific Plan District To Allow A Multifamily Residential And General Office (Live Work) Development.

Notes:

- The development of this project shall comply with the requirements of the adopted Tree Ordinance 2008-328 (Metro Code Chapter 17.24, Article II, Tree Protection and Replacement; and Chapter 17.40, article X, Tree Protection and Replacement Procedures).
- Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 and approved by the Metropolitan Department of Water Services.
- This property is shown in Zone "X" and outside the 100-Yr Floodplain as shown on FEMA Map 47037C0219F dated April 20, 2001.
- All sidewalks are to be constructed in conformance with the Major and Collector Street Plan as well as Metro Public Works Sidewalk Design Standards.
- Wheelchair accessible curb ramps, complying with applicable Metro Public Works Standards, shall be constructed at street crossings.
- The required fire flow shall be determined by the Metropolitan Fire Marshal's Office, prior to the issuance of a building permit.
- Per Fire Marshal no part of any building shall be more than 500 ft. from a fire hydrant via an approved hard surfaced road. Metro Ordinance 095-1541 Section 156B.020 B. Fire mains shall be large enough to flow required fire flow. Mains over 600 ft. in length should be increased to the next size larger in diameter.
- Any approvals are subject to Public Works Approval of the construction plans. Final design and improvements may vary based on field conditions.
- Metro Water Services shall be provided sufficient and unencumbered access in order to maintain and repair utilities in this site.
- Size driveway culverts per the design criteria set forth by the Metro Stormwater Management Manual (minimum driveway culvert in Metro ROW is 15" CMP).
- All development within the boundaries of this plan meets the requirement of the American With Disabilities Act and the Fair Housing Act.
- For any development standards, regulations and requirements not specifically shown on the SP plan and/or included as a condition of Commission or Council approval, the property shall be subject to the standards, regulations and requirements of the M.U.-A zoning district as of the date of the applicable request or application.
- Minor modifications to the preliminary SP plan may be approved by the Planning Commission or its designee based upon final architectural, engineering or site design and actual site conditions. All modifications shall be consistent with the principles and further the objectives of the approved plan. Modifications shall not be permitted, except through an ordinance approved by Metro Council, that increase the permitted density or floor area, add uses not otherwise permitted, eliminate specific conditions or requirements contained in the plan as adopted through this enacting ordinance, or add vehicular access points not currently present or approved.
- Building elevations for all street courtyard and parking area facades shall be provided with the final site plan.
- Proposed buildings in phase 2 shall have a minimum finished floor elevation for units fronting 4th Avenue South of 24 inches and a maximum of 48 inches, as measured from the sidewalk adjacent to 4th Avenue South.
- Any excavation, fill or disturbance of the existing ground elevation must be done in accordance with Storm Water Management Ordinance No. 78-840 and approved by the Stormwater Division of the Metro Department of Water Services.
- This drawing is for illustrative purposes to indicate the basic premise of the development. The final unit count and details of the plan shall be governed by the appropriate regulation at the time of final application.
- Building facades fronting a street, courtyard and parking area shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing. The east and west facades of the Phase I buildings are not required to provide a principal entrance door. The north and south facades of the Phase II buildings are not required to provide a principal entrance door.
- Windows shall be vertically oriented.
- EIFS and vinyl siding shall be prohibited.

Drawing Index

Sheet No.	Title
C0.0	Cover Sheet
C1.0	Existing Conditions, Initial SWPP Plan, Demolition Plan
C2.0	Site Plan
C3.0	Utility Plan
C4.0	Grading & Drainage Plan
C5.0	Notes & Details
C5.1	Details
L1.0	Landscape Plan
L2.0	Landscape Plan
A2.1	Exterior Elevations

Electric Service:
 Nashville Electric Service (NES)
 1214 Church Street
 Nashville, Tennessee 37248
 (615) 747-6807

Gas Service:
 Nashville GAS (Piedmont)
 (615) 734-0734

Water Service:
 Metro Water Service
 1600 2nd Avenue North
 Nashville, Tennessee 37208
 (615) 862-4598

Sewer Service:
 Metro Water Services
 1600 2nd Avenue North
 Nashville, Tennessee 37208
 (615) 862-4598

Telephone Service:
 Bellsouth
 (800) 288-2020

Utility Location:
 Tennessee One-Call
 (800) 351-1111



Site Location Map
 Not To Scale

Developer/Owner:

Woodstock Vintage Lumber L.L.C.
 C/O Brent Courney
 1225 4th Ave. South
 Nashville, TN 37210

Engineer/Applicant:

Site Engineering Consultants, Inc.
 C/O James Reed, P.E., R.L.S.
 President/Design Engineer
 850 Middle Tennessee Blvd.
 Murfreesboro, TN 37129
 Phone: 615-890-7901
 Fax: 615-895-2567

Floodplain Note:

This property lies within Zone X, not in a Special Flood Hazard Area, as defined by FIRM Maps for Nashville & Davidson County, Tennessee Map Number 47037C0219F, Effective date April 20, 2001.

SP Development Standard:

Existing Use = Lumber Co.
 Proposed Use = Multi-Family Residential And General Office (Live Work)
 42 Units
 Type "A" Unit Footprint 18'x38'
 -21 @ 1-BR Units (1-Story Flat = 684 Sq.Ft.)
 -21 @ 2-BR Units (2-Story Stacked = 1368 Sq.Ft.)
 Total Floor Area: 41,040 Sq.Ft.
 Total Land Area: 1.24± Acres
 Impervious Surface Area: 0.97 Acres
 Building Height = 2 Story, 27', Max Height = 30'

Setbacks Standards:

Phase 1: Front: 5' Side: 5' Rear: 5'
 Phase 2: Front: Builds To 5-10' Side: 5' Rear: 5'

Deed Reference:

17th Council Manic District Davidson County, TN
 Council Person: Sandra Moore
 Existing Zoning = IR-Industrial Restrictive W/ Urban Zoning Overlay District
 Proposed Zoning: SP
 Adjacent Zoning: R6, IR, CS
 Tax Map 105-03, Parcel 346
 Parcel ID: 10503034600

Parking Standards:

Required: (21 Units x 1.5 Sp/Unit For 2-BR in LUZ0)
 (21 Units x 1 Sp/Unit For 1-BR in LUZ0)
 Total Required: 53 Spaces
 Total Provided: 60 Spaces (Phase 1: 47 Spaces, Phase 2: 13 Spaces)

Phasing:

Phase I: 8 Bldgs. (Area: 0.73± Acres)
 ISR = $\frac{8}{10.8} = 0.50\%$
 Phase II: 13 Bldgs. (Area: 0.51± Acres)
 ISR = $\frac{13}{16.5} = 0.79\%$

SP Development Schedule

SP To Be Developed In Two Phases
 Phase 1: 16 Units (8 @ 1-BR & 8 @ 2-BR)
 Phase 2: 26 Units (13 @ 1-BR & 13 @ 2-BR)

REVIEW SET
 (Not Intended For Construction)

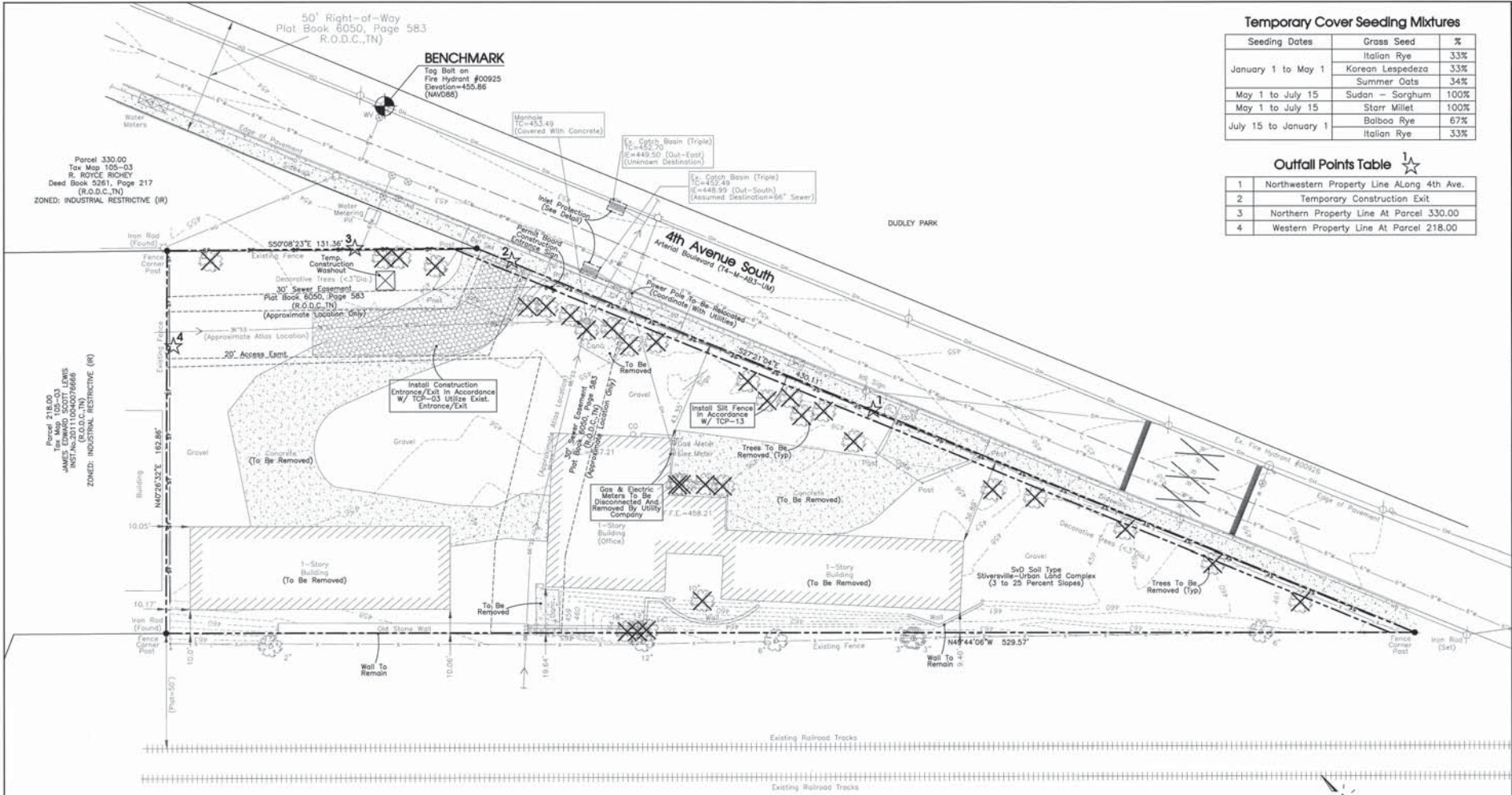
Sheet C0.0
 Woodstock at Chestnut Hill
 Preliminary SP Application
 S.E.C. Project #14024
 Submitted:
 Revised:

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING • SURVEYING • LAND PLANNING

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
 PHONE: (615) 890-7901 E-MAIL: JREED@SEC-CIVIL.COM FAX: (615) 895-2567
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF S.E.C. INC.



By: James F. Reed III Date: May 1, 2014
 James F. Reed III P.E. TN. Reg. #109038



Temporary Cover Seeding Mixtures

Seeding Dates	Grass Seed	%
January 1 to May 1	Italian Rye	33%
	Korean Lespedeza	33%
May 1 to July 15	Summer Oats	34%
	Sudan - Sorghum	100%
July 15 to January 1	Starr Millet	100%
	Balboa Rye	67%
	Italian Rye	33%

Outfall Points Table

1	Northwestern Property Line Along 4th Ave.
2	Temporary Construction Exit
3	Northern Property Line At Parcel 330.00
4	Western Property Line At Parcel 218.00

Parcel 330.00
Tax Map 105-03
R. ROYCE RICHY
Deed Book 0261, Page 217
(R.O.D.C., TN)
ZONED: INDUSTRIAL RESTRICTIVE (IR)

Parcel 218.00
JAMES EDWARD SCOTT LEGS
INST. No. 20111004078668
ZONED: INDUSTRIAL RESTRICTIVE (IR)

SEC, Inc.
SITE ENGINEERING CONSULTANTS
800 MILE TENNESSEE BOULEVARD, MEMPHIS, TENNESSEE 38198
PHONE: (901) 890-7941 FAX: (901) 890-5687
E-MAIL: JBERBEREC@SEC.COM
NO PORTION OF THIS DOCUMENT MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF SEC, INC.

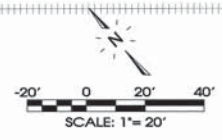
STATE OF TENNESSEE
REGISTERED PROFESSIONAL ENGINEER
No. 34867
EXPIRES 12/31/2015

Woodstock at Chestnut Hill
1225 4th Ave. South
Preliminary SP Application# 2014SP-029-001
Nashville, Tennessee

Legend:

EXIST. CONCRETE MONUMENT	INLET PROTECTION FILTER	BENCHMARK	SEWER/STORM FLOW DIRECTION	EXISTING PHONE	EXISTING STORM
IRON PIN SET (I.P.S.)	HANDICAP PARKING SYMBOL	BLOW OFF VALVE	TRAFFIC ARROW	EXISTING ELECTRIC	PROPOSED STORM
IRON PIN FOUND (I.P.F.)	HC SIGN	CONCRETE BOLLARD	TURN LANE ARROWS	PROPERTY LINE	EXISTING CONTOUR LINES
EXIST. SIGN POST	HEADWALL	CATCH BASIN	V.A. MAN ACCESSIBLE HANDICAP DESIGNATION	EASEMENTS	PROPOSED CONTOUR LINES
EXIST. SINKER CLEANOUT	WINGED HEADWALL	CURB INLET	WATER METER	RIGHT OF WAY	EXISTING SANITARY SEWER
EXIST. MANHOLE (DECK & FRINGE)	MANHOLE	AREA DRAIN	WHEEL STOP	EROSION CONTROL SILT FENCE	PROPOSED SANITARY SEWER
EXIST. CATCH BASIN (STORM SEWER)	PROPOSED SPOT ELEVATION	CONCRETE THURST BLOCK	DOUBLE DETECTOR CHECK VALVE	GRASS SWAP	EXISTING WATER
EXIST. WATER/GAS VALVE	EXIST. SPOT ELEVATION	POST INDICATOR VALVE	FIRE EXPT. CONNECTION	DRAINAGE STRUCTURE DESIGNATION	PROPOSED WATER
EXIST. TELEPHONE RISER	REDUCER	REMOTE FIRE SEPT. CONNECTION	NOYSON NUMBER	CONCRETE SIDEWALK	EXISTING FENCIBLE
EXIST. GAS RISER	REMOTE FIRE SEPT. CONNECTION	GAS METER	GATE VALVE & BOX	EXTRUDED CURB	MINIMUM BUILDING SETBACK LINE
EXIST. ELECTRICAL ENCLOSURE	SS RAMP	EXTERIOR CLEANOUT	CONCRETE SIALE	PROPOSED GAS LINE	PHASE BOUNDARY
EXIST. WATER METER					EXISTING GAS LINE
EXIST. UTILITY POLE					PROPOSED GAS LINE
EXIST. FIRE HYDRANT					

Existing Boundary & Topographical Information Taken From A Survey Prepared By H&H Land Surveying, Inc., Dated 3-4-2014. SEC, Inc. Makes No Warranties As To The Accuracy Of This Survey And Is Not Responsible For Any Discrepancies That Are Found To Exist With Actual Field Conditions.



*Muddy vehicle tires to be hosed off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours.
All erosion control measures are to be removed prior to as-built approval.
Disturbed/Graded Area: 52,128 Sq.Ft.

* Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with the NPDES Department during the pre-construction meeting.



REVIEW SET
(Not Intended For Construction)

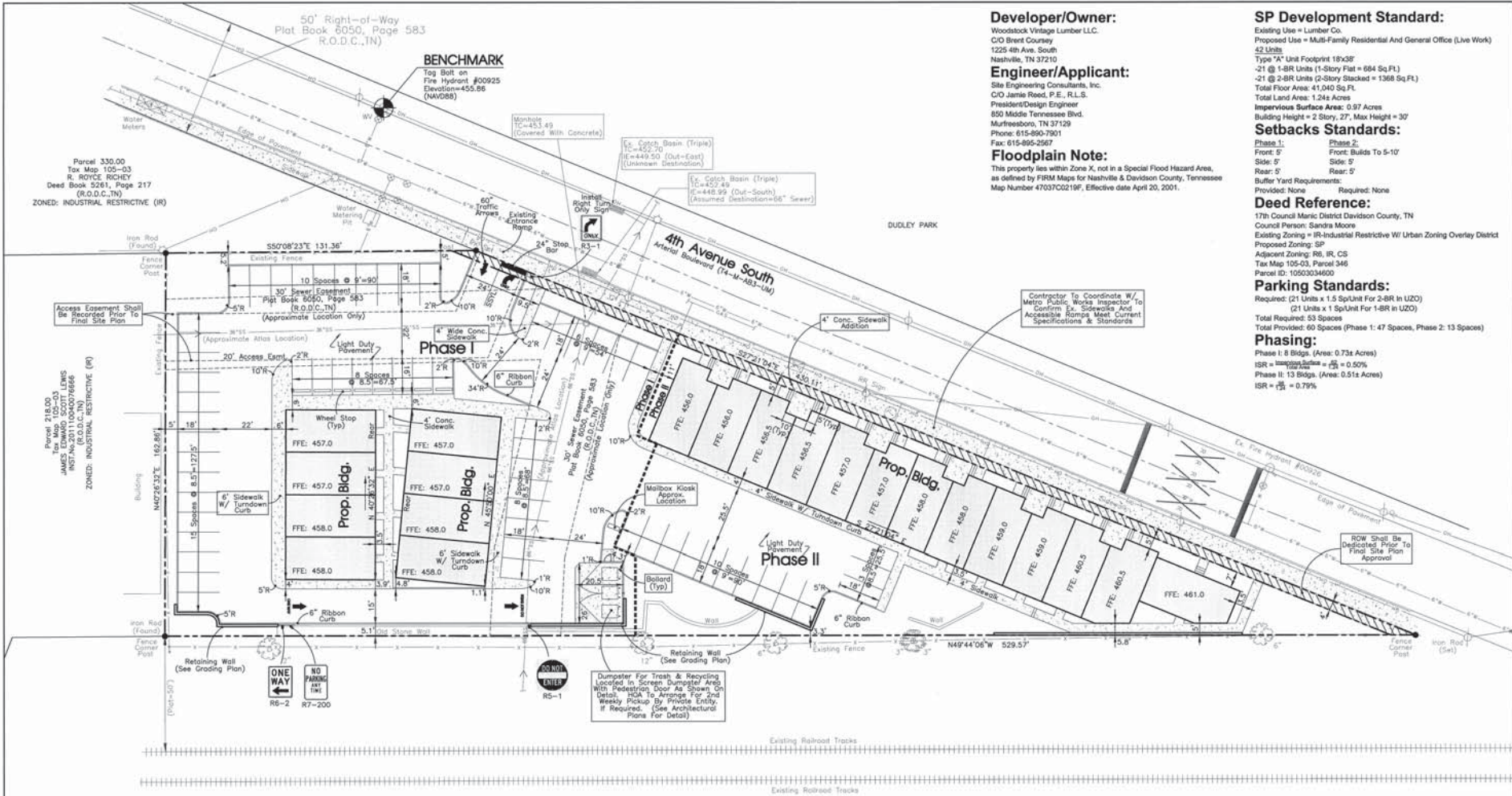
REVISIONS:

NO.	DATE	DESCRIPTION
1	3-7-14	

DRAWN: SJA
DATE: 3-7-14
CHECKED:
JMF
FILE NAME: 1403Apr14rev.dwg
SCALE: 1"=20'
JOB NO: 14024
SHEET:

Existing Conditions, Initial SWPPP & Demolition Plan

C1.0



Developer/Owner:

Woodstock Vintage Lumber LLC.
C/O Brent Couray
1225 4th Ave. South
Nashville, TN 37210

Engineer/Applicant:

Site Engineering Consultants, Inc.
C/O Jamie Reed, P.E., R.L.S.
President/Design Engineer
850 Middle Tennessee Blvd.
Murfreesboro, TN 37129
Phone: 615-890-7901
Fax: 615-895-2567

Floodplain Note:

This property lies within Zone X, not in a Special Flood Hazard Area, as defined by FIRM Maps for Nashville & Davidson County, Tennessee Map Number 47037C0219F, Effective date April 20, 2001.

SP Development Standard:

Existing Use = Lumber Co.
Proposed Use = Multi-Family Residential And General Office (Live Work)
42 Units
Type "A" Unit Footprint 18'x38'
-21 @ 1-BR Units (1-Story Flat = 684 Sq Ft.)
-21 @ 2-BR Units (2-Story Stacked = 1368 Sq Ft.)
Total Floor Area: 41,040 Sq Ft.
Total Land Area: 1.24+ Acres
Imperious Surface Area: 0.97 Acres
Building Height = 2 Story, 27', Max Height = 30'

Setbacks Standards:

Phase 1: Phase 2:
Front: 5' Front: Builds To 5-10'
Side: 5' Side: 5'
Rear: 5' Rear: 5'
Buffer Yard Requirements: Required: None

Dead Reference:

17th Council Maric District Davidson County, TN
Council Person: Sandra Moore
Proposed Zoning: SP
Adjacent Zoning: RB, IR, CS
Tax Map 105-03, Parcel 346
Parcel ID: 10503034600

Parking Standards:

Required: (21 Units x 1.5 Sp/Unit For 2-BR In UZO)
(21 Units x 1 Sp/Unit For 1-BR In UZO)
Total Required: 53 Spaces
Total Provided: 60 Spaces (Phase 1: 47 Spaces, Phase 2: 13 Spaces)

Phasing:

Phase I: 8 Bldgs. (Area: 0.73+ Acres)
ISR = $\frac{0.73}{1.24} = 0.59\%$
Phase II: 13 Bldgs. (Area: 0.51+ Acres)
ISR = $\frac{0.51}{1.24} = 0.79\%$

Parcel 330.00
Tax Map 105-03
R. ROYCE ROCHEY
Deed Book 5261, Page 217
(R.O.D.C., TN)
ZONED: INDUSTRIAL RESTRICTIVE (IR)

Parcel 218.00
Tax Map 105-03
JAMES W. WALKER
INST. No. 20111000076666
(R.O.D.C., TN)
ZONED: INDUSTRIAL RESTRICTIVE (IR)

SEC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING - SURVEYING - LAND PLANNING
850 MIDDLE TENNESSEE BLVD., SUITE 200
MURFREESBORO, TN 37129
TEL: (615) 890-7901 FAX: (615) 895-2567
WWW.SECINC.COM
IF NO PORTION OF THIS DRAWING HAS BEEN REPRODUCED WITHOUT THE WRITTEN CONSENT OF SEC, INC.



Woodstock at Chestnut Hill
1225 4th Ave. South
Preliminary SP Application# 2014SP-029-001
Nashville, Tennessee

Legend:					
EXIST. CONCRETE MONUMENT	INLET PROTECTION FILTER	BENCHMARK	SEWER/STORM FLOW DIRECTION	EXISTING PHONE	EXISTING STORM
IRON PIN SET (P.P.S.)	HANDICAP PARKING SYMBOL	BLOW OFF VALVE	TRAFFIC ARROW	EXISTING ELECTRIC	PROPOSED STORM
IRON PIN FOUND (P.P.F.)	H.C. SIGN	TURN LANE ARROWS	PROPERTY LINE	EXISTING CONTOUR LINES	PROPOSED CONTOUR LINES
EXIST. SIGN POST	HEADWALL	CATCH BASIN	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	EXISTING SANITARY SEWER	PROPOSED SANITARY SEWER
EXIST. SEWER CLEANDOUT	WHOD HIGHWALL	CURB INLET	WATER METER	EROSION CONTROL SALT FENCE	EROSION EEL
EXIST. MANHOLE (SEWER & PHONE)	MANHOLE	AREA DRAIN	WHEEL STOP	GREASE TRAP	EXISTING TREELINE
EXIST. CATCH BASIN (STORM SEWER)	PROPOSED SPOT ELEVATION	CONCRETE THURST BLOCK	DOUBLE DETECTOR CHECK VALVE	DRAINAGE STRUCTURE DESIGNATION	EXISTING FENCELINE
EXIST. WATER/GAS VALVE	EXIST. SPOT ELEVATION	FIRE DEPT. CONNECTION	FIRE DEPT. CONNECTION	CONCRETE SIDEWALK	MINIMUM BUILDING SETBACK LINE
DIST. TELEPHONE RISER	REDUCER	REMOTE FIRE DEPT. CONNECTION	REVISION NUMBER	DATE VALVE & BOX	EXTERIOR CLEANDOUT
EXIST. GAS RISER	PROPOSED FIRE DEPT. CONNECTION	REVISION NUMBER	RP RAP	CONCRETE SLOPE	PROPOSED GAS LINE
ELECTRICAL ENCLOSURE	REVISION NUMBER	CONCRETE SLOPE	CONCRETE SLOPE	PROPOSED GAS LINE	
EXIST. WATER METER	CONCRETE SLOPE	PROPOSED GAS LINE			
EXIST. UTILITY POLE					
DIST. FIRE HYDRANT					

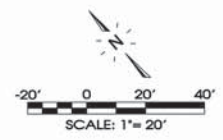
Existing Boundary & Topographical Information Taken From A Survey Prepared By H&H Land Surveying, Inc., Dated 3-4-2014. SEC, Inc. Makes No Warranties As To The Accuracy Of This Survey And Is Not Responsible For Any Discrepancies That Are Found To Exist With Actual Field Conditions.

This drawing is for illustration purposes to indicate the basic premise of the development. The final lot count and details of the plan shall be governed by the appropriate regulations at the time of final application.

Proposed buildings in phase 2 shall have a minimum finished floor elevation for units fronting 4th Avenue South of 24 inches and a maximum of 48 inches, as measured from the sidewalk adjacent to 4th Avenue South.

Building facades fronting a street, courtyard and parking area shall provide a minimum of one principal entrance (doorway) and a minimum of 15% glazing. The east and west facades of the Phase I buildings are not required to provide a principal entrance door. The north and south facades of the Phase II buildings are not required to provide a principal entrance door.

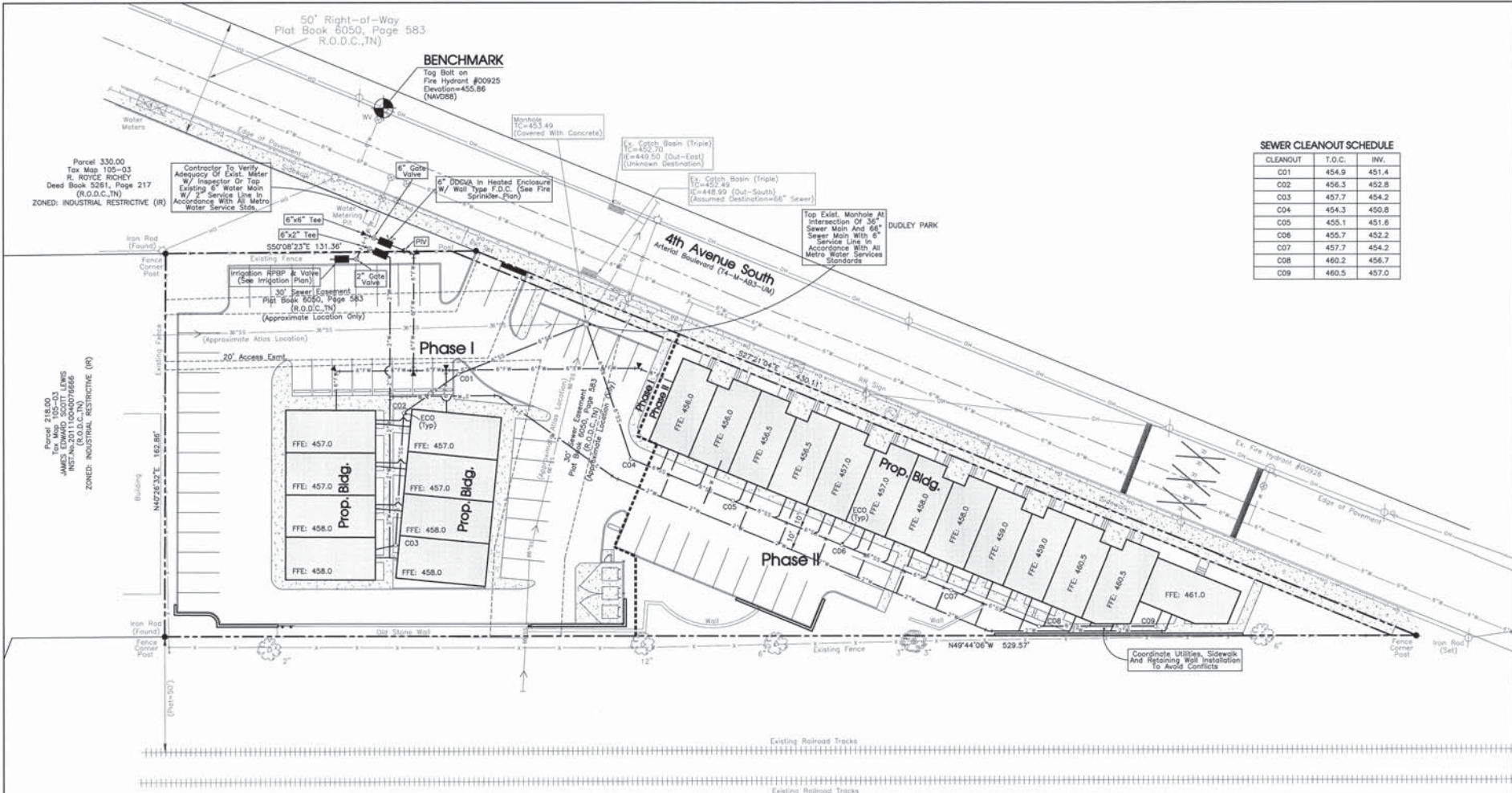
Windows shall be vertically oriented.
EIFS and vinyl siding shall be prohibited.



REVISIONS

DATE	DESCRIPTION

DRAWN: LJA
DATE: 3-27-14
CHECKED: JRF
FILE NAME: 14024SP-029-001.dwg
SCALE: 1" = 20'
JOB NO.: 14024
SHEET: C2.0



SEWER CLEANOUT SCHEDULE

CLEANOUT	T.O.C.	INV.
C01	454.9	451.4
C02	456.3	452.8
C03	457.7	454.2
C04	454.3	450.8
C05	455.1	451.6
C06	455.7	452.2
C07	457.7	454.2
C08	460.2	456.7
C09	460.5	457.0

Parcel 330.00
Tax Map 105-03
R. ROYCE ROCHEY
Deed Book 5261, Page 217
(R.O.D.C., TN)
ZONED: INDUSTRIAL RESTRICTIVE (IR)

Parcel 218.00
Tax Map 105-03
JAMES W. JONES
INST. No. 2011 00007666
(R.O.D.C., TN)
ZONED: INDUSTRIAL RESTRICTIVE (IR)

SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING - SURVEYING - LAND PLANNING
1100 N. WOODSTOCK AVENUE, SUITE 200, NASHVILLE, TN 37203
PHONE: (615) 440-7003 FAX: (615) 440-2567
WWW.SECINC.COM
NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESS WRITTEN CONSENT OF SEC, INC.
THIS DRAWING IS THE PROPERTY OF SEC, INC. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF SEC, INC.



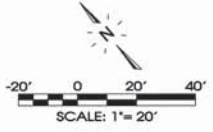
Woodstock at Chestnut Hill
1225 4th Ave. South
Preliminary SP Application # 2014SP-029-001
Nashville, Tennessee

Legend:

EXIST. CONCRETE MONUMENT	INLET PROTECTION FILTER	BENCHMARK	SEWER/STORM FLOW DIRECTION	EXISTING PHONE	EXISTING STORM
IRON PIN SET (P.F.S.)	HANDICAP PARKING SYMBOL	BLOW OFF VALVE	TRAFFIC ARROW	EXISTING ELECTRIC	PROPOSED STORM
IRON PIN FOUND (P.F.F.)	H.C. SIGN	CONCRETE BOLLARD	TURN LANE ARROWS	PROPERTY LINE	EXISTING CONTOUR LINES
EXIST. SIGN POST	HEADWALL	CATCH BASIN	V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	EGDMENTS	PROPOSED CONTOUR LINES
EXIST. SEWER CLEANOUT	WINDG HEADWALL	CURB INLET	WATER METER	RIGHT OF WAY	EXISTING SANITARY SEWER
EXIST. MANHOLE (SEWER & PHONE)	MANHOLE	AREA DRAIN	WHEEL STOP	EROSION CONTROL SALT FENCE	PROPOSED SANITARY SEWER
EXIST. CATCH BASIN (STORM SEWER)	PROPOSED SPOT ELEVATION	CONCRETE THRUST BLOCK	CHECK VALVE	GREASE TRAP	EROSION EEL
EXIST. WATER/GAS VALVE	POST INDICATOR VALVE	DOUBLE DETECTOR CHECK VALVE	FIRE DEPT. CONNECTION	EXISTING TREELINE	EXISTING WATER
EXIST. TELEPHONE RISER VALVE	REDUCER	FIRE HYDRANT	GAS METER	CONCRETE SIDEWALK	PROPOSED WATER
EXIST. GAS RISER	ELECTRICAL ENCLOSURE	REMOTE FIRE DEPT. CONNECTION	REVISION NUMBER	EXTENDED CURB	EXISTING GAS LINE
EXIST. WATER METER	EXIST. UTILITY POLE	RP RAMP	EXT. EXTERIOR CLEANOUT	CLUB & GUTTER	PROPOSED GAS LINE
EXIST. FIRE HYDRANT	RUNOFF FLOW ARROW				

Existing Boundary & Topographical Information Taken From A Survey Prepared By H&H Land Surveying, Inc., Dated 3-4-2014. SEC, Inc. Makes No Warranties As To The Accuracy Of This Survey And Is Not Responsible For Any Discrepancies That Are Found To Exist With Actual Field Conditions.

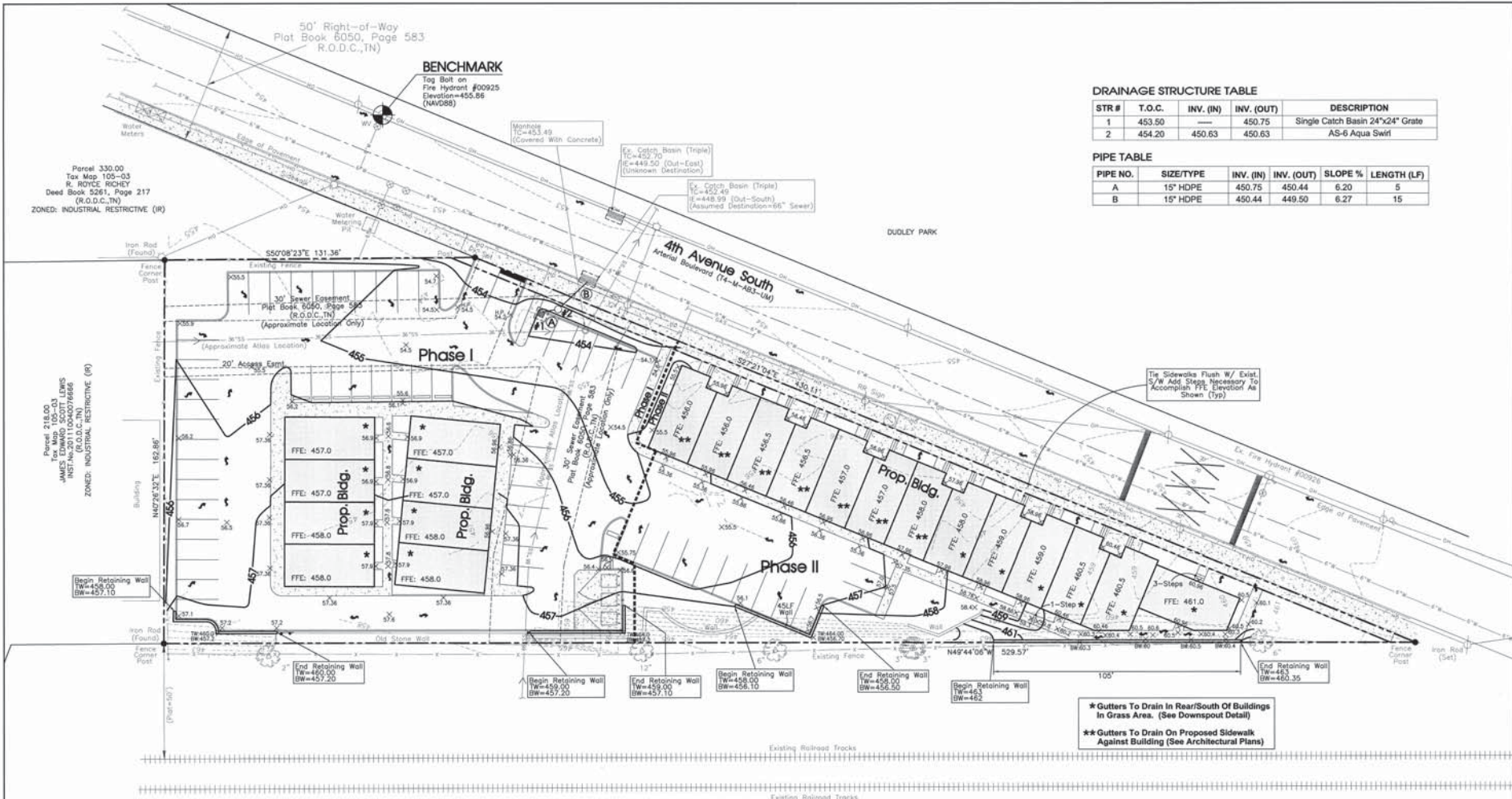
Note:
Private Sanitary Sewer Lines To Be 6" Class 45 PVC Pipe @ 1% Min. With Cleanouts Located 60' O.C. Sewer Shall Maintain.



REVIEW SET
(Not Intended For Construction)

Utility Plan

DATE: 3-7-14
CHECKED: jpf
FILE NAME: 14524sp029(1).dwg
SCALE: 1"=20'
JOB NO.: 14024
SHEET: C3.0



DRAINAGE STRUCTURE TABLE

STR #	T.O.C.	INV. (IN)	INV. (OUT)	DESCRIPTION
1	453.50	—	450.75	Single Catch Basin 24"x24" Grate
2	454.20	450.63	450.63	AS-6 Aqua Swirl

PIPE TABLE

PIPE NO.	SIZE/TYPE	INV. (IN)	INV. (OUT)	SLOPE %	LENGTH (LF)
A	15" HDPE	450.75	450.44	6.20	5
B	15" HDPE	450.44	449.50	6.27	15

* Gutters To Drain In Rear/South Of Buildings In Grass Area. (See Downspout Detail)
 ** Gutters To Drain On Proposed Sidewalk Against Building (See Architectural Plans)

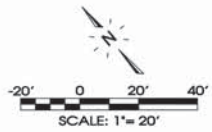
Legend:

□ EXIST. CONCRETE MONUMENT	◻ INLET PROTECTION FILTER	⊕ BENCHMARK	➤ SEWER/STORM FLOW DIRECTION	☎ EXISTING PHONE	— STW — STW	EXISTING STORM	— STW — STW
● IRON PIN SET (P.P.S.)	◻ HANDICAP PARKING SYMBOL	⬇️ BLOW OFF VALVE	➡ TRAFFIC ARROW	⚡ EXISTING ELECTRIC	— SF — SF	PROPOSED STORM	— STW — STW
○ IRON PIN FOUND (P.P.F.)	⊙ HC SIGN	➡ TURN LANE ARROWS	➡ TURN LANE ARROWS	— P — P	— SF — SF	EXISTING CONTOUR LINES	— SF — SF
— EXIST. SIGN POST	— HEADWALL	⊕ V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	⊕ V.A. VAN ACCESSIBLE HANDICAP DESIGNATION	— E — E	— SF — SF	PROPOSED CONTOUR LINES	— SF — SF
○ EXIST. SEWER CLEANOUT	— WINGED HEADWALL	⊕ CURB INLET	⊕ WATER METER	— ROW — ROW	— SF — SF	EXISTING SANITARY SEWER	— SF — SF
○ EXIST. MANHOLE (SEWER & PHONE)	⊕ MANHOLE	⊕ AREA DRAIN	⊕ WHEEL STOP	— SF — SF	— SF — SF	PROPOSED SANITARY SEWER	— SF — SF
⊕ EXIST. CATCH BASIN (STORM SEWER)	⊕ PROPOSED SPOT ELEVATION	⊕ CONCRETE THURST BLOCK	⊕ GREASE TRAP	— ELL — ELL	— ELL — ELL	EXISTING WATER	— ELL — ELL
⊕ EXIST. WATER/GAS VALVE	⊕ EXIST. SPOT ELEVATION	⊕ DOUBLE DETECTOR CHECK VALVE	⊕ DRAINAGE STRUCTURE DESIGNATION	— ELL — ELL	— ELL — ELL	PROPOSED WATER	— ELL — ELL
⊕ EXIST. TELEPHONE RISER	⊕ POST INDICATOR VALVE	⊕ FIRE DEPT. CONNECTION	⊕ DRAINAGE PIPE DESIGNATION	— Y — Y	— Y — Y	EXISTING FENCELINE	— Y — Y
⊕ EXIST. GAS RISER	⊕ REDUCER	⊕ FIRE HYDRANT	⊕ CONCRETE SIDEWALK	— MBSL — MBSL	— MBSL — MBSL	MINIMUM BUILDING SETBACK LINE	— MBSL — MBSL
⊕ ELECTRICAL ENCLOSURE	⊕ REMOTE FIRE DEPT. CONNECTION	⊕ GAS METER	⊕ EXPOSED CURB	— PHASE BOUNDARY — PHASE BOUNDARY	— PHASE BOUNDARY — PHASE BOUNDARY	EXISTING GAS LINE	— GAS — GAS
⊕ EXIST. WATER METER	⊕ REVISION NUMBER	⊕ GATE VALVE & BOX	⊕ CURB & GUTTER	— EXISTING GAS LINE — EXISTING GAS LINE	— EXISTING GAS LINE — EXISTING GAS LINE	PROPOSED GAS LINE	— GAS — GAS
⊕ EXIST. UTILITY POLE	⊕ RIP RAP	⊕ EXTERIOR CLEANOUT	⊕ CONCRETE SINGLE	— PROPOSED GAS LINE — PROPOSED GAS LINE	— PROPOSED GAS LINE — PROPOSED GAS LINE		
⊕ EXIST. FIRE HYDRANT	⊕ RUNOFF FLOW ARROW						

Existing Boundary & Topographical Information Taken From A Survey Prepared By H&H Land Surveying, Inc., Dated 3-4-2014. SEC, Inc. Makes No Warranties As To The Accuracy Of This Survey And Is Not Responsible For Any Discrepancies That Are Found To Exist With Actual Field Conditions.



Muddy vehicle tires to be hosed off prior to leaving construction site. Any sediment deposited on existing asphalt to be removed within 24 hours. All erosion control measures are to be removed prior to as-built approval. Disturbed/Graded Area: 52,128 Sq.Ft. Contractor to provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with the NPDES Department during the pre-construction meeting. Any excavation, fill, or disturbance of the existing ground elevation must be done in accordance with storm water management ordinance No. 78840 and approved by The Metropolitan Department of Water Services.



REVIEW SET
(Not Intended For Construction)

SEC, Inc. SITE ENGINEERING CONSULTANTS
 ENGINEERING - SURVEYING - LAND PLANNING
 1100 BENTLEY BLVD., SUITE 200
 NASHVILLE, TN 37203
 PHONE: (615) 840-7200
 FAX: (615) 840-8497
 NO PORTION OF THIS DRAWING MAY BE REPRODUCED WITHOUT THE EXPRESSED WRITTEN CONSENT OF SEC, INC.



Woodstock at Chestnut Hill
 1225 4th Ave. South
 Preliminary SP Application # 2014SP-029-001
 Nashville, Tennessee

Drawn: SJA
 Date: 3-7-14
 Checked: JRF
 File Name: 14024project.dwg
 Scale: 1" = 20'
 Job No.: 14024
 Sheet: C4.0

Grading, Drainage, & Final EPSC Plan

Site Notes:

- Dimensions shown at curbed areas are to face of curb or property line.
- Contractor shall immediately notify the architect or engineer of any discrepancies found between these plans, and/or field conditions prior to construction.
- Apparent errors, discrepancies, or omissions on the drawing shall be brought to the attention of the engineer prior to bid submission. The contractor may not use apparent errors, discrepancies, or omissions present on the drawing presented for bidding for additional charges after bids have been submitted. The engineer shall be permitted to make corrections and interpretations as may be deemed necessary for the benefit of the project.
- The contractor shall employ a Registered Land Surveyor of Tennessee to provide construction layout surveying services.
- The contractor shall make all improvements using the geometric data provided in the drawings. It is the site responsibility of the contractor to completely stake and check all improvements to ensure adequate conditions, both horizontal and vertical, prior to the installation of any improvements.
- The specifications, notes, and plans shown call attention to certain required features of the construction but do not claim to cover all details of design and construction. The contractor shall furnish and install the work complete and ready for operation.
- After completion of construction, the contractor shall perform site cleanup to remove all trash, debris, excess materials, equipment, and other deleterious materials associated with construction. The contractor is expressly responsible for ensuring the site is clean and in acceptable condition at the time of final acceptance.
- A separate R.O.W. Excavation Permit issued from Metro Public Works shall be required for any excavation or construction in the public R.O.W.
- The contractor is responsible for the protection and replacement of all property on this site.
- These drawings are intended for use on this site only and as an integrated set for this specific project. These drawings may not be used in whole or in part on any other project under the professional engineer's seal. The owner shall hold business and indemnify the architect and engineer from and against any and all claims of any nature whatsoever arising from such use.
- Existing utility lines shown are approximate locations only and shall be field verified prior to any construction. If upon field location any deviations from the shown design locations shall be reported to the owner or engineer prior to construction.
- The contractor will provide all necessary protective measures to safeguard existing utilities from damage during the construction of this project. In the event that special equipment is required to work over or around the existing utilities, the contractor shall be required to provide such equipment. The cost of protecting utilities from damage and furnishing of any required special equipment will be included in the price bid for other items of construction.
- The contractor shall notify each individual utility owner of his plan of operation in the area of their respective utilities. Prior to commencement of work the contractor shall contact each utility owner and request them to properly locate their respective utilities on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- Those utility owners who participate in the "Tennessee One Call" system can be notified toll free at 1-800-251-1111.

General Utility Notes:

- Existing utility lines shown are approximate locations only and shall be field verified prior to any construction. If upon field location any deviations from the shown design locations shall be reported to the owner or engineer prior to construction.
- The contractor will provide all necessary protective measures to safeguard existing utilities from damage during the construction of this project. In the event that special equipment is required to work over or around the existing utilities, the contractor shall be required to provide such equipment. The cost of protecting utilities from damage and furnishing of any required special equipment will be included in the price bid for other items of construction.
- The contractor shall notify each individual utility owner of his plan of operation in the area of their respective utilities. Prior to commencement of work the contractor shall contact each utility owner and request them to properly locate their respective utilities on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- The contractor shall refer to the architectural plans for the actual location of all utility entrances including sanitary sewer laterals, domestic water and fire protection, electrical, telephone, and gas lines. The contractor shall coordinate installation of utilities in such a manner as to avoid conflicts and assure proper depths are achieved as well as coordinating with regulatory agencies as to location and scheduling of tie-ins and connections to their facilities.
- All underground utilities (water, sanitary sewer, storm sewer, electrical conduits, irrigation sleeves, etc.) shall be in place prior to the placement of all road base course materials.
- The utility contractor shall be held responsible for all top and tie-in fees required, as well as cost of the underground service connections to their facilities.
- Those utility owners who participate in the "Tennessee One Call" system can be notified toll free at 1-800-251-1111.
- For budgeting purposes, the owner/developer should check with the Metro Water & Sewer Services for connection fees which may be substantial.
- All water and sewer connections shall be in accordance with the specifications outlined by the Metropolitan Department of Water & Sewerage Services.
- The contractor shall be responsible for reimbursing the Metropolitan Department of Water & Sewerage Services for the cost of inspection.
- The contractor shall provide and maintain the construction identification sign for approved private development.

Metro Water & Sewer Notes:

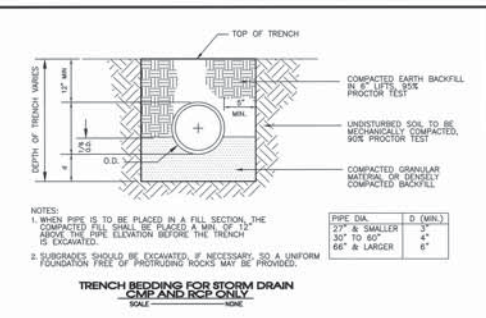
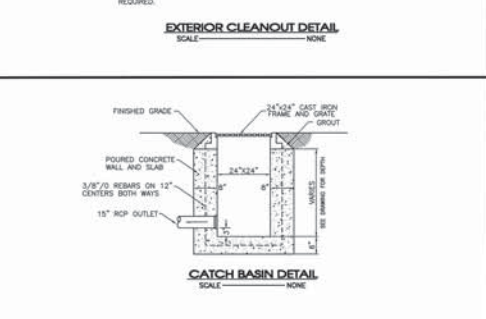
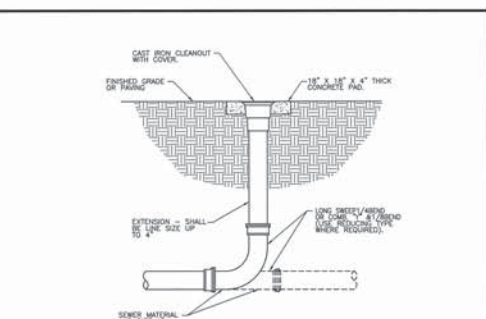
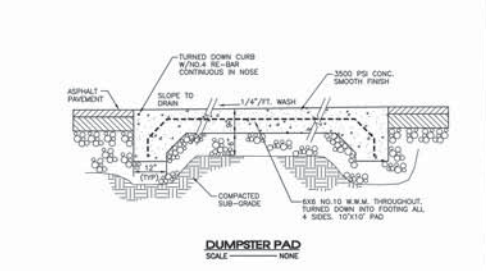
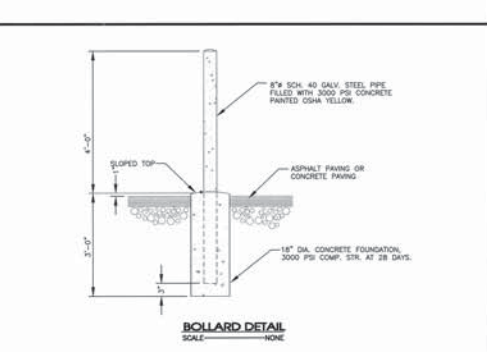
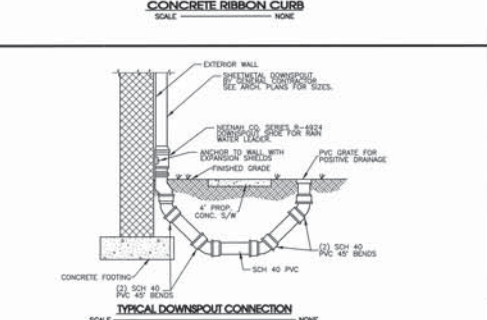
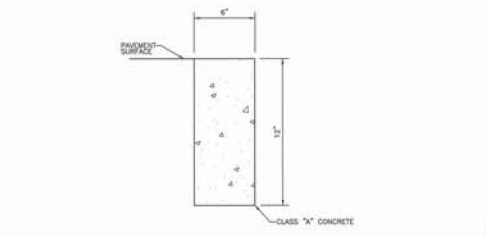
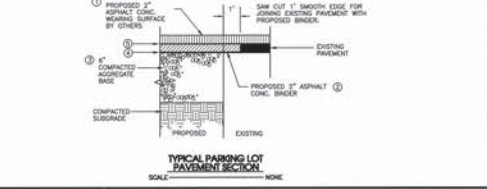
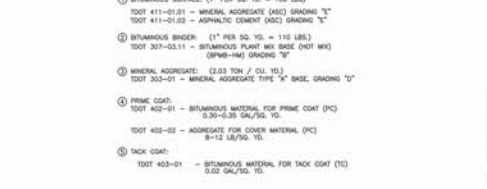
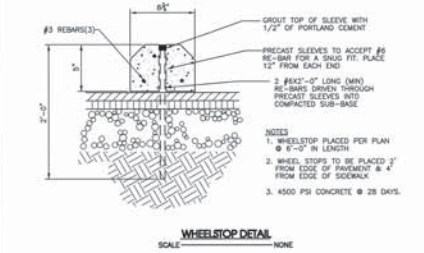
- Reduced pressure back flow preventer (R.P.B.P.) or dual check will be required on all tees and fit lines (umps) needed for water main construction and must be approved by the Department of Water Services.
- Water meters shall be no deeper than 24" from the top of the meter to the proposed finished grade.
- The contractor shall notify the Metro Water and Sewer Services and arrange inspection prior to beginning construction of sanitary sewer.
- Coordinates and dimensions shown are to centerline of pipe, or fitting, or to centerline of manhole.
- The top elevation of all manholes in pond areas shall match finished grade. The top elevation of manholes in grass areas shall be 6" above the finished grade.
- The minimum horizontal separation between the closest two points of the water and sewer lines shall be 10'. The minimum vertical separation between the closest two points of the water and sewer lines shall be 18".
- The sanitary sewer pipe material shall be P.V.C., S.D.R. 35, sewer resilient unless otherwise noted on plan.
- All connections to existing manholes shall employ the cover and manhole connection method.
- All water construction shall be in accordance with specifications and standard details of the Metro Water Services.
- The contractor is responsible for reimbursing the Metro Water Services the cost of inspection.
- The contractor is to provide the maintain the construction identification sign for private development approved.
- Pressure regulating devices will be required on the customer side of the meter when pressures exceed 100 psi.
- Pressure regulating devices will be required on the street side of the meter when pressures exceed 150 psi.

Grading Notes:

- The contractor shall comply with all pertinent OSHA provisions and the manual of accident prevention and construction, issued by the A.C.C.S. of America, Inc. and the health regulations of construction issued by the U.S. Department of Labor. The contractor is responsible for all aspects of daily worker and site safety.
- The contractor shall conform to all local codes and perform all work in accordance with the required governing agencies and their approved drawings and specifications. The contractor shall give all notices and obtain all inspections by the required governing agencies.
- Topsoil and other material not suitable for fill shall be disposed of off site in accordance with and at the direction of the owner's representative. Material disposed of off site shall be disposed of in a lawful manner and in areas that are certified for the reception of such material.
- Excavated subgrade and each layer of fill material shall be of quality acceptable to the owner's representative and shall not include organic material, boulders, debris, wet material, etc. Cut or stripped areas shall be prior rolled prior to any filling. All grading activity and placement of material shall be monitored by a qualified geotechnical engineer (or their representative), or as directed by the owner's representative. Material shall meet or exceed compaction requirements specified in the project specifications or for roads and drives, with the applicable sections for material and placement for roadways in the Metropolitan Highway Department of Public Works specifications.
- Topographic information taken from plans provided by the owner's representative and are used as existing at their direction.
- Contractor shall verify existing and finished grades, dimensions, etc. prior to beginning work and notify the owner's representative of any discrepancies and/or errors in the plans prior to commencing work. S.E.C. Inc. makes no assurances or claims about the accuracy of the existing survey or conditions.
- The locations of utilities shown within these plans are approximate only. Exact locations shall be determined in the field by contacting the utility companies involved.
- The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment. The cost of protecting utilities from damage and furnishing special equipment will be included in the price bid for other items of construction.
- The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground. This notification shall be given at least three (3) business days prior to commencement of operations around the utility. Some utilities can be located by using the Tennessee One Call System at 1-800-251-1111. The contractor shall give the affected utility owners no less than 3, nor more than 10 days notice.
- The site work contractor shall coordinate the installation of all underground utilities with his work. All underground utilities (water, sanitary sewer, storm sewer, electrical conduits, irrigation sleeves, and any other miscellaneous underground utilities, devices, or structures), shall be in-place prior to the placement of base course materials.
- The contractor shall cut existing pavement and curbs as necessary to assure a smooth fit and continuous grade.
- The contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes and all utilities prior to construction.
- Clearing and grubbing limits shall include all areas disturbed by grading operation.
- Any graded or disturbed areas shall have 4 inches of topsoil, seed, mulch, fertilizer and water applied until a healthy stand of grass is achieved. The restoration shall comply with construction.
- All pipes entering storm sewer structures shall be grouted to assure connection at structure to water tight.
- This property lies within Zone X, not in a Special Flood Hazard Area, as defined by FEMA Maps for Nashville & Davidson County, Tennessee Map Number 470370201R, Effective date 04/20/2001.
- Handstop accessible routes shall be constructed and sloped in accordance with all applicable provisions of the A.D.A.
- No slope shall be steeper than 3:1 unless otherwise noted. Use erosion control matting on slopes 3:1 or steeper.
- The contractor shall make field adjustments as necessary to provide a smooth vertical and horizontal transition between existing and proposed pavements, sidewalks, etc.
- The plan makes no determination or guarantee of the suitability of the geotechnical conditions for the work indicated. Determination of the subsurface conditions is solely the responsibility of the contractor.
- The project limits are to be property lines. No work shall be done, and the existing features shall not be disturbed, outside of the project limits.

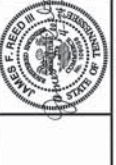
Erosion Control Notes:

- The site contractor is responsible for establishing and maintaining suitable erosion and sediment control devices on-site during construction as required to prevent soil from leaving the site. Silt will not be allowed beyond construction limits.
- The contractor is responsible for removing silt from site if not removable on-site and ensuring plan alignment and grade in all phases of completion of construction.
- The contractor is responsible for cleaning out all storm drainage structures, including flumes, pipes, etc., prior to completion of this project.
- Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.
- Erosion control measures are to be installed prior to any grading on-site and are to be maintained in place until stabilization of erodible soils has been accomplished.
- Prior to commencing cut and fill operations, contractor shall install all silt fencing and detention ponds.
- Stabilization measures shall be initiated as soon as possible in portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site (or a phase of the project) must be completed not later than 15 days after the construction activity in that portion of the site has temporarily or permanently ceased. In the following situations, temporary stabilization measures are not required:
 - A) Where the initiation of stabilization measures is precluded by snow cover or frozen ground conditions or adverse soggy ground conditions, stabilization measures shall be initiated as soon as practicable.
 - B) Where construction activity on a portion of the site is temporarily ceased, and earth disturbing activities will be resumed within 15 days.
- Erosion control shall be provided for all cut and fill operations within the limits of the construction site, throughout the construction period to provide the site with maximum protection from erosion at all times.



REVIEW SET
(Not Intended For Construction)

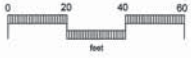
SEC, Inc.
SITE ENGINEERING CONSULTANTS
ENGINEERING - SURVEYING - LAND PLANNING
REGISTERED PROFESSIONAL ENGINEER
REGISTERED PROFESSIONAL SURVEYOR
REGISTERED PROFESSIONAL LAND PLANNER
REGISTERED PROFESSIONAL ARCHITECT
REGISTERED PROFESSIONAL INTERIOR DESIGNER
REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER
REGISTERED PROFESSIONAL ELECTRICAL ENGINEER
REGISTERED PROFESSIONAL MECHANICAL ENGINEER
REGISTERED PROFESSIONAL CHEMICAL ENGINEER
REGISTERED PROFESSIONAL CIVIL ENGINEER
REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEER
REGISTERED PROFESSIONAL INDUSTRIAL ENGINEER
REGISTERED PROFESSIONAL METALLURGICAL ENGINEER
REGISTERED PROFESSIONAL NUCLEAR ENGINEER
REGISTERED PROFESSIONAL PETROLEUM ENGINEER
REGISTERED PROFESSIONAL SANITARY ENGINEER
REGISTERED PROFESSIONAL STRUCTURAL ENGINEER
REGISTERED PROFESSIONAL TRANSPORTATION ENGINEER
REGISTERED PROFESSIONAL WATERSUPPLY ENGINEER
REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER
REGISTERED PROFESSIONAL AGRICULTURAL ENGINEER
REGISTERED PROFESSIONAL FOOD ENGINEER
REGISTERED PROFESSIONAL CHEMICAL ENGINEER
REGISTERED PROFESSIONAL METALLURGICAL ENGINEER
REGISTERED PROFESSIONAL NUCLEAR ENGINEER
REGISTERED PROFESSIONAL PETROLEUM ENGINEER
REGISTERED PROFESSIONAL SANITARY ENGINEER
REGISTERED PROFESSIONAL STRUCTURAL ENGINEER
REGISTERED PROFESSIONAL TRANSPORTATION ENGINEER
REGISTERED PROFESSIONAL WATERSUPPLY ENGINEER
REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER
REGISTERED PROFESSIONAL AGRICULTURAL ENGINEER
REGISTERED PROFESSIONAL FOOD ENGINEER



Woodstock at Chestnut Hill
1225 4th Ave. South
Preliminary SP Application # 2014SP-029-001
Nashville, Tennessee

Notes & Details

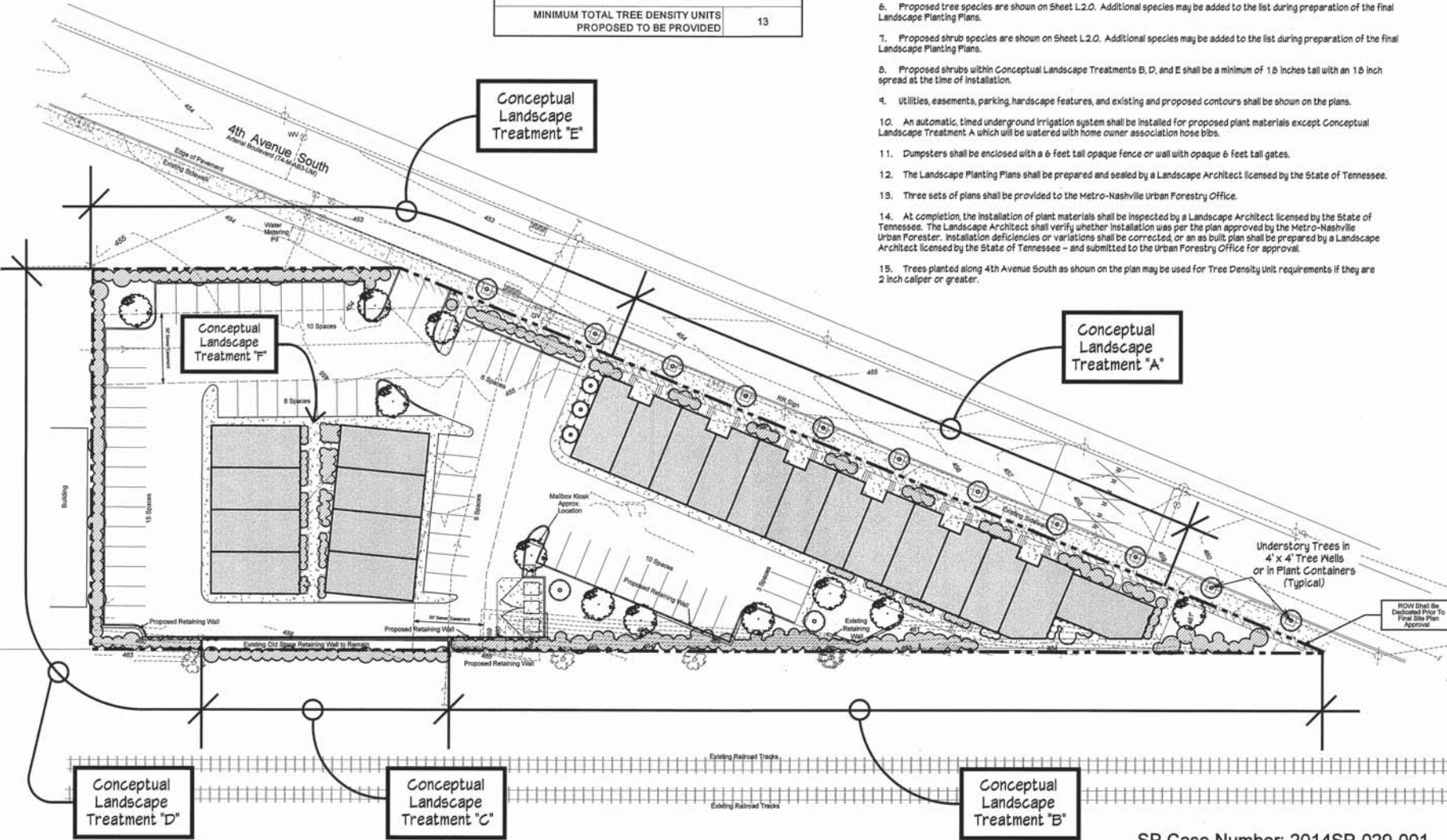
DATE: 3-7-14
CHECKED: JRF
FILE NAME: 14024SP029-001.dwg
SCALE: 1"=20'
JOB NO.: 14024
SHEET: C5.0



Woodstock at Chestnut Hill			
TREE DENSITY WORKSHEET			
Gross Site Acreage	1.24		
Minus area (acres) of building coverage	0.32		
Area of required compliance	0.92		
Area of required compliance x 14 Equals Required Tree Density Units for the Site	12.83		
MINIMUM NUMBER OF PROPOSED TREES			
NO.	SIZE/CALIPER	POINTS/TREE	TOTAL
26	2"	0.5	13
MINIMUM TOTAL TREE DENSITY UNITS PROPOSED TO BE PROVIDED			13

LANDSCAPE REGULATIONS FOR WOODSTOCK AT CHESTNUT HILL SP PROJECT

- The total minimum tree density shall be 14 Tree Density Units (TDUs) per gross acre, less building coverage. Tree Density Units shall be calculated using the system in the Metro Ordinance as of the date of approval of this SP plan. A completed Tree Density Worksheet shall be shown on the plans.
- Trees planted in the site interior as well as those in the perimeter Conceptual Landscape Treatments may be used for TDU credit.
- Proposed trees used for calculating tree density shall have a minimum caliper of 2 inches and shall be a minimum of 6 feet tall.
- All plants shall meet the standard for size, culture, and quality for the highest grades and standards, as adopted by the American National Standards Institute in ANSI Z60.1 American Standard for Nursery Stock.
- No existing trees are anticipated to remain. A Tree Removal Permit shall be obtained prior to removal of any trees.
- Proposed tree species are shown on Sheet L2.0. Additional species may be added to the list during preparation of the final Landscape Planting Plans.
- Proposed shrub species are shown on Sheet L2.0. Additional species may be added to the list during preparation of the final Landscape Planting Plans.
- Proposed shrubs within Conceptual Landscape Treatments B, D, and E shall be a minimum of 18 inches tall with an 18 inch spread at the time of installation.
- Utilities, easements, parking, hardscape features, and existing and proposed contours shall be shown on the plans.
- An automatic, timed underground irrigation system shall be installed for proposed plant materials except Conceptual Landscape Treatment A which will be watered with home owner association hose bibs.
- Dumpsters shall be enclosed with a 6 feet tall opaque fence or wall with opaque 6 feet tall gates.
- The Landscape Planting Plans shall be prepared and sealed by a Landscape Architect licensed by the State of Tennessee.
- Three sets of plans shall be provided to the Metro-Nashville Urban Forestry Office.
- At completion, the installation of plant materials shall be inspected by a Landscape Architect licensed by the State of Tennessee. The Landscape Architect shall verify whether installation was per the plan approved by the Metro-Nashville Urban Forester. Installation deficiencies or variations shall be corrected, or an as built plan shall be prepared by a Landscape Architect licensed by the State of Tennessee - and submitted to the Urban Forestry Office for approval.
- Trees planted along 4th Avenue South as shown on the plan may be used for Tree Density Unit requirements if they are 2 inch caliper or greater.



CONCEPTUAL LANDSCAPE PLAN FOR SPECIFIC PLAN DISTRICT

Presented For: **Woodstock Lumber, LLC.**
 Owner / Developer

Prepared By: **Linkinoker Land Architecture**
 9912 Shallowford Road
 Nashville, Tennessee 37207
 615.875.2987

Woodstock At Chestnut Hill
 1225 4th Avenue South
 Nashville, Davidson County, Tennessee

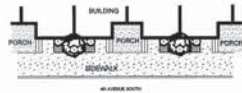
Conceptual Landscape Plan for SP District

DATE : 03 - 24 - 14
 Job No. 114021038

SP Case Number: 2014SP-029-001

L1.0

Revised 4-22-2014, per Planning Staff Comments



TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "A"

SCALE: 1" = 20'

CONCEPTUAL LANDSCAPE
TREATMENT "A" REQUIREMENTS

1 Tree
3 Shrubs
Combination of Ground Covers, Annuals, Perennials,
and/or Ornamental Grasses. No specific quantities
required.

Shrubs must be 50% or more evergreen species.

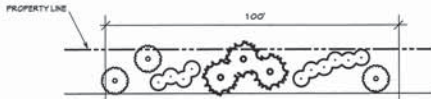


TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "F"

SCALE: 1" = 20'

CONCEPTUAL LANDSCAPE
TREATMENT "F" REQUIREMENTS

Combination of Shrubs, Ground Covers, Annuals, Perennials,
and/or Ornamental Grasses in planting beds and/or in
planting pots. No specific quantities required.



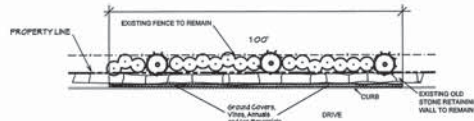
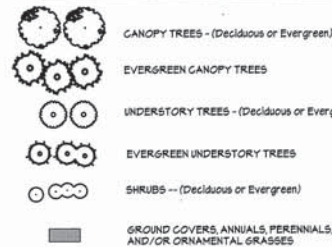
TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "B"

SCALE: 1" = 20'

LANDSCAPE TREATMENT "B"
REQUIREMENTS PER 100 FEET

3 Evergreen Canopy Trees
3 Understory Trees -- 50% or more must be Evergreen
10 Shrubs -- 50% or more must be Evergreen

LEGEND FOR LANDSCAPE TREATMENTS



TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "C"

SCALE: 1" = 20'

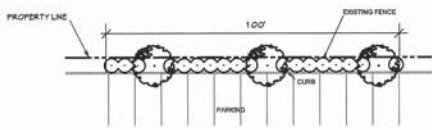
LANDSCAPE TREATMENT "C"
REQUIREMENTS PER 100 FEET

Ground Covers, Vines, Annuals and/or Perennials - no
specific quantity required.

The area between the existing fence and the property
line is railroad property. The planting proposed below
is conditional upon getting permission from the railroad to
install the plant materials.

3 Evergreen Understory Trees
10 Evergreen Shrubs

Shrub species must be capable of achieving a height of
5 feet or more within 5 years.



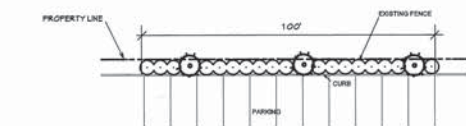
TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "D"

SCALE: 1" = 20'

LANDSCAPE TREATMENT "D"
REQUIREMENTS PER 100 FEET

3 Evergreen Understory Trees
10 Evergreen Shrubs --

Shrub species must be capable of achieving a height of
5 feet or more within 5 years.



TYPICAL PLAN FOR
CONCEPTUAL LANDSCAPE TREATMENT "E"

SCALE: 1" = 20'

LANDSCAPE TREATMENT "E"
REQUIREMENTS PER 100 FEET

3 Evergreen Understory Trees
10 Evergreen Shrubs

LIST OF POTENTIAL TREE SPECIES

CANOPY TREES:

Acer rubrum 'Red Sunset' -- Red Sunset Red Maple
Betula nigra 'Heritage' -- Heritage River Birch
Cryptomeria japonica -- Cryptomeria
Liquidambar styraciflua 'Slender Silhouette' Sweetgum
Magnolia grandiflora -- Southern Magnolia
Magnolia grandiflora 'Alta' -- Alta Magnolia
Pinus strobus -- White Pine
Pinus taeda -- Loblolly Pine
Quercus nuttallii -- Nuttall Oak
Quercus phellos -- Willow Oak
Quercus palustris -- Pin Oak
Thuja x 'Green Giant' -- Green Giant Arborvitae
Ulmus parvifolia 'Aloe' -- Aloe Chinese Elm

UNDERSTORY TREES:

Acer buergerianum -- Trident Maple
Acer campestre -- Hedge Maple
Cercis canadensis -- Eastern Redbud
Cercis canadensis 'Forest Pansy' -- Forest Pansy Redbud
Cornus florida -- Flowering Dogwood
Cornus kousa chinensis -- Chinese Kousa Dogwood
Ilex attenuata 'Poster' -- Poster Holly
Ilex cornuta 'Nelle R. Stevens' -- Nelle R. Stevens Holly
Juniperus scopulorum 'Blue Heaven' -- Blue Heaven Juniper
Juniperus virginiana 'Taylor' -- Taylor Upright Juniper
Lagerstroemia indica -- Crape Myrtle
Magnolia grandiflora 'Little Gem' -- Little Gem Magnolia
Magnolia soulangeana -- Saucer Magnolia
Magnolia virginiana -- Sweetbay Magnolia

EVERGREEN SCREENING:

Cryptomeria japonica -- Cryptomeria
Cupressocyparis leylandii -- Leyland Cypress
Juniperus virginiana -- Eastern Red Cedar
Magnolia grandiflora -- Southern Magnolia
Pinus strobus -- White Pine
Pinus taeda -- Loblolly Pine
Thuja x 'Green Giant' -- Green Giant Arborvitae

LIST OF POTENTIAL SHRUB SPECIES

Abelia grandiflora -- Glossy Abelia
Aucuba japonica 'Gold dust' -- Gold dust Aucuba
Buxus koreana 'Wintergreen' -- Wintergreen Boxwood
Buxus sempervirens -- Common Boxwood
Cotoneaster salicifolius 'Repens' -- Willowleaf Cotoneaster
Euonymus alatus 'Compactus' -- Manhattan Euonymus
Forsythia intermedia 'Spectabilis' -- Shouy Border Forsythia
Hydrangea arborescens 'Anna Belle' -- Anna Belle Hydrangea
Hydrangea quercifolia 'Snowflake' -- Snowflake Hydrangea
Ilex virginica -- Virginia Sweetgum
Ilex crenata 'Green Lustre' -- Green Lustre Japanese Holly
Ilex cornuta 'Burfordi' -- Burford Holly
Ilex cornuta 'Carissima' -- Carissa Holly
Ilex glabra 'Shamrock' -- Shamrock Holly
Juniperus chinensis 'Pfitzeriana' -- Pfitzer Juniper
Juniperus chinensis 'Gold Coast' -- Gold Coast Juniper
Juniperus horizontalis 'Youngstown' -- Youngstown Andorra Juniper
Juniperus chinensis 'Torulosa' -- Hollywood Juniper
Nandina domestica -- Nandina
Nandina domestica 'Fire Power' -- Fire Power Nandina
Prunus laurocerasus -- English Laurel
Prunus laurocerasus 'Schipkaensis' -- Schipka Laurel
Prunus laurocerasus 'Otto Luyken' -- Otto Luyken Laurel
Rosa 'Knock Out' -- Knock Out Rose
Spiraea bumalda 'Anthony Waterer' -- Anthony Waterer Spiraea
Taxus media densiformis -- Dense Yew
Taxus media 'Hicks' -- Hicks Upright Yew
Thuja occidentalis 'Emerald Green' -- Emerald Green Arborvitae
Viburnum x 'Aleganah' -- Aleganah Viburnum
Viburnum x 'Pragnese' -- Pragnese Viburnum

Revised 4-22-2014 per Planning Staff comments



CONCEPTUAL
LANDSCAPE PLAN
FOR SPECIFIC
PLAN DISTRICT

Prepared for:
Woodstock Lumber, LLC.

Prepared by:
Linkinbaker Land Architecture

1012 Quail Hill Road
Lincoln County, Tennessee 37077

Linkinbaker.com
615.933.2007



Woodstock At Chestnut Hill

1225 4th Avenue South
Nashville, Davidson County, Tennessee

Conceptual
Landscape Plan
for SP District

DATE: 03 - 24 - 14

Job No. 114021038

L2.0

SP Case Number: 2014SP-029-001